

**BOLTON INLAND WETLANDS COMMISSION
REGULAR MEETING, JULY 27, 2021, 7:00 P.M.
MOTIONS & MINUTES
VIRTUAL**

Loersch called the meeting to order at 6:59 p.m.

		Present	Absent
Regular Member	Jane Darico	X	
Chairman	Ross Lally		X
Regular Member	Andrew Gordon	X	
Vice Chairman	James Loersch	X	
Regular Member	open		
Alternate Member	open		
Alternate Member	open		
Staff	Barbara Kelly	X	

1. Approval of Agenda

Motion: The Bolton Inland Wetlands Commission approves the agenda as presented.

By: Gordon

Seconded: Darico

Voting:

For: Loersch, Gordon, Darico

Against: None

Abstain: None

2. Old Business

None

3. New Business

A. IWC #2021-6 – Deborah Marvin – 9 Sunset Lane – Construction of a 14’ x 24’ garage

Deborah Marvin was present. Staff said Ms. Marvin submitted an application to construct a garage within 100’ of a watercourse. Her paved driveway is currently within 100’ of a watercourse. The watercourse runs along the southern portion of the property. The garage will be constructed along the side of the watercourse and not downslope of it.

Loersch said the watercourse runs slightly into the property line but is a considerable distance from the garage. That is probably 30' per Staff. Loersch asked about erosion and sediment controls between the garage and the watercourse. Marvin said the water runs down the driveway toward the road. While the garage is being constructed haybales will be placed diagonally below the work. Ms. Marvin said Kloter Farms prepared the site with rock for the prefabricated garage.

Motion: I make the motion that the Bolton Inland Wetland Commission delegate this application to Staff.

By: Loersch

Seconded: Gordon

Voting:

For: Loersch, Gordon, Darico

Against: None

Abstain: None

B. Dennis Sheridan – 106 Hebron Road – Emergency repair of sinkhole – Jurisdictional ruling

Dennis Sheridan was present. Dennis said the deluge came up and over the road and created the sinkhole. Staff added the road was overtopped and water found its way under the pipe. The pipe may have collapsed. The sediment must have carried quite a ways because it was not deposited nearby. What is remaining is not stable. There are areas that are ready to erode.

Loersch asked if the applicant know how this will be repaired? Mr. Sheridan said he consulted with a potential contractor who suggested replacing the pipe to control the water flow with footings to stabilize the pipe. This is a hazard and denying the applicant access to the field. Mo Ephier out of Glastonbury is the contractor that Sheridan will likely use. Staff knows this contractor has done work for Mansfield and the town of Glastonbury. Staff said that key consideration for the IWC is this is an existing farm road from the 1950s used to access fields for haying and for maple sugaring. Loersch is concerned if there is another storm will the repair hold up. He would like the contractor to show a plan or sketch for Staff to review to see the repairs are adequate for the next 25 years.

Staff said Bolton's Highway Foreman has contacted Mr. Sheridan. The key for the IWC is to decide if this is an agriculture use as of right or is it a regulated activity requiring a permit; technically it is not a use requiring a permit under Section 4. Loersch does not have a problem with the urgency of repair as this is a permitted use of right for a farm road. Loersch wants to have the work done in a lasting and quality manner so it holds up. Sheridan is looking for that too and he has faith in Mo's and the company's work. Lance (Highway Foreman) did feel it is fixable and offered some suggestions including bracing for the historic stone wall as this is valuable to the property owner.

Motion: I make the motion that the Bolton Inland Wetland Commission activity as of right and does not require a permit under Section 4.1

By: Gordon

Seconded: Loersch

Voting:

For: Loersch, Gordon

Against: None

Abstain: Darico

4. Election of Officers:

Loersch had a discussion with Lally and both have agreed that their terms go on for another year.

Motion: I make the motion that the Bolton Inland Wetland Commission officers remain the same.

By: Gordo

Seconded: Loersch

Voting:

For: Loersch, Gordon,

Against: None

Abstain: Darico

5. Public Comment

No one was present to speak.

6. Approval of Minutes

A. June 22, 2021 Regular meeting

Motion: The Bolton Inland Wetlands Commission approves the minutes of the June 22, 2021 regular meeting with the noted changes.

By: Gordon

Seconded: Loersch

Voting:

For: Lally, Gordon,

Against: None

Abstain: Darico

7. Wetlands Agent Report

Staff said she is catching up from the vacation time she took. In general, that included the matters for this evening and to see if proposed pools or sheds require an IWC permit.

She attended a preconstruction meeting for the Dollar General. While at the location she took some photos of the detention basin. The vegetation held up for the big storms.

8. Other

Darico was informed that her votes were recorded as abstains during the issues with the Zoom connection.

9. Adjournment

Motion: The Bolton Inland Wetlands Commission moves to adjourn the meeting at 7:29 p.m.

By: Gordon

Seconded: Loersch

Voting:

For: Loersch, Gordon,

Against: None

Abstain: Darico

Respectfully submitted,

Yvonne B. Filip

Yvonne B. Filip
Commission Clerk

PLEASE SEE THE MINUTES OF SUBSEQUENT MEETINGS FOR THE APPROVAL OF THESE MINUTES AND ANY CORRECTIONS HERETO.



08/23/2021

C-21-7

Inland Wetlands

Status: Active

Date Created: Aug 10, 2021

Applicant

Gwen Marrion
gmarrion@snet.net
38 Maple Valley Road
Bolton, Connecticut 06043
8606439302

Location

0 BRANDY ST
BOLTON, CT 06043

Owner:

Bolton Land Trust, Inc.
38 Maple Valley Road, None BRANDY ST Bolton, CT
06043

Internal Use

Conditions

--

Petition Received?

--

Date Received

--

Date of Newspaper Publication of Inland/Wetlands Commission Action

--

Summary of Inland/Wetlands Commission Action

--

Bond Required?

--

Parcels Included in Project

MBL / Parcel ID

18/50 788

Additional Applicant Info

Applicant Type

Owner

Permit Info

Type of Application

New Application

Permit For

Application by Town of Bolton or Non-profit group

Occupancy Type

Non-Profit Organization 501(c)(3)

Lots

1

Work Description

Rehabilitation of existing 90-year old gravel access road for the purpose of enabling forest management equipment to access areas of Bobcat Woods property to manage woodlands for wildlife habitat enhancement and farm field restoration.

Development Title

Bobcat Woods

Comments

--

Proposed Distance

10

Requested Distance

10

Wetland / Watercourses Project Information

Size of Subject Property (acres)

80

Total area of wetlands to be affected by the activity (acres)

0.05

Open water body altered (acres)

0

Stream alternation (linear feet)

0

Buffer/upland area altered (acres)

0

Area of wetlands/watercourses restored, enhanced, or created (acres)

0

Described how the proposed activity affects wetlands, watercourses, and the regulated areas.

The proposed road rehabilitation is shown on the attached plan entitled, "Bolton Land Trust, Town of Bolton, Tolland County, Connecticut Design of Gravel Access Road & Rehab (560) United State Department of Agriculture Natural Resources Conservation Service Tolland, Connecticut July 2021 Job Class II".

The road plan was created by the NRCS and the project is being done under an Environmental Quality Incentive Program grant through the NRCS. All work will be monitored by the NRCS and the contractor to be hired to do the work will be experienced with and knowledgeable about the standard of work required by the NRCS.

The road rehabilitation involves shaping the existing road surface, adding water bars, excavating some material, adding gravel, geotextile material, and crushed stone for a seepage drain area at the lowest point in the existing road. The gravel road was built over 80 years ago through a wooded wetland which is part of a larger wetland system. This application is being filed because the road is located in a wetland but the proposed work will not negatively affect the wetland and will stop erosion of sediment into the wetland.

The western portion of the road (near Brandy Street) carries runoff from Brandy Street and causes erosion that carries sediment into the wetlands. In that area the rehabilitation project will stabilize the road surface to allow for the passage of the forest management equipment and will prevent continued siltation of the wetlands.

The seepage zone area, to be constructed at the lowest point in the road, will use crushed stone over geo-textile material so that in case of high water the water can flow across the surface of the road from one area of the wetland to the other without washing organic materials into the wetlands while maintaining the integrity of the road surface for equipment.

The eastern portion of the road is eroded and the rehabilitation project will stabilize the surface and add water bars to guide flow off the road.

Described measures that will be taken to minimize the impact on wetlands, watercourses, and the regulated areas.

Silt fence will be installed along both sides of the road. The work will be closely monitored by Bolton Land Trust directors and the NRCS.

Is there a Conservation or Preservation Restriction on the Property?

Yes

Is this an activity associated with a use for which you intend to apply to the Planning & Zoning Commission?

No

I understand that the Commission may require additional information at any time during the review of the application as described in Section 7.6 of the Inland Wetlands and Watercourses Regulations.



The Applicant must ensure that this application is complete and conforms with the Inland Wetlands and Watercourses Regulations (available at the Land Use Office for \$10.00). Ten (10) copies of supporting documents must be provided. The Commission encourages the applicant to discuss any project with the Town Staff and/or the Commission before submitting an application. The Commission requests that applications be submitted at least one week before the meeting.



The Agency shall monitor all Bolton wetland and watercourses and have enforcement powers as described in Section 14 of the Inland Wetlands and Watercourses Regulations. The Commission Members and designed agent(s) may make regular inspections upon reasonable notice of all regulated activities to investigate possible violations of the Inland Wetlands and Watercourses Regulations.



If this application is filed with the Inland Wetlands Agent under Section 12.1 of the Inland Wetlands and Watercourses Regulations, the Applicant may appeal the Agent's decision according to the process described in section 12.2 of the Inland Wetlands and Watercourses Regulations.



Attorney Info

Name

Address

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City

State

--

--

Zip

Phone

--

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Email

--

Engineer Information

Company Name

--

Engineer Name

--

Address

--

City

--

State

--

Zip

--

Phone

--

Registration #

--

Insurance Expiration

--

AOR

--

Email

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Additional Project Info**Date of Receipt**

--

Hearings Commencement Deadline

--

Hearings Completion Deadline

--

Decision Deadline

--




Total Acreage

0.05

Distance to Town Line

1500 feet

Extended**Hearing Not Required****Attachments**





-  Wetlands application - abutters.docx
Uploaded by Gwen Marrion on Aug 10, 2021 at 11:08 am
-  Map - Survey A-2 revised 2-8-21.pdf
Uploaded by Gwen Marrion on Aug 10, 2021 at 11:10 am
-  EQIP - Road Plan 8-3-21.pdf
Uploaded by Gwen Marrion on Aug 10, 2021 at 11:11 am

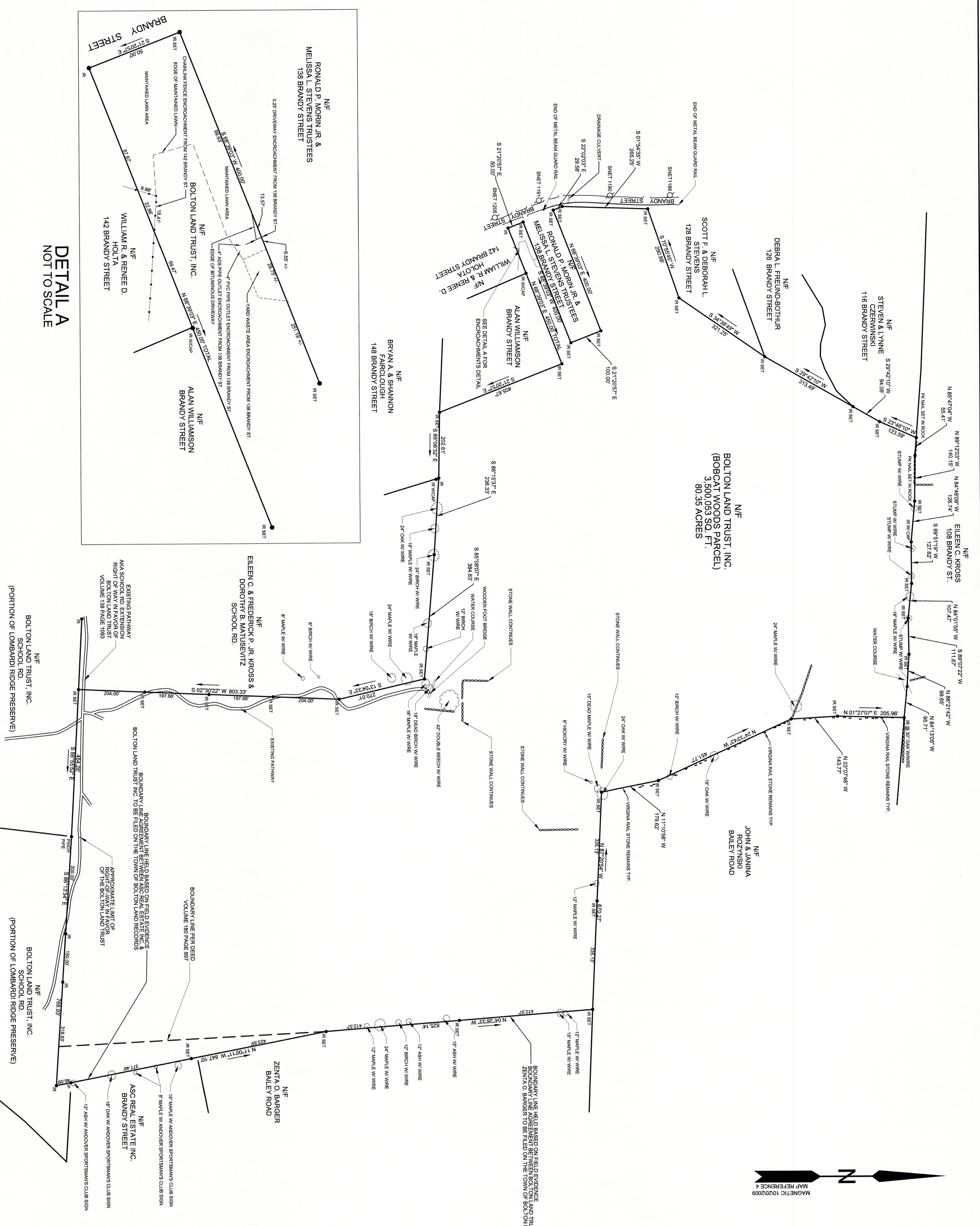
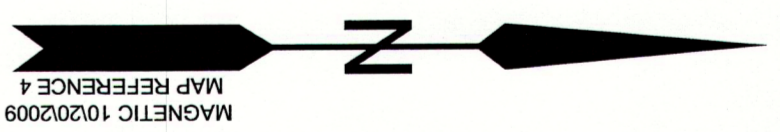
History

Date	Activity
Aug 10, 2021 at 9:58 am	Gwen Marrion started a draft of Record C-21-7
Aug 10, 2021 at 9:59 am	Gwen Marrion altered Record C-21-7, changed ownerCity from "" to "CHAPLIN"
Aug 10, 2021 at 9:59 am	Gwen Marrion altered Record C-21-7, changed ownerPostalCode from "" to "06235"
Aug 10, 2021 at 9:59 am	Gwen Marrion altered Record C-21-7, changed ownerState from "" to "CT"
Aug 10, 2021 at 9:59 am	Gwen Marrion altered Record C-21-7, changed ownerStreetName from "" to "46 LYNCH RD"
Aug 10, 2021 at 9:59 am	Gwen Marrion altered Record C-21-7, changed ownerStreetNo from "" to ""

Date	Activity
Aug 10, 2021 at 11:11 am	Gwen Marrion added attachment EQIP - Road Plan 8-3-21.pdf to Record C-21-7
Aug 10, 2021 at 11:14 am	Gwen Marrion submitted Record C-21-7
Aug 10, 2021 at 11:36 am	Gwen Marrion submitted Record C-21-7
Aug 10, 2021 at 11:40 am	completed payment step Permit Fee on Record C-21-7
Aug 10, 2021 at 11:40 am	approval step Application Review was assigned to Barbara Kelly on Record C-21-7
Aug 10, 2021 at 12:22 pm	Danielle Palazzini assigned approval step Application Review to Danielle Palazzini on Record C-21-7
Aug 10, 2021 at 12:22 pm	Danielle Palazzini approved approval step Application Review on Record C-21-7
Aug 10, 2021 at 12:22 pm	approval step Inland Wetlands was assigned to Barbara Kelly on Record C-21-7

Timeline

Label	Status	Activated	Completed	Assignee	Due Date
 Permit Fee	Paid	Aug 10, 2021 at 11:14 am	Aug 10, 2021 at 11:40 am	-	-
 Application Review	Complete	Aug 10, 2021 at 11:40 am	Aug 10, 2021 at 12:22 pm	Danielle Palazzini	-
 Inland Wetlands	Active	Aug 10, 2021 at 12:22 pm	-	Barbara Kelly	-
 Issue Permit	Pending	-	-	-	-



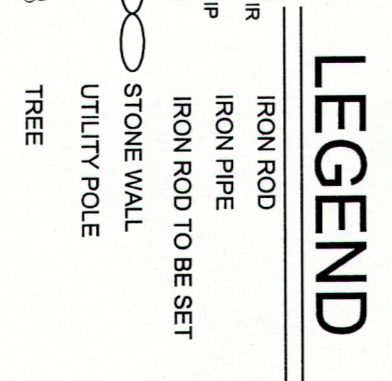
DETAIL A
NOT TO SCALE

GRAPHIC SCALE
0' 150' 300' 450'
SCALE 1"=150'

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HERON.
ANDREW J. BUSHNELL, P.E. L.S. 24591
THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE LICENSED LAND SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE.

- SURVEY NOTES:**
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS AS PREPARED AND ADOPTED BY THE CONNECTICUT DEPARTMENT OF CONSTRUCTION AND THE CONNECTICUT DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES. THIS MAP IS BASED ON A RESURVEY CONFORMING TO HORIZONTAL SURVEY ACCURACY CLASS A-2.
 2. PROPERTY IS LOCATED IN A R-1 ZONE.
 3. A PORTION OF THE PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE A PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 090180 000289 EFFECTIVE DATE 11, 1981.
 4. THE PROPERTY IS SHOWN ON THE TOWN OF BOLTON ASSESSORS MAP 18 AS LOT 50.

- MAP REFERENCES:**
- 1.) PROPERTY OF MADRIE LINE BRONDOLO BRANDY STREET-BOLTON, CONN. SCALE 1"=50' AUGUST 2, 1987 HAYDEN L. GERSWOLD, C.E.
 - 2.) DIVISION OF LOT PREPARED FOR MICHAEL & THOMAS BUDAKOVI 128 BRANDY STREET BOLTON, CONNECTICUT SCALE 1"=40' BY K.J.P. CHECKED R.L.S. DATE 11/87 SHEET 1 OF 1 FILE NO. BOJ-3 PDELEER ENGINEERING MANCHESTER, CONNECTICUT
 - 3.) IMPROVEMENT LOCATION SURVEY ASBILT LOT 1 BRANDY STREET PREPARED FOR STEVE CZERNIANSKI BOLTON, CONNECTICUT PROJECT 58-9-01 DATE 04/27/10 SCALE 1"=40' AND/OR ENGINEERING SERVICES, INC. 75 NUNING LANE Glastonbury, CT 06033 TEL: (860) 632-9770 FAX: (860) 632-9571
 - 4.) PLAN PREPARED FOR BOLTON LAND TRUST, INC. SCHOOL ROAD EXTENSION BOLTON, CT BOUNDARY SURVEY SCALE 1"=80' DATE 02/28/19 FILE NO. 28002 SHEET 1 OF 1 HOLMES AND MENNEN ASSY. OF DESIGN PROFESSIONALS INC. 1715 SOUTH MAIN STREET, SUITE 1000, HARTFORD, CT 06106 (860) 742-3340 REVISED TO 12/15/09
 - 5.) SUBDIVISION PLAN PREPARED FOR GILLO PROPERTIES, 128 BRANDY STREET BOLTON, CONNECTICUT 06033 DATE 01-17-07 DESIGNER: FRM GRUWA AAR/ JMO. CHECK: RPM SHEET 1 OF SHEETS PROJECT NO. 91-118 PLAN NO. 92-025 MESSNER & ASSOCIATES, INC. SURVEYORS ENGINEERS 288 MAIN STREET MANCHESTER, CONN. (203) 946-6013
 - 6.) PROPERTY OF 89 CHURCH ST. INVESTMENT CO EAST HARTFORD SCALE 1"=200' JUNE 1988 JOHN H. KETHLINE LAND SURVEYOR
 - 7.) MAP SHOWING LOT LAYOUT OF SQUA VALLEY SECTION #1 PROPERTY OF THE STRLING CONSTRUCTION CO. IN THE VILLAGES OF BRANDY STREET BOLTON, CONN. E.L. DAVIS JR. CIVIL ENG. & SURVEYOR MANCHESTER, CONN. SCALE 1"=50' JULY 22, 1952
 - 8.) PLAN PREPARED FOR ASC REAL ESTATE, INC. JONATHAN TAMBULLI HIGHWAY-CT ROUTE 6 ANDOVER, CT. GENERAL LOCATION SURVEY SCALE 1"=200' DATE 02/19/16 FILE NO. 28003 SHEET 1 OF 1 HOLMES AND MENNEN ASSOCIATES LLC CONSULTING ENGINEERS LAND SURVEYORS LAND PLANNERS 2719 BOSTON TOWNHALL COVINGTON, CT 06038 (860) 742-5340
 - 9.) MAP PREPARED FOR RICHARD HINES ANDOVER & BOLTON, CONNECTICUT BOUNDARY SURVEY SCALE 1"=40' DATE 4/18/80 DORN JF JR PH FILE NO. 7989 SHEET NO. 1 OF 1 NEMETHY R. BOUD SR OLDYARD DRIVE MANCHESTER, CONN. 06040
 - 10.) PROPERTY OF FRED ARMAND VIOLETTE & DORIS L. VIOLETTE NO. 128 BRANDY STREET BOLTON, CONN. 06033 DATE 05/22/80
 - 11.) GRADING AND EROSION AND SEDIMENTATION CONTROL PLAN PREPARED FOR ANABEL LANGRISH, 128 BRANDY STREET BOLTON, CONN. E.L. DAVIS JR. CIVIL ENG. SURVEYOR MANCHESTER, CONN. SCALE 1"=50' STATUS OF 1982 NOT OPERATED MAY 31, 1987 FROM SURVEY OF 1981. PROPERTY OWNERS NAMES ARE NOT INCLUDED
 - 12.) MAP SHOWING PERMITS OF SIGN VALLEY SECTION #1 PROPERTY OF THE STRLING CONSTRUCTION CO. IN THE VILLAGES OF BRANDY STREET BOLTON, CONN. E.L. DAVIS JR. CIVIL ENG. SURVEYOR MANCHESTER, CONN. SCALE 1"=50' STATUS OF 1982 NOT OPERATED MAY 31, 1987 FROM SURVEY OF 1981. PROPERTY OWNERS NAMES ARE NOT INCLUDED
 - 13.) MAP SHOWING PROPERTY OF ALFRED W. CAVERON JR. & LOURANE R. CAVERON, WILLARD & AUBREY W. GRENON & MDEVAC REALTY CORP. SCHOOL ROAD BOLTON, CONN. SCALE 1"=100' OCT. 2, 1985 HAYDEN L. GERSWOLD
 - 14.) PROPERTY SURVEY PREPARED FOR HIGH RIDGE FARM OF BOLTON, LLC SCHOOL ROAD BOLTON, CONNECTICUT SCALE 1"=100' DATE JULY 2, 2005 ON LAND OF ALFRED W. CAVERON, JR. & LOURANE R. CAVERON, JOEL W. WALLER LICENSED LAND SURVEYOR 1-860-595-9222 181 JONES HOLLOW ROAD WOODBRIDGE, CT 06097 (860) 374-5911, SHEET 1 OF 2



UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPT. OF THE FIELD PERMITS START OF ANY CONSTRUCTION. CALL BERTONE (860) 922-4451.

PLAN PREPARED FOR

BOLTON LAND TRUST, INC.
BOBCAT WOODS PARCEL

BOLTON, CT

BRANDY STREET

PROPERTY/BOUNDARY SURVEY

SCALE: 1"=150' DATE: 12/22/2020 FILE NO. 2020-10 SHEET: 1 OF 1

BUSHNELL ASSOCIATES LLC.
CIVIL ENGINEERING AND LAND SURVEYING

963 WOODBRIDGE STREET
MANCHESTER, CT 06042
860-643-7975

REVISIONS: 2/8/2021

CALL BEFORE YOU DIG

TO INSURE SAFE TROUBLE-FREE EXCAVATING
TO LOCATE UNDERGROUND UTILITY PIPE
AND CABLE ANYWHERE IN CONNECTICUT
CALL TWO FULL WORKING DAYS IN ADVANCE

811

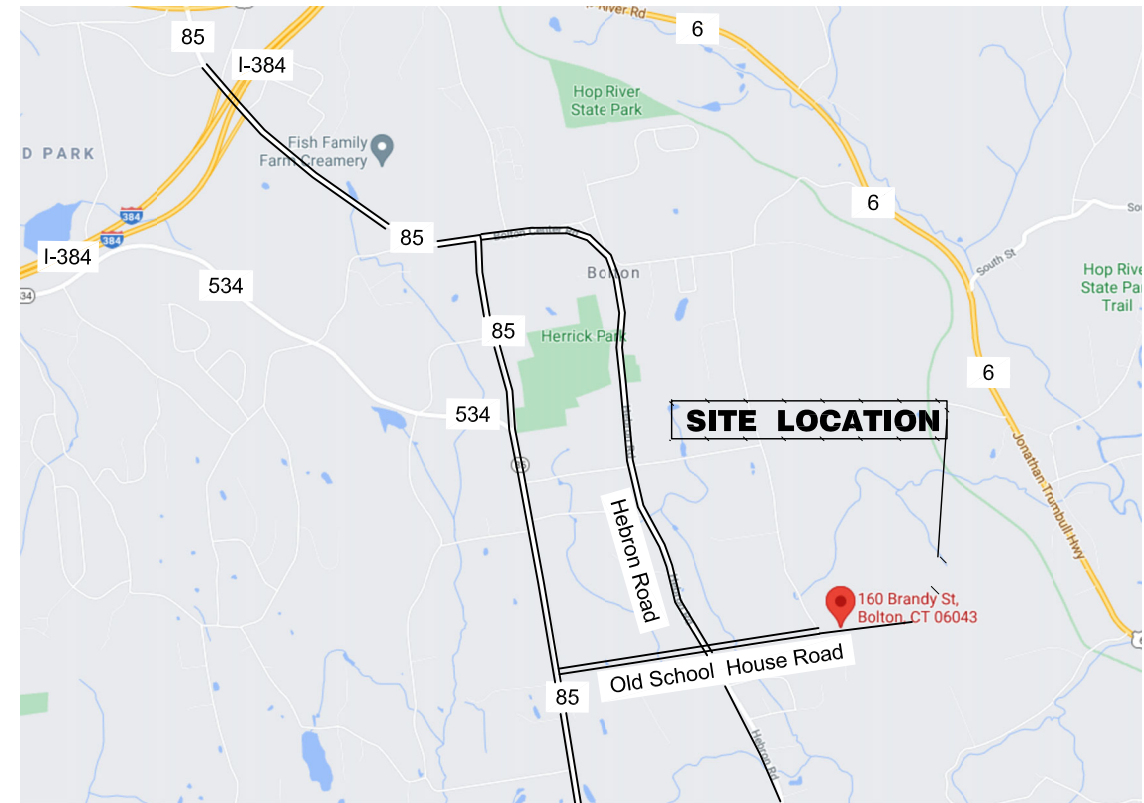
BOLTON LAND TRUST

TOWN OF BOLTON,
TOLLAND COUNTY, CONNECTICUT

DESIGN OF:
GRAVEL ACCESS ROAD & REHAB (560)

UNITED STATES DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

TOLLAND, CONNECTICUT JULY 2021
JOB CLASS II

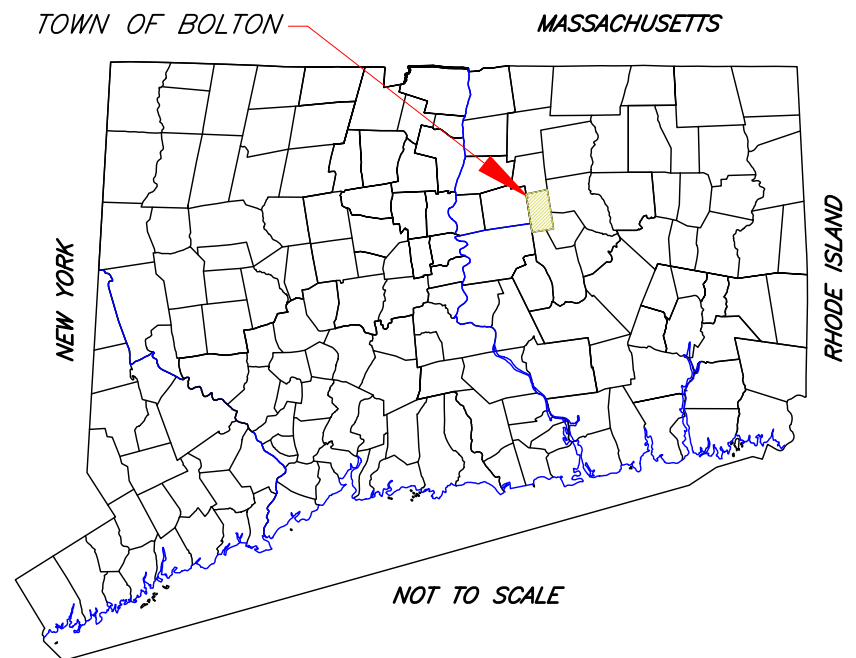


LOCATION MAP

GPS ADDRESS NEAR:
160 BRANDY STREET, BOLTON
CONNECTICUT

INDEX

- SHEET 1 COVER SHEET
- SHEET 2 ACCESS ROAD REHAB SITE PLAN VIEW
- SHEET 2A WETLAND PERMIT DRAWING FOR ACCESS ROAD REHAB SITE PLAN VIEW
- SHEET 2B FOREST STAND AND CONSERVATION PLAN MAP
- SHEET 3 PROFILE AND CROSS SECTION ALONG C-L OF GRAVEL ACCESS ROAD STA.0+00 TO STA.7+00
- SHEET 4 TYPICAL CROSS SECTION DETAILS, MATERIAL GRADATIONS
- SHEET 5 EROSION & SEDIMENT CONTROL
- PHOTOS OF PROPOSED TREATMENT AREAS



NOT TO SCALE

NOTE:
LANDOWNER IS RESPONSIBLE FOR OBTAINING
ALL NECESSARY PERMITS

ANY FIELD CHANGES WILL BE SHOWN ON THE
AS-BUILT DRAWINGS

CONSERVATION PLAN OR SCHEDULE OF OPERATIONS						
AS-BUILT QUALITY ASSURANCE AND ENGINEER STATEMENT						
THESE PRACTICES HAVE MET THE NRCS STANDARDS, SPECIFICATIONS, BASED ON THE PREPARED DRAWINGS, INFORMATION PROVIDED AND CONTRACT AGREEMENT DOCUMENTATION THAT HAVE BEEN COLLECTED						
CIN	CODE	PRACTICE DESCRIPTION	PLANNED QUANTITY	MEASURED QUANTITY	JOB CLASS	CERTIFICATION BY:
2	560	ACCESS ROAD - GRAVEL	444 LF	- LF	II	

Date	Designed	Drawn	Checked	Approved
7/2021	M. ROSADO	M. ROSADO	J. GAVIN	M. ROSADO

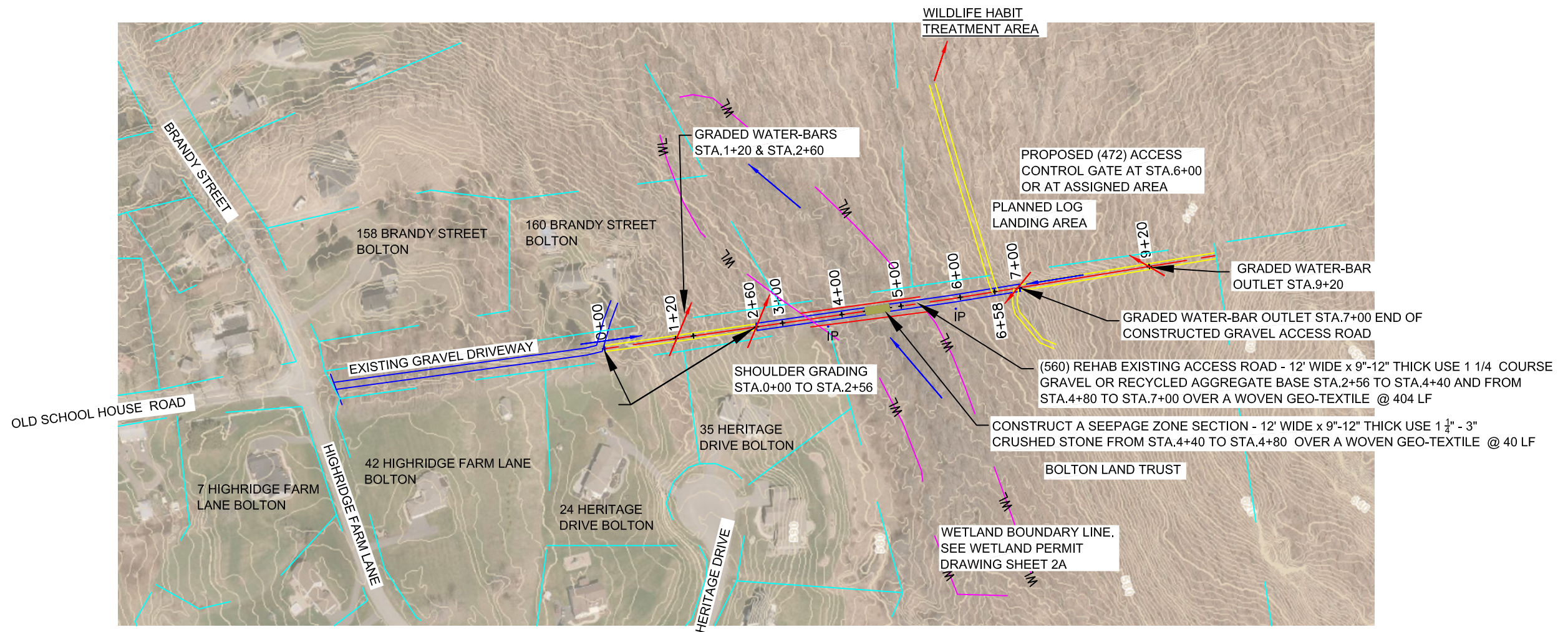
COVER SHEET
 BOLTON LAND TRUST
 (655) FORESTRY TRAILS & LANDINGS
 (560) ACCESS ROAD - GRAVEL
 TOLLAND COUNTY, CONNECTICUT
 160 BRANDY STREET, BOLTON

United States Department of Agriculture
Natural Resources Conservation Service

File No.
Bolton Land Trust.dwg

Drawing No.
CT-01-T-21-30

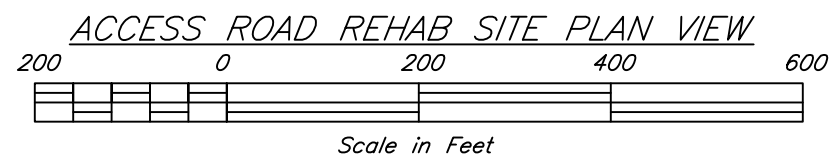
11
Sheet 1 of 5



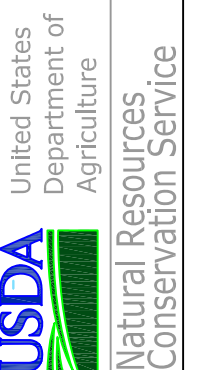
ESTIMATED QUANTITIES

COURSE GRAVEL OR R.A.P =256 tons
404 LF STA.2+56 TO 4+40 & STA.4+80 TO STA.7+00

1 1/4" - 3" CRUSHED STONE / ROCK22 tons
40 LF STA.4+40 TO STA.4+80

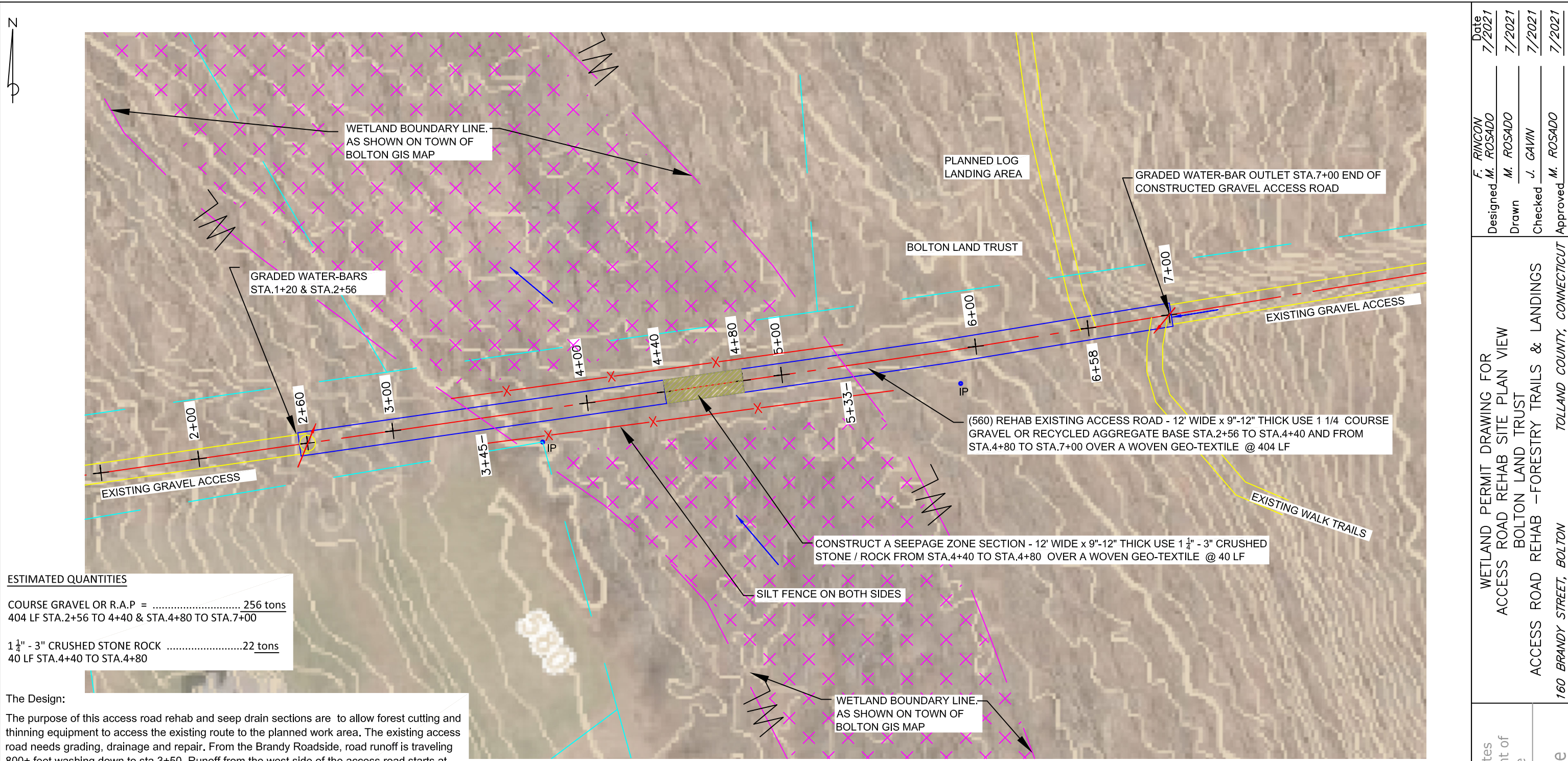


ACCESS ROAD REHAB SITE PLAN VIEW
 BOLTON LAND TRUST
 (655) FORESTRY TRAILS & LANDINGS
 (560) ACCESS ROAD - GRAVEL
 TOLLAND COUNTY, CONNECTICUT
 160 BRANDY STREET, BOLTON



File No.
 Bolton Land Trust.dwg
 Drawing No.
 CT-01-T-21-30
 7/28/21 11:06 AM
 Sheet 2 of 5

Designed	F. RINCON M. ROSADO	Date	7/2021
Drawn	M. ROSADO		7/2021
Checked	J. GAVIN		7/2021
Approved	M. ROSADO		7/2021



ESTIMATED QUANTITIES

COURSE GRAVEL OR R.A.P =	256 tons
404 LF STA.2+56 TO 4+40 & STA.4+80 TO STA.7+00	
1 1/4" - 3" CRUSHED STONE ROCK	22 tons
40 LF STA.4+40 TO STA.4+80	

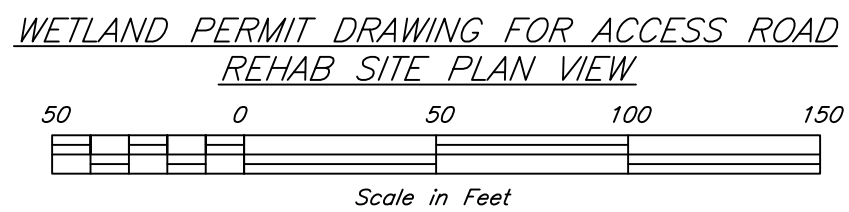
The Design:

The purpose of this access road rehab and seep drain sections are to allow forest cutting and thinning equipment to access the existing route to the planned work area. The existing access road needs grading, drainage and repair. From the Brandy Roadside, road runoff is traveling 800+ feet washing down to sta.3+50. Runoff from the west side of the access road starts at near Sta.10+00 (top of the slope) and flows down to sta.5+50, eroding the existing road and washing sediment into the wetlands.

The rehab grading and graveled sections will stop erosion and stabilize the existing road. All excavated materials within the wetland boundary shown, woody debris and soils, will be properly disposed of away from wetland areas.

This rehab and grading design calls for shaping of the existing road surface, adding water-bars, gravel treatment areas and a seepage drainage area at the lowest section of the existing access road (see drawing and detail sheets). For gravel road sections, the subgrade is shaped, a woven geo-textile is laid down and 9"-12" gravel is layout and compacted. The seep drain section is designed to allow water migration through and over the road section. If high water conditions were to occur, the road section will maintaining structural integrity. Rehab road finished surfaces will be no wider than 12' and a minimum width of 10' wide. The rehab work will allow heavy forest machinery passage over without damaging it or degrading it

NRCS is committed to design an environmentally responsible practice that allows agricultural operations to continue with minimal impact to the environment and maintenance. See site photos embedded within these drawings



FOREST TRAIL FINAL GRADING AND WATER-BAR LOCATIONS WILL BE IDENTIFIED PRIOR TO BRUSH MANAGEMENT AND FOREST STAND IMPROVEMENT WORK IS COMPLETED. FINAL TRAIL LOCATIONS WILL BE SHOWN ON THE AS-BUILT DRAWINGS

WETLAND IMPACT

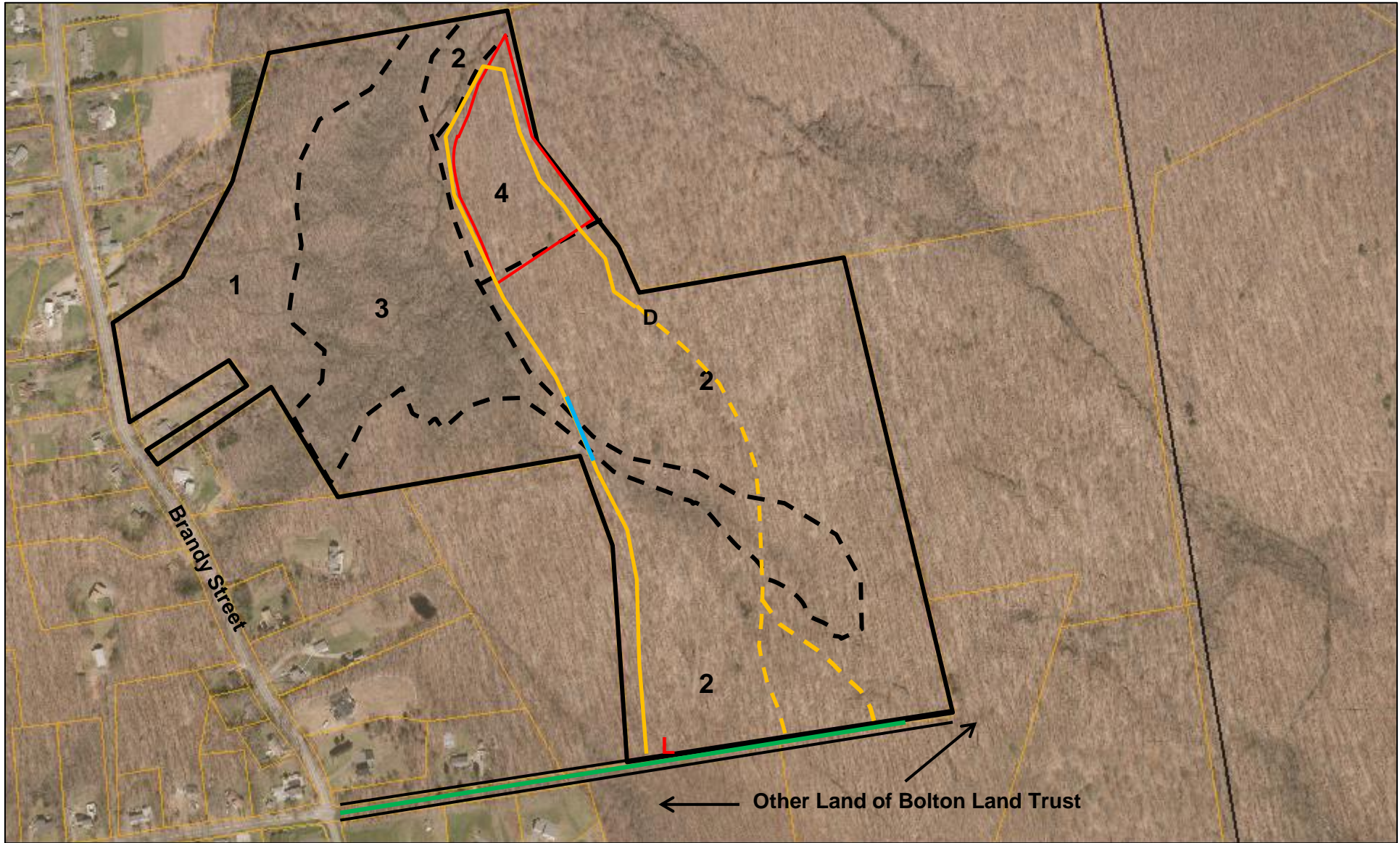
Wetland Delineation base map copied from Town of Bolton Wetland boundary GIS data base:

Area of Wetland Disturbance within the Wetland Boundary
 Road Rehab gravel & Seep Drain Section Sta.3+45 to Sta.5+33 = 188 LF
 188 LF x 12 FT wide = Disturbance 2,256 sq ft = (0.05 AC)
 Excavated materials 12'w x 188 LF x .3' thick total = 25 cy
 Fill Materials - stone & gravel 12'w x 188 LF x .5' thick total = 42 cy

BASE MAP COPIED FROM THE TOWN OF BOLTON GIS MAP UNIT

United States Department of Agriculture Natural Resources Conservation Service	File No. Bolton Land Trust.dwg
	Drawing No. CT-01-T-21-30
	7/28/21 11:06 AM Sheet 24 of 5
	WETLAND PERMIT DRAWING FOR ACCESS ROAD REHAB SITE PLAN VIEW BOLTON LAND TRUST ACCESS ROAD REHAB - FORESTRY TRAILS & LANDINGS 160 BRANDY STREET, BOLTON TOLLAND COUNTY, CONNECTICUT
F. RINCON M. ROSADO M. ROSADO J. GAVIN M. ROSADO	Date 7/2021 7/2021 7/2021 7/2021
Designed Drawn Checked Approved	M. ROSADO M. ROSADO J. GAVIN M. ROSADO

Bobcat Woods – Bolton Land Trust

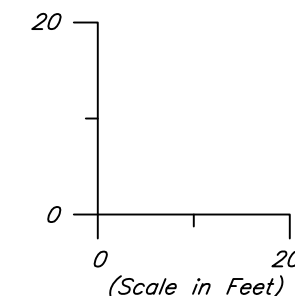
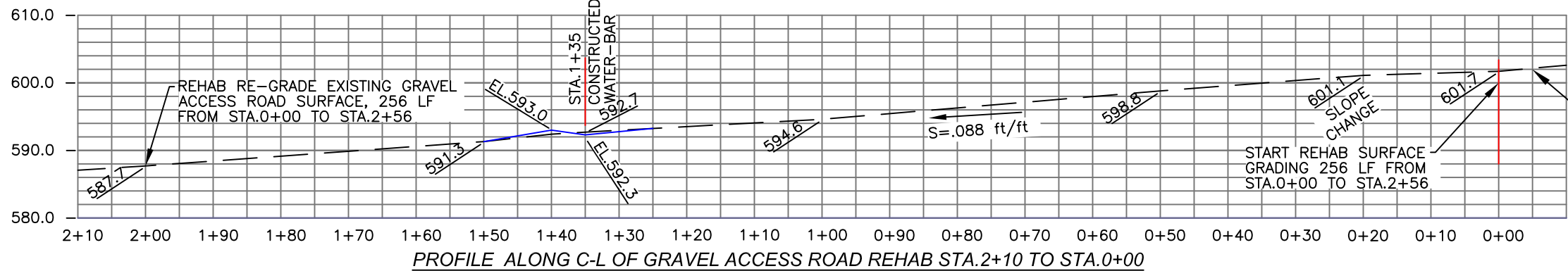
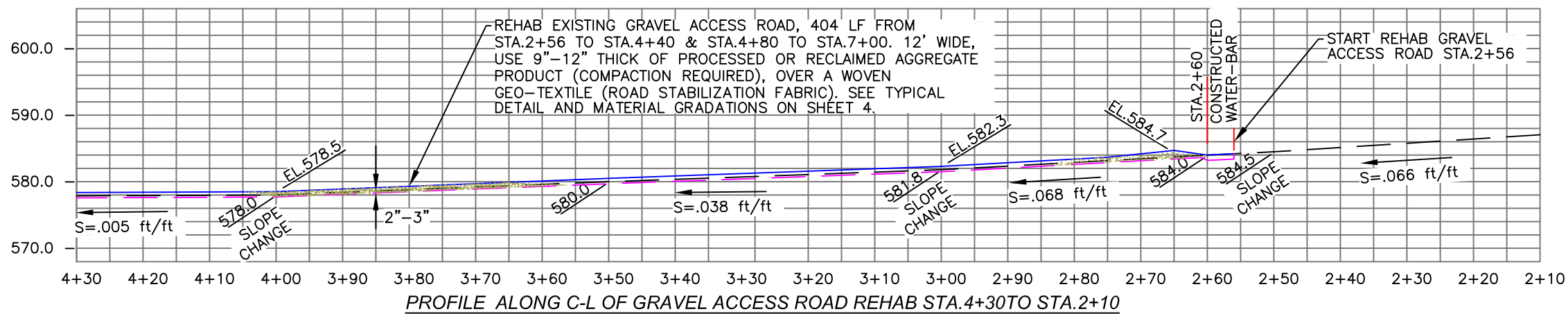
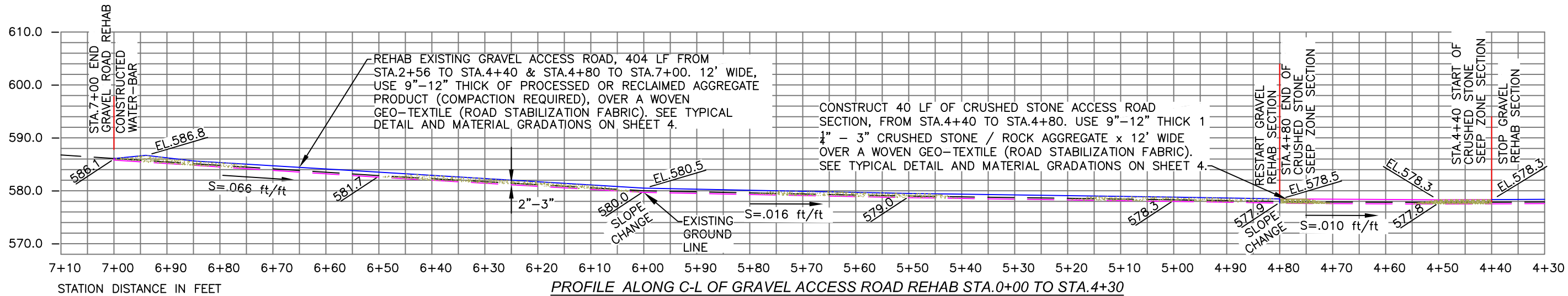


Forest Stand and Conservation Plan Map
 Bobcat Woods – Bolton Land Trust
 Brandy Street, Bolton, CT

- Forest stand lines
- Approximate limit of road stabilization
- ▭ 6+ acre wildlife habitat treatment area
- - - - - Approximate location of old farm road
- Approximate location of walking trail
- Future boardwalk to cross drainage
- L Approximate location of log landing
- D Old farm metal dump

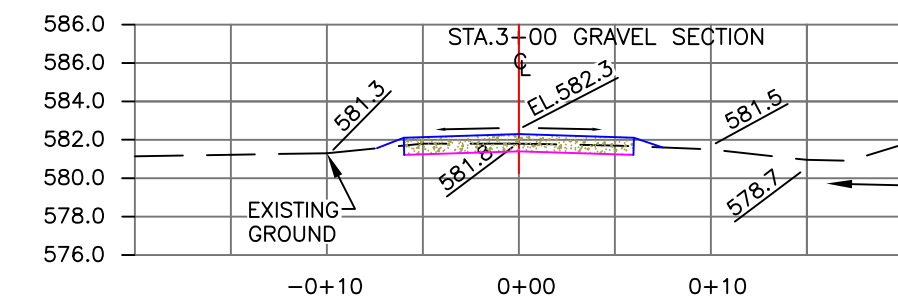
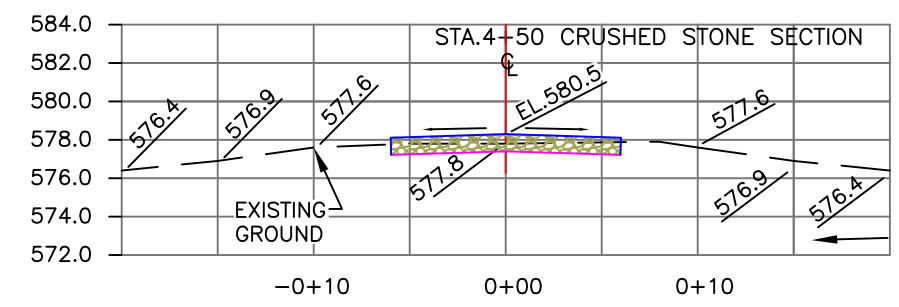
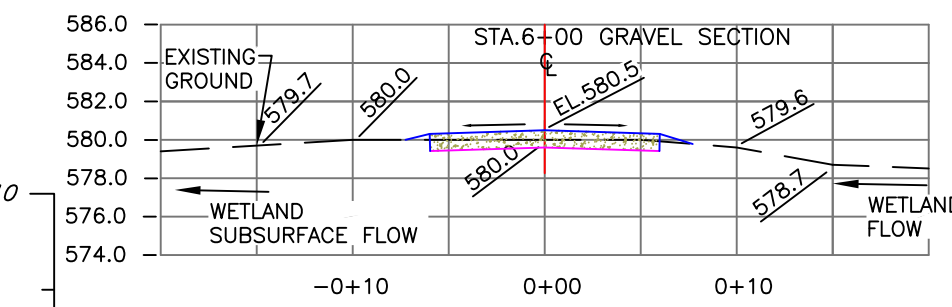
↑ 1" = 467'
 N

J. Nichols 4/11/20



NOTE:
ANY FIELD CHANGES WILL BE SHOWN ON THE AS-BUILT DRAWINGS

ALL CROSS SECTION ARE LOOKING AT INCREASING C-L STATIONS



CROSS SECTIONS ALONG C-L OF GRAVEL ACCESS ROAD REHAB STA.6+00 TO STA.3+00

ELEVATIONS IN FEET - LIDAR CONTOUR DATUM BENCH MARK ELEV.580.00 (ASSUMED CONTOUR)

(Scale in Feet)

Date	7/2021
Designed	F. RINCON M. ROSADO
Drawn	M. ROSADO
Checked	J. GAVIN
Approved	M. ROSADO

PROFILE AND CROSS SECTION ALONG C-L OF
GRAVEL ACCESS ROAD STA.0+00 TO STA.7+00
BOLTON LAND TRUST
(560) ACCESS ROAD - GRAVEL
TOLLAND COUNTY, CONNECTICUT
160 BRANDY STREET, BOLTON

United States Department of Agriculture
USDA
Natural Resources Conservation Service

File No.
Bolton Land Trust.dwg

Drawing No.
CT-01-7-21-30

7/28/21 11:06 AM
Sheet 3 of 5

GRAVELS APPROVED FOR USE

PROCESSED AGGREGATE GRAVEL - TOP COVER

CT. D.O.T PROCESSED AGGREGATE BASE	
GRADATION - 3" FINAL GRAVEL FINISH	
SQUARE MESH SIEVE	% PASSING BY WEIGHT
PASS 2-1/2"	100
PASS 2"	95-100
PASS 3/4"	50-75
PASS # 1/4"	25-45
PASS # 40	5-20
PASS # 100	2-12
PASS # 200	<-2

MATERIAL: NO MORE THAN 2% BY WEIGHT SHALL PASS THE # 200 SIEVE. COMPACTION REQUIRED

GRADE B GRADED GRAVEL - BASE

FROM 816 CT DOT M.02.06	
GRADATION - 9" GRADE "B" BASE GRAVEL	
SQUARE MESH SIEVE	% PASSING BY WEIGHT
PASS 5"	100
PASS 3-1/2"	95-100
PASS 1-1/2"	55-95
PASS 1/4"	25-60
PASS # 10	15-45
PASS # 40	5-25
PASS # 100	0-10
PASS # 200	0-5

RECLAIMED AGGREGATE PRODUCT

FROM 816 CT DOT M.02.06	
GRADATION - 9" GRADE "B" BASE GRAVEL	
SQUARE MESH SIEVE	% PASSING BY WEIGHT
PASS 5"	100
PASS 3-1/2"	95-100
PASS 1-1/2"	55-95
PASS 1/4"	25-60
PASS # 10	15-45
PASS # 40	5-25
PASS # 100	0-10
PASS # 200	0-5

EXAMPLES:
 PROCESSED AGGREGATE 1-1/4", 3/4"
 STATE SPEC. PROCESSED GRAVEL
 A & B PROCESSED AGGREGATE BASE
 BANK RUN (CRUSHED) -3-1/2"
 STATE SPEC. -5" MINUS GRAVEL

WOVEN GEOTEXTILE FABRIC

(ROAD STABILIZATION FABRIC)
 GEOTEXTILE SHALL BE USED BENEATH GRAVEL ACCESS ROAD, AS NOTED ON THE DRAWINGS OR AS SPECIFIED AND APPROVED BY THE NRCS PROJECT ENGINEER.

THIS WOVEN GEOTEXTILE MUST MEET THE MINIMUM "SURVIVABILITY CRITERIA LISTED BELOW":

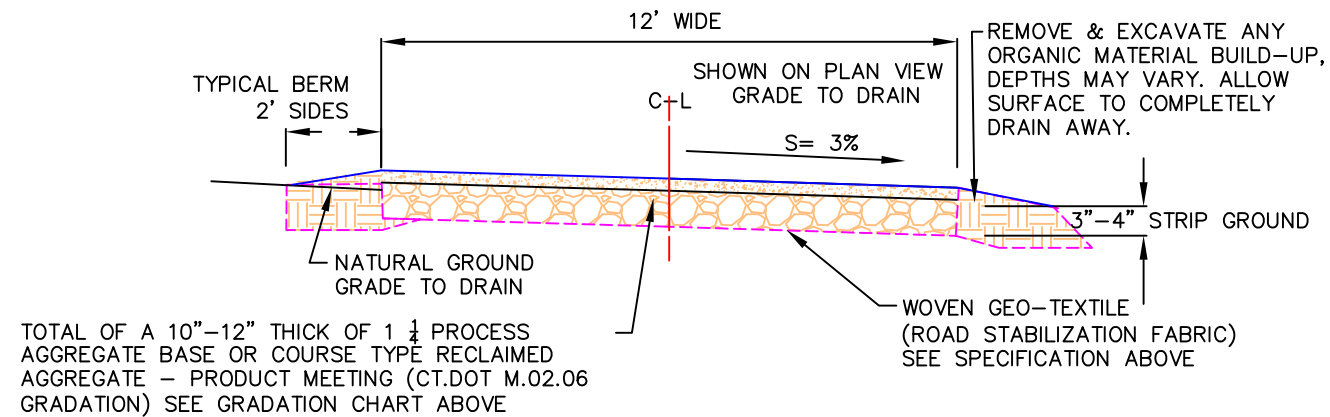
SPECIFICATIONS ARE AS FOLLOWS:
 -GRAB TENSILE STRENGTH: 200 LBS. ASTM D-1682
 -TEAR STRENGTH: 55 LBS. ASTM D-1117
 -MULLEN BURST 290 PSI OR BETTER.
 -PUNCTURE STRENGTH 65 LBS.
 -U.V. LIGHT RESISTANT
 -APPARENT OPENING U.S. SIEVE #40 SIZE.

CRUSHED AGGREGATE No. 3

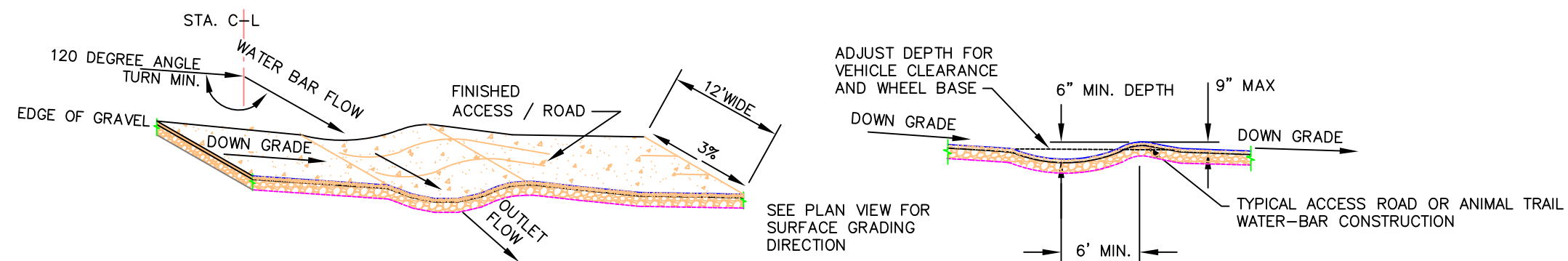
CT. D.O.T FORM 816 M.01.01	
2" STONE WATER-BAR CONSTRUCTION	
SQUARE MESH SIEVE	% PASSING BY WEIGHT
PASS 2-1/2"	100
PASS 2"	90-100
PASS 3/4"	50-75
PASS # 1/4"	25-45
PASS # 40	5-20
PASS # 100	2-12
PASS # 200	<-2

EARTHFILL CLASS C

LOCATION		MATERIAL	
EARTHEN BERMS, SIDE SLOPES, AND SUBGRADE BENEATH GRAVEL LAYERS.		SUITABLE ON SITE SAND, SILTS, AND GRAVELS.	
MAX. ROCK SIZE	MAX LIFT THICKNESS	OPTIMUM WATER CONTENT FOR COMPACTION	COMPACTION REQUIREMENT
6"	12"	THOROUGHLY WET BUT NOT SO WET AS TO CAUSE ADHERENCE OF THE MATERIAL TO THE COMPACTION	THREE PASSES OF THE HAULING OR SPREADING EQUIPMENT PER 12" LIFT OR EQUIVALENT METHOD



TYPICAL GRAVEL ROAD CROSS SECTION
N.T.S.



TYPICAL GRAVEL WATER-BAR CROSS SECTION
N.T.S.

Date 7/2021
 Revised F. RINCON
 Designed M. ROSADO
 Drawn M. ROSADO
 Checked J. GAVIN
 Approved M. ROSADO

TYPICAL CROSS SECTION DETAILS, MATERIALS AND GRADATIONS

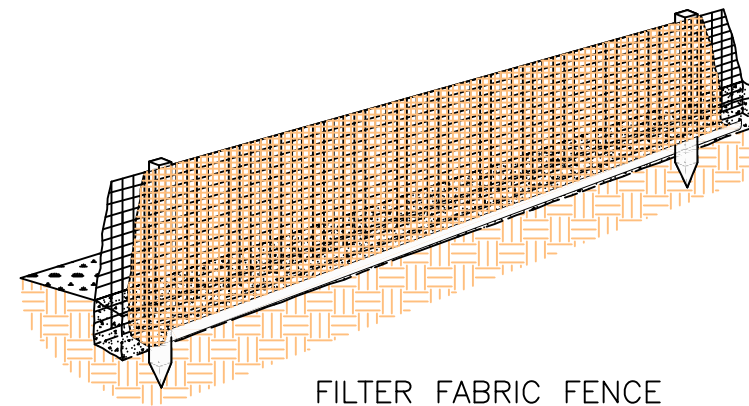
BOLTON LAND TRUST
 (560) ACCESS ROAD - GRAVEL
 TOLLAND COUNTY, CONNECTICUT
 160 BRANDY STREET, BOLTON

United States Department of Agriculture
 USDA
 Natural Resources Conservation Service

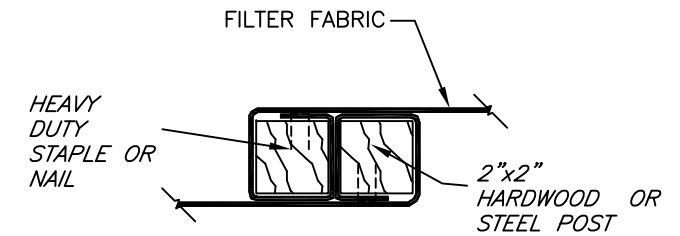
File No. Bolton Land Trust.dwg
 Drawing No. CT-01-T-21-30
 7/28/21 11:06 AM
 Sheet 4 of 5

EROSION AND SEDIMENT CONTROL NOTES

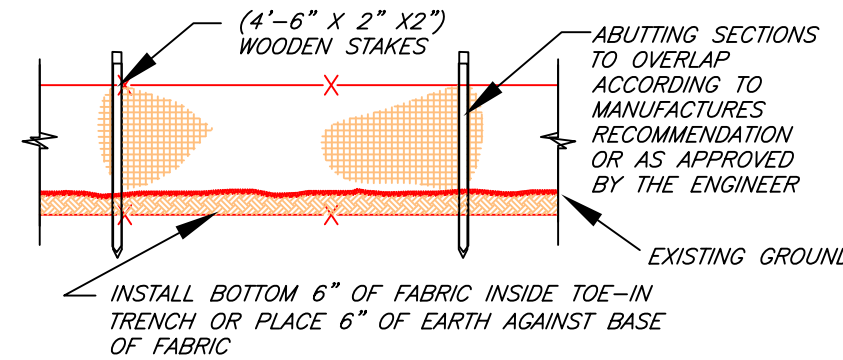
1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO AND DURING CLEARING, GRADING, AND EXCAVATION. SILT FENCE (FABRIC TYPE) SHALL BE INSTALLED AS NEEDED, OR AS INSTRUCTED BY THE NRCS PROJECT ENGINEER.
2. POSTS SHALL (36) INCH MINIMUM LENGTH CONSTRUCTED OF EITHER OF THE FOLLOWING MATERIALS: STEEL "T" OR "U" TYPE, OR 2" X 2" HARDWOOD.
3. WOVEN WIRE USED AS ADDITIONAL FENCE SUPPORT (WHEN REQUIRED) SHALL BE MINIMUM 14.5 GAUGE WITH (6) INCH MAXIMUM MESH SPACING.
4. WOVEN WIRE SHALL BE PLACED ALONG THE UPHILL SIDE OF THE FENCE AND FASTENED WITH WIRE TIES OR (1) INCH STAPLES ALONG THE UPHILL SIDE OF THE POSTS.
5. FILTER FABRIC SHALL BE FASTENED TO WOVEN WIRE ACCORDING TO MANUFACTURERS RECOMMENDATION, OR WITH TIES EVERY (24) INCHES AT TOP AND MID-SECTION.
6. WHERE TWO PIECES OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY (6) INCHES AND FOLDED.
7. WHERE TWO POSTS MEET TO JOIN FENCE SECTIONS, THE TOPS OF THE POSTS SHALL BE SECURED TOGETHER WITH WIRE.
8. THE FENCE SHALL BE CONSTRUCTED ALONG THE CONTOUR AS MUCH AS POSSIBLE.
9. ENDS OF FENCES SHALL BE EXTENDED UP THE SLOPE TO PREVENT RUNOFF FROM MIGRATING AROUND THE END OF THE FENCE.
10. INSPECTION OF THE FENCE SHALL BE PERFORMED WEEKLY, OR IMMEDIATELY AFTER A RAIN EVENT, OR WHEN BULGES APPEAR IN THE FENCE. ACCUMULATED SILT SHALL NOT BE ALLOWED TO EXCEED (1/2) HEIGHT OF THE FABRIC. REPAIR AND OR REPLACEMENT OF DAMAGED FENCE SHALL BE COMPLETED PROMPTLY, AS NEEDED.
11. ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED SITE IN SUCH A MANNER THAT IT WILL NOT CONTRIBUTE TO OFF-SITE SILTATION.
12. MULCHING AND FINAL SEEDING SHALL FOLLOW COMPLETED SEGMENTS OF THE WORK. SEE SPECIFICATION FOR SEEDING REQUIREMENTS.
13. ALL FENCING SHALL BE REMOVED WHEN THE CONSTRUCTION SITE IS FULLY STABILIZED SO AS TO NOT IMPEDE STORM FLOW OR DRAINAGE.
14. ALL CHEMICALS, FUELS, AND LUBRICATIONS, SHALL BE LOCATED, STORED, AND DISPOSED OF IN SUCH A MANNER AS TO PREVENT THEIR ENTRY INTO WETLAND OR WATERCOURSE. NO EQUIPMENT OR MACHINERY SHALL BE STORED, CLEANED OR REPAIRED WITHIN A WETLAND OR WATERCOURSE.



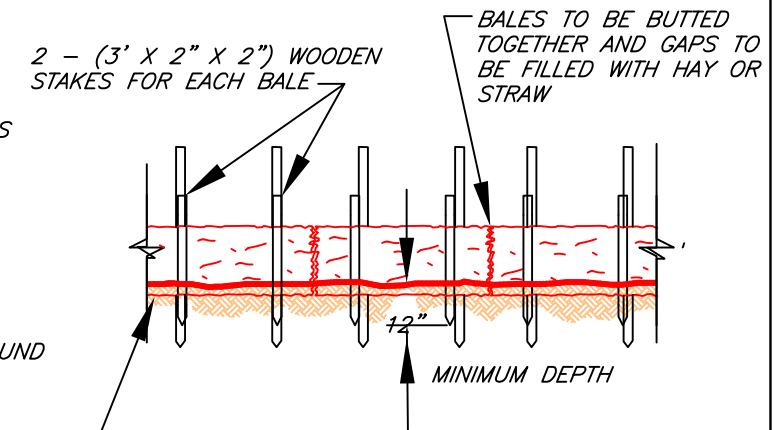
FILTER FABRIC FENCE
PERSPECTIVE VIEW



RECOMMENDED METHOD OF JOINING FENCE SECTIONS



SILT FENCE / FILTER FABRIC
N.T.S



NOTE: EXISTING GROUND TO EXCAVATED. THE MINIMUM WIDTH OF A BALE TO A DEPTH OF 4". BACKFILL AND COMPACT EXCAVATED SOIL ON THE UPHILL SIDE OF THE BARRIER.

HAY OR STRAW BALE FENCE

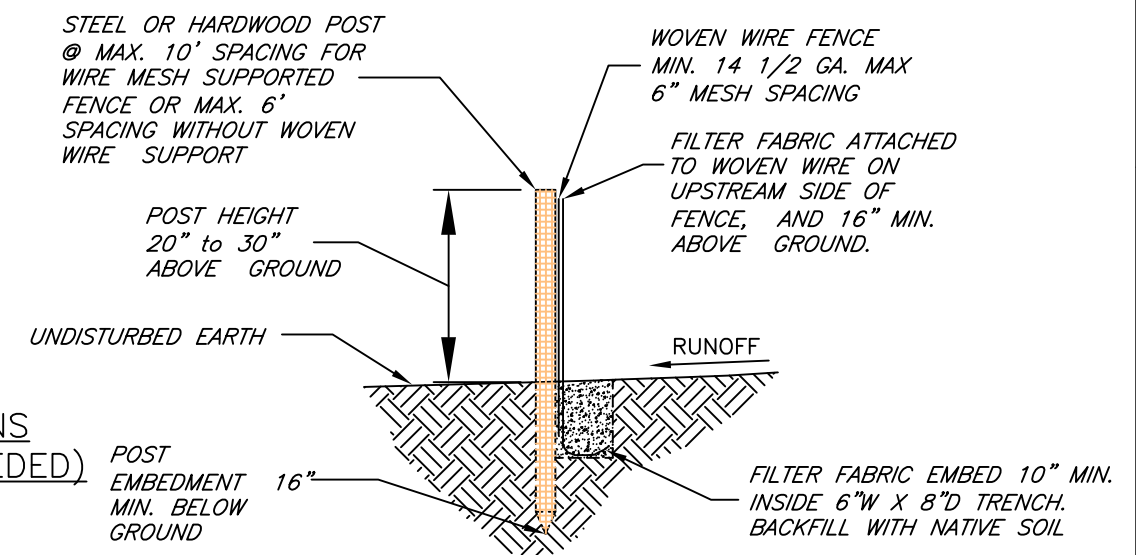
SEEDING NOTES (IF NEEDED)

1. LIMESTONE AND FERTILIZER SHALL BE APPLIED ACCORDING TO SOIL TEST RESULTS, OR SHALL BE APPLIED AT A RATE OF 800 POUNDS OF "10-10-10" AND 2 TONS OF LIME PER ACRE, WHICHEVER IS GREATER.
2. SEEDING SHALL BE ALLOWED ONLY FROM APRIL 1 - JUNE 15, AND FROM AUGUST 15 - SEPTEMBER 30, UNLESS DIRECTED OTHERWISE BY THE NRCS. SEE SPECIFICATIONS FOR SEEDING MIXTURES.
3. ALL DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR HAY AT THE RATE OF 4,000 POUNDS PER ACRE OR 100LBS/1000 FT. MULCH TIE-DOWN SHALL BE BY NON-ASPHALT TACKIFIER APPLIED AT RATES RECOMENDED BY THE MANUFACTURER FOR HAY OR STRAW TIE-DOWN APPLICATIONS. THE TIE-DOWN SOLUTION SHALL BE APPLIED WITHIN 24 HOURS OF MULCHING. ANOTHER OPTION WOULD BE TO SURFACE DISC IN THE HAY OR STRAW MULCH WITH A DISC HARROW

SEEDING RECOMMENDATIONS AND SPECIFICATIONS: (IF NEEDED)

SEED MIXTURE	LBS/ACRE	LBS/1,000 Sq. Ft.
KENTUCKY BLUEGRASS	40	1.0
PERENNIAL RYE	10	0.25
CREEPING RED FESCUE	40	1.0
TOTAL	90	TOTAL 2.25

* NOTE: OTHER COMPARABLE SEED MIXTURES MAY BE USED INSTEAD OF THE ABOVE.



NOTE: ALL DETAILS ON THIS SHEET ARE TYPICAL.

Date	7/2021
Designed	F. RINCON M. ROSADO
Drawn	M. ROSADO
Checked	J. GAVN
Approved	M. ROSADO

EROSION & SEDIMENT CONTROL
BOLTON LAND TRUST
(560) ACCESS ROAD - GRAVEL
TOLLAND COUNTY, CONNECTICUT
160 BRANDY STREET, BOLTON

United States Department of Agriculture
USDA
Natural Resources Conservation Service

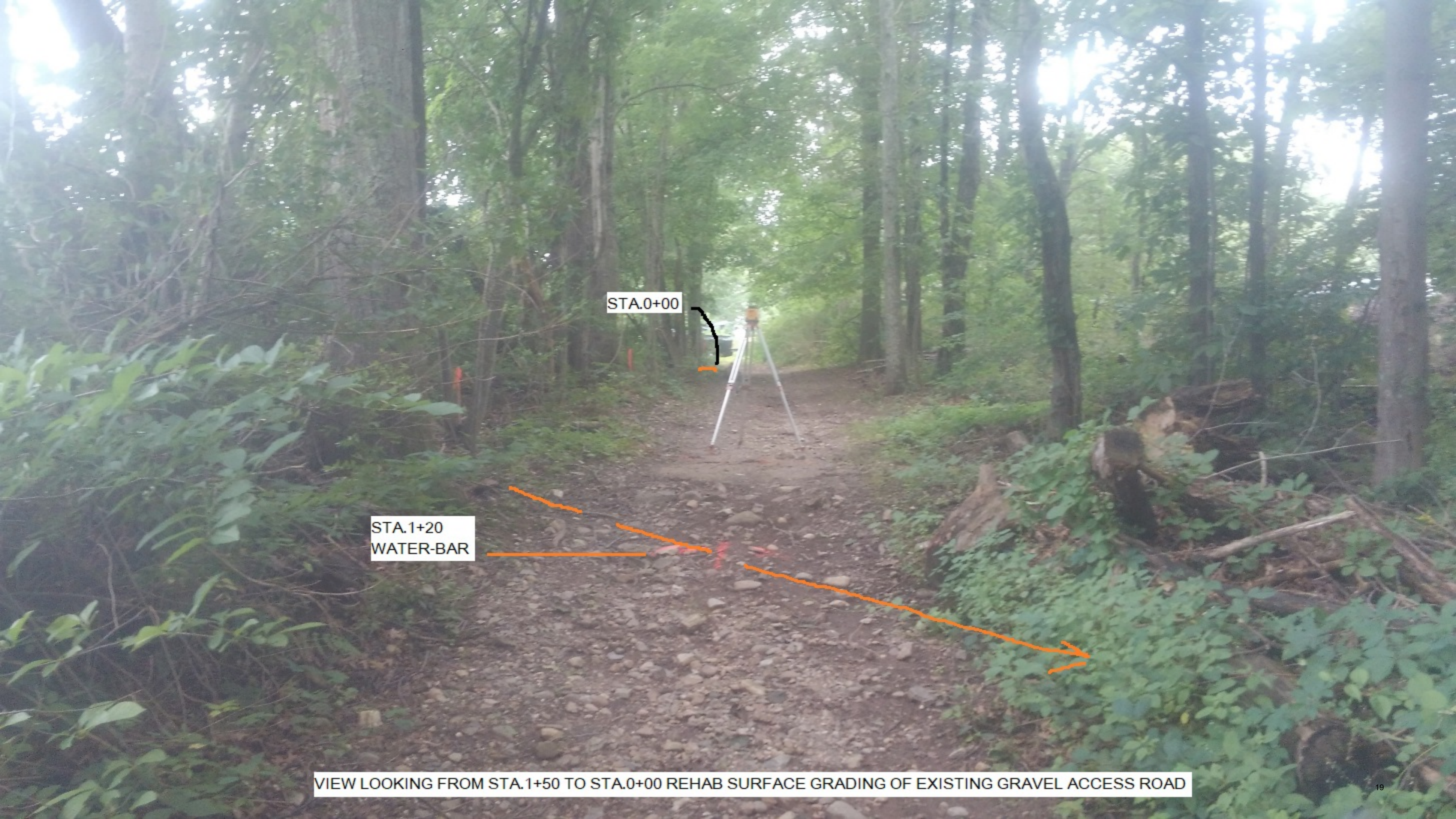
File No. Bolton Land Trust.dwg
Drawing No. CT-01-T-21-30
7/28/21 11:06 AM
Sheet 5 of 5



STA.0+00

STA.0+50

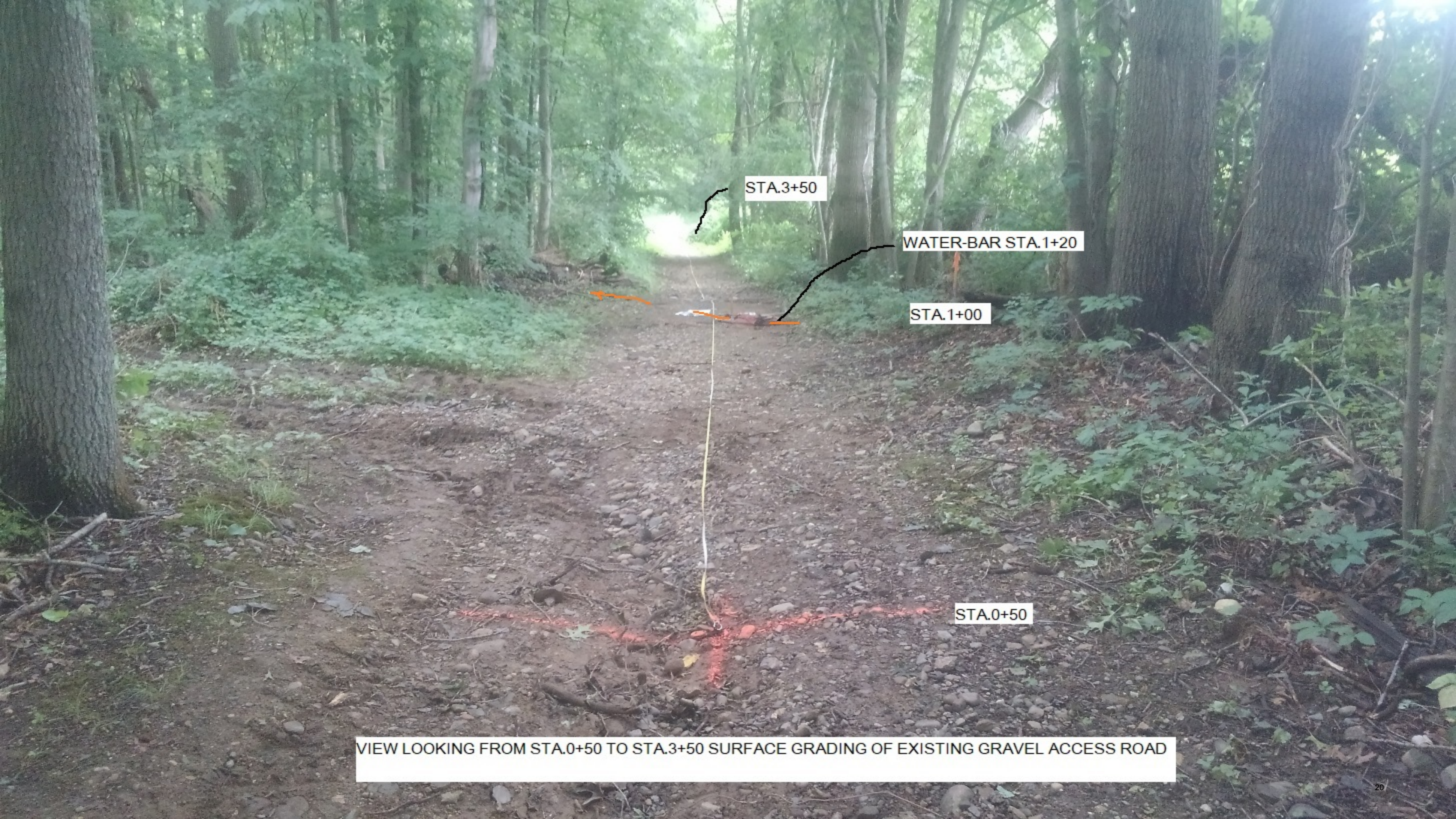
VIEW LOOKING FROM STA.0+50 TO STA.0+00 SURFACE GRADING REHAB EXISTING GRAVEL ACCESS ROAD



STA.0+00

STA.1+20
WATER-BAR

VIEW LOOKING FROM STA.1+50 TO STA.0+00 REHAB SURFACE GRADING OF EXISTING GRAVEL ACCESS ROAD



STA.3+50

WATER-BAR STA.1+20

STA.1+00

STA.0+50

VIEW LOOKING FROM STA.0+50 TO STA.3+50 SURFACE GRADING OF EXISTING GRAVEL ACCESS ROAD



WATER-BAR STA.2+60

STA.2+00

STA.4+00

VIEW LOOKING FROM STA.4+00 TO STA.2+00 REHAB EXISTING GRAVEL ACCESS ROAD

STA.7+00 END

STA.4+80

WETLANDS

PROPOSED CRUSHED STONE
SEEP DRAIN ROAD SECTION

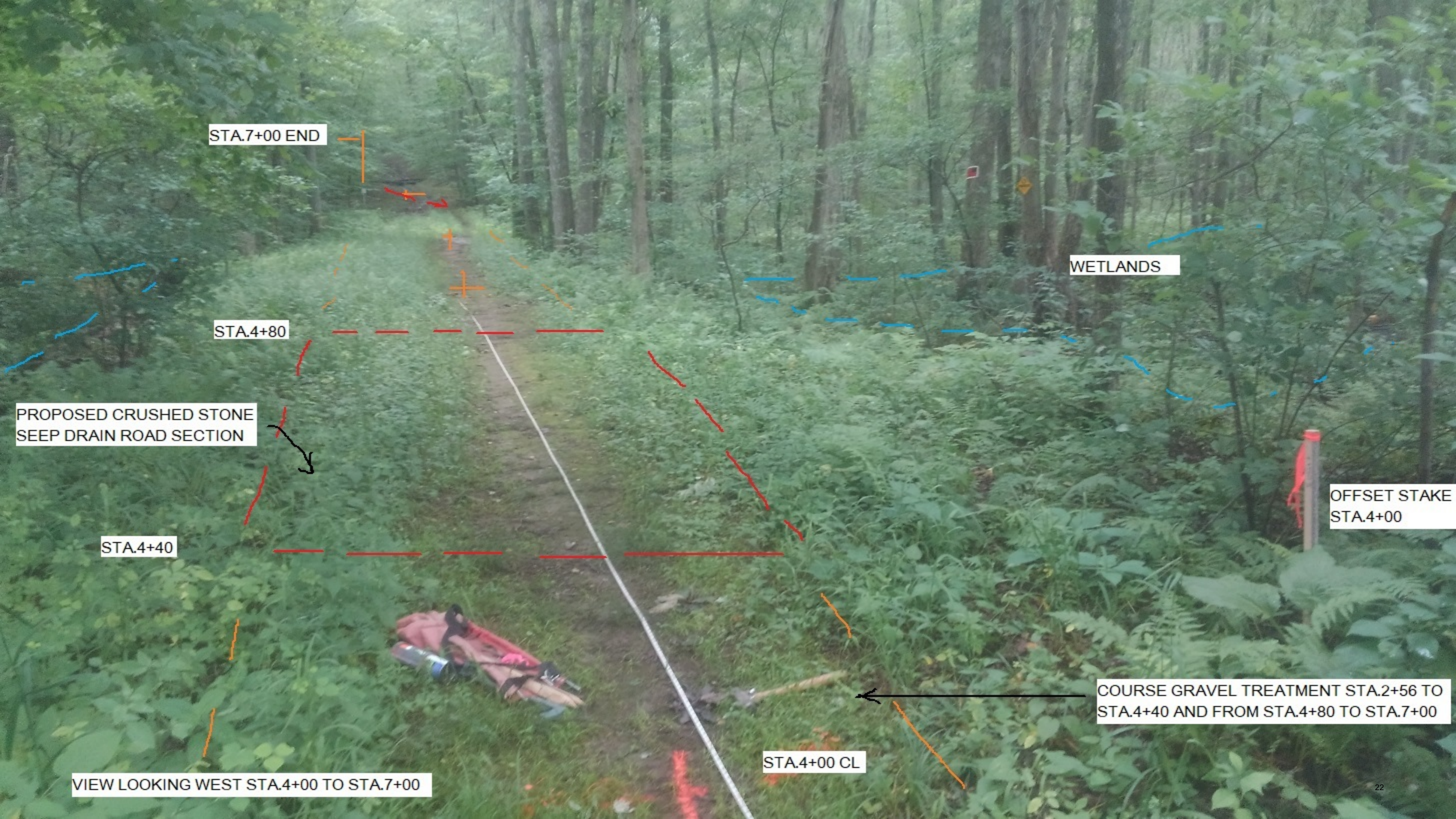
OFFSET STAKE
STA.4+00

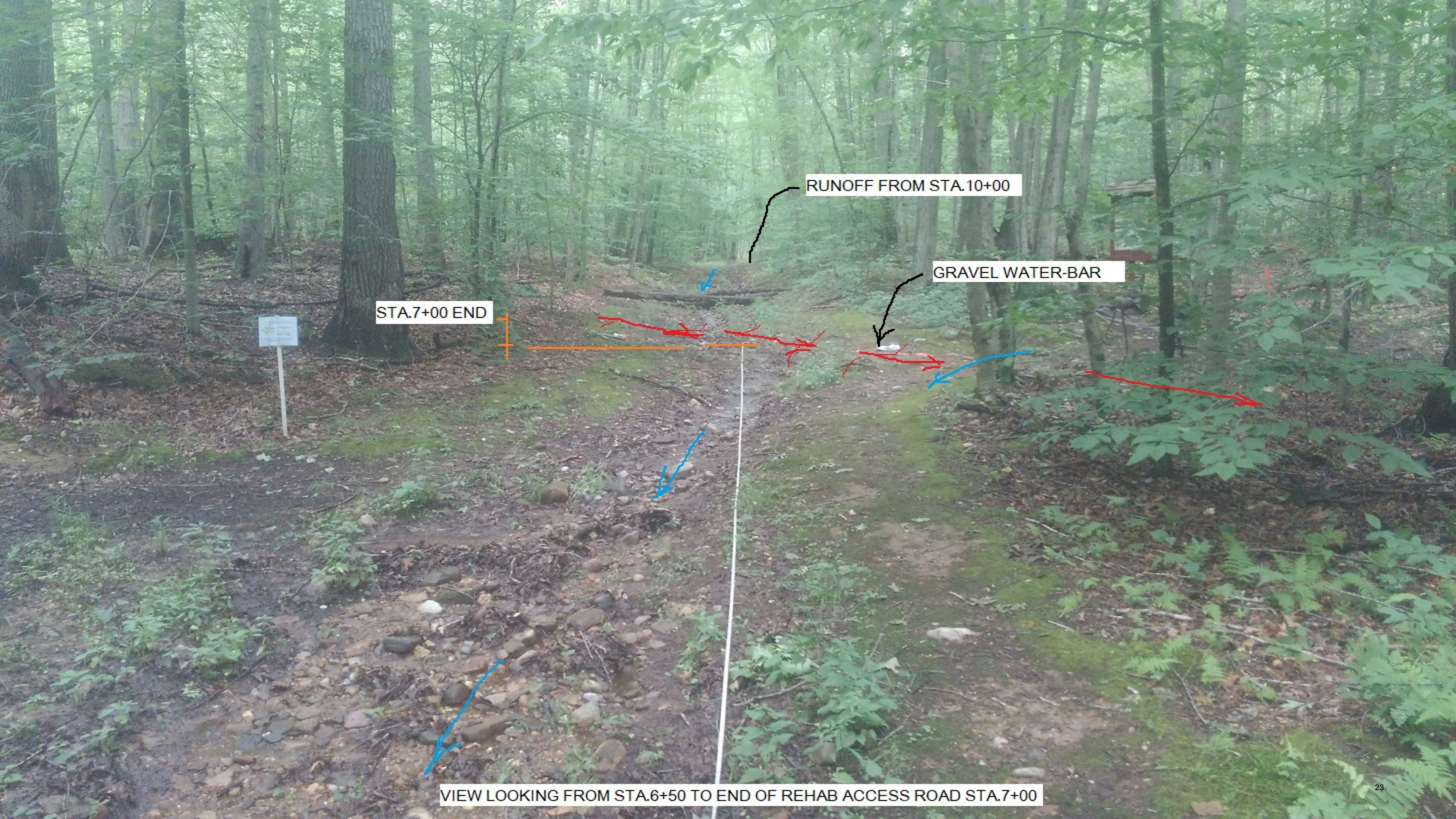
STA.4+40

COURSE GRAVEL TREATMENT STA.2+56 TO
STA.4+40 AND FROM STA.4+80 TO STA.7+00

STA.4+00 CL

VIEW LOOKING WEST STA.4+00 TO STA.7+00





RUNOFF FROM STA.10+00

GRAVEL WATER-BAR

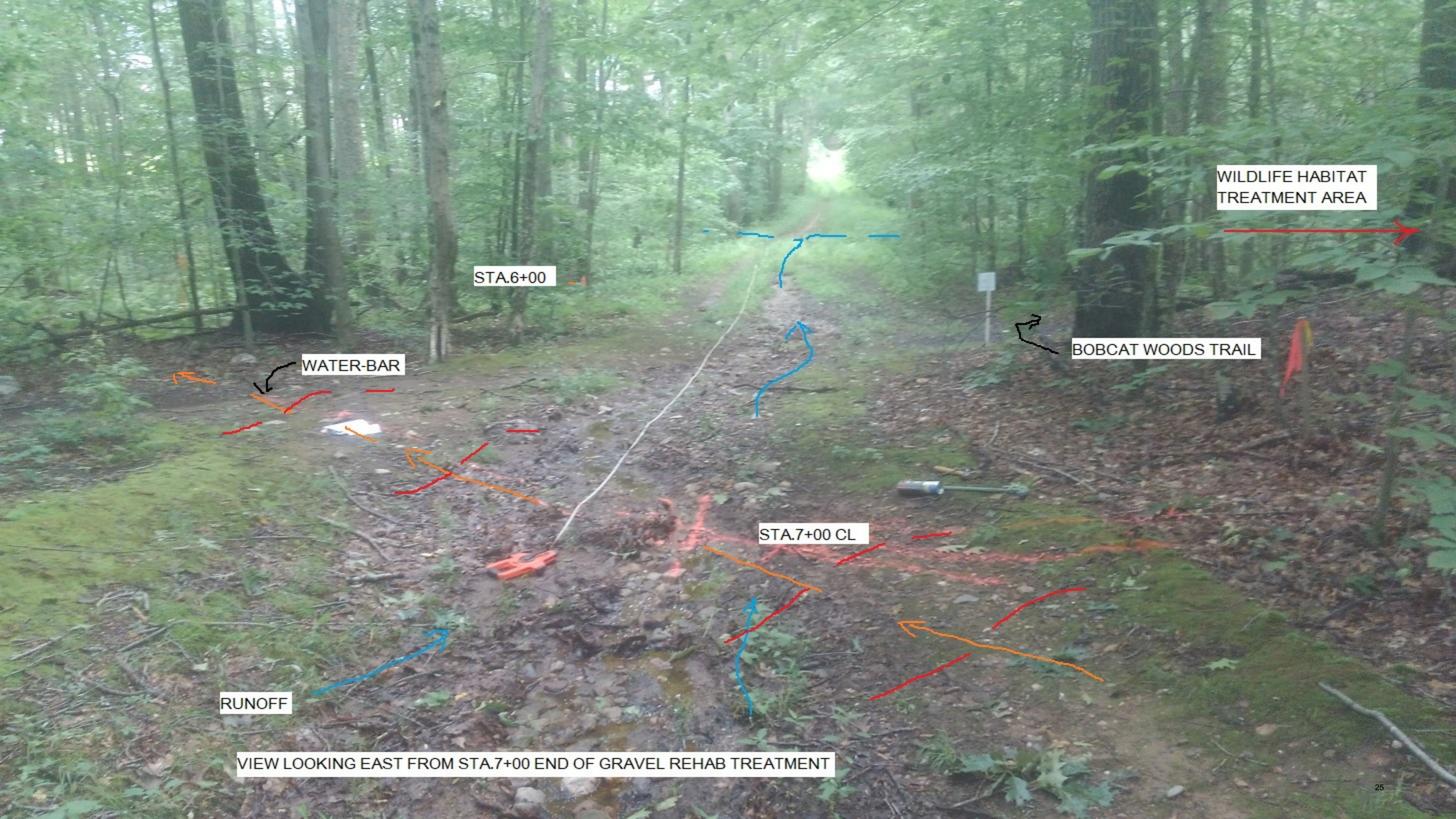
STA.7+00 END

VIEW LOOKING FROM STA.6+50 TO END OF REHAB ACCESS ROAD STA.7+00



STA.7+00 CL

VIEW LOOKING FROM STA.7+00 AT PROPOSED CONSTRUCTED GRAVEL WATER-BAR



WILDLIFE HABITAT
TREATMENT AREA

STA.6+00

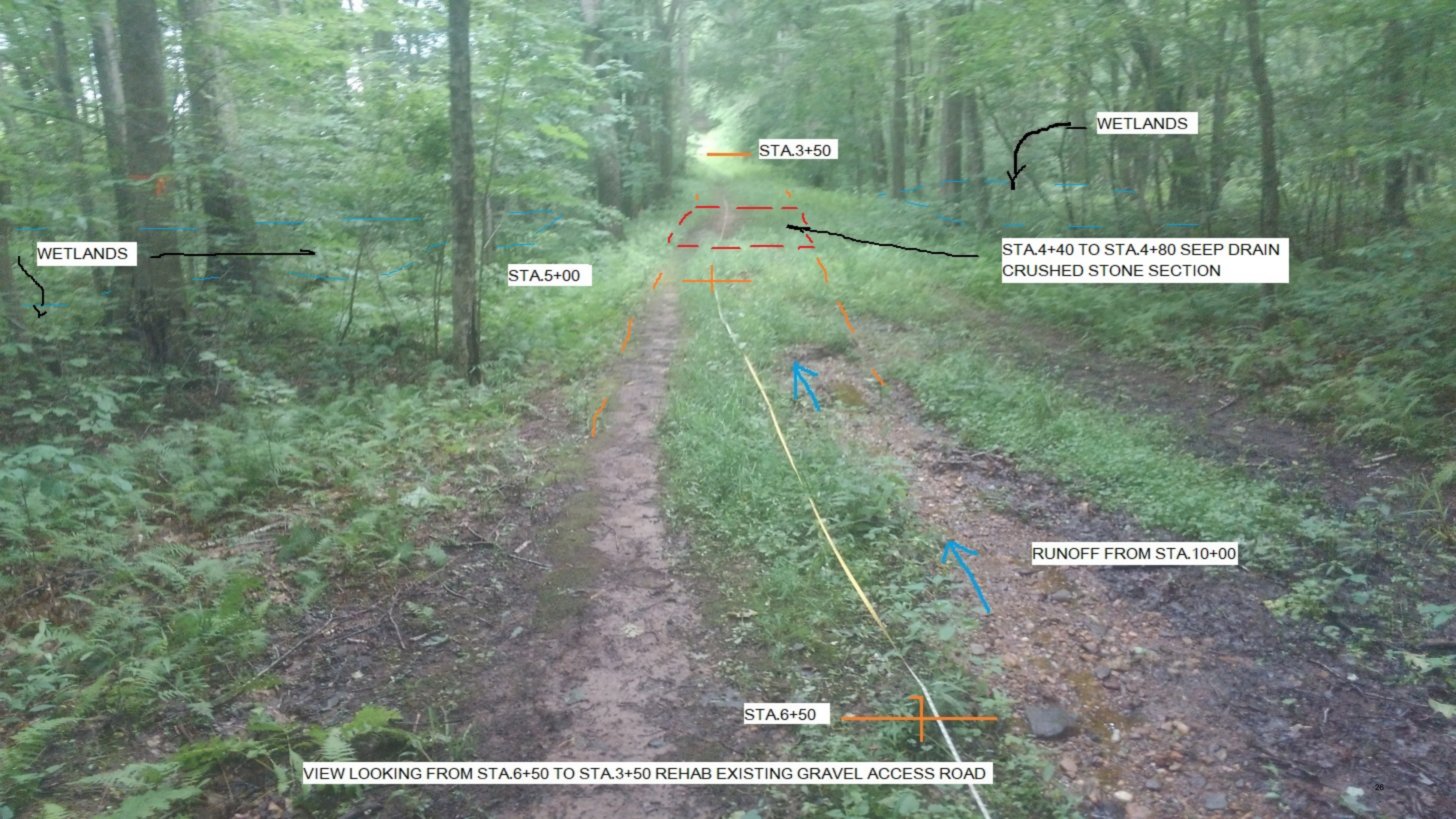
WATER-BAR

BOBCAT WOODS TRAIL

STA.7+00 CL

RUNOFF

VIEW LOOKING EAST FROM STA.7+00 END OF GRAVEL REHAB TREATMENT



WETLANDS

WETLANDS

STA.3+50

STA.5+00

STA.4+40 TO STA.4+80 SEEP DRAIN
CRUSHED STONE SECTION

RUNOFF FROM STA.10+00

STA.6+50

VIEW LOOKING FROM STA.6+50 TO STA.3+50 REHAB EXISTING GRAVEL ACCESS ROAD

Addendum to Bolton Land Trust
Inland Wetlands Application
August 10, 2021

Abutters to Bobcat Woods property

Steven and Lynne Czerwinski
116 Brandy Street
Bolton, CT 06043

Debra L. Freund-Bothur
126 Brandy Street
Bolton, CT 06043

Scott F. and Deborah Stevens
126 Brandy Street
Bolton, CT 06043

Ronald P. Morin Jr. and Melissa L. Stevens, Trustees
138 Brandy Street
Bolton, CT 06043

William R. and Renee D. Holota
142 Brandy Street
Bolton, CT 06043

Alan Williamson
Brandy Street
Bolton, CT 06043

Bryan A. and Shannon Fairclough
148 Brandy Street
Bolton, CT 06043

Eileen C. and Frederick P. Kross, Jr.
113 Postwood Turn
Peachtree, GA 30269

Dorothy Matusevitz
7132 West Villa Teresa Drive
Glendale, AZ 85308

Mark Altermatt (abutter on road only)
160 Brandy Street
Bolton, CT 06043

ASC Realty, Inc.
P.O. Box 122
Andover, Connecticut 06232

Zenta O. Barger, Trustee
4479 SW Fenwick Ln
Palm City, FL 34990

John and Janina Rozynski
150 Fairlane Drive
Wethersfield, CT 06109