

February 24, 2025

ZBA-25-1

Zoning Board of Appeals

Status: Active

Submitted On: 2/23/2025

Primary Location

0 VERNON RD BOLTON, CT 06043

Owner

James E. Read Pleasant Street 45 Holliston, MA 01746

Applicant

James Read



J 774-217-3608

@ jamesread311@gmail.com

♠ 45 Pleasant Street Holliston, MA 01746

Permit Info

Occupancy Type*

Residential

Aquifer Protection Area*

No

Application For*

Variance

Zone *

R-3

Zoning Board of Appeals

Statement of Hardship*

My family and I want to develop our land on Vernon Road. It is a vacant Lot Of Record which Pre-Dates zoning standards and has never before been developed. We have a hardship of space due to factors beyond our control. The shape of the lot is unique. It is reasonably long in distance running North to South along Vernon Road, but it is shallow in distance running West to East between Vernon Road and Lower Bolton Lake. The actual size of the lot is consistent with other previously developed lots around the lake. We were limited when we located our proposed house on the site plan due to multiple factors. Our options for where we could locate the septic system and the well (which have already been approved by EHHD) were dictated by the way in which both the neighbors to the North and to the South have all of theirs configured. We ultimately plan to connect to the town sewer which we already have on the property at the curb. We have designed the footprint of the house based solely on need. The proposed house is only just 16' deep with a consistently narrow proposed deck being 8' deep. Anything less than 16' in house depth would present major challenges in the actual building process. In the early stages of creating the site plan, we aborted our originally preferred house depth size of 20' in order to achieve a stronger front yard setback. By shrinking the size of the proposed house, we achieved a distance of 20' from the front of the proposed house to our front property line. We also achieved approximately 24' to the edge of the pavement. These distances put the proposed house a very safe and reasonable distance away from the road. We are only required to have 10' of distance from both of the neighbors and we are proposing to be more than 30' away from each of them. There are currently at least 3 or 4 structures along Vernon Road that sit significantly closer to the edge of the pavement than what we are proposing. We have made every effort possible to conform to the current yard setback requirements, but it is not possible without your support. We are keeping within the good harmony of the neighborhood. We believe that what we are asking for falls within the spirit of the Bolton CT variance criteria that is needed for your requested approval. Thank you!

Brief Explanation of Specific Action(s) Requested of the ZBA*

We are asking for a Front (& Rear if applicable) yard setback variance to allow for our proposed single family residential house as shown on the site plan.

Has any previous application been filed in connection with these premises? *

No

Setbacks

Front Required Front Provided

35 20

Rear Required Rear Provided

30 15

Left Required Left Provided

10 47

Right Required Right Provided

10 31

Lot Coverages

Maximum Lot Coverage:

R1, R2, R3 = 15%

NB = 20%

GB, I, GMUIZ, RMUZ = 25%

Lot Coverage Provided (in %)

7.6

Maximum Impervious Coverage:

R1, R2, R3 = 20%

NB, GMUIZ, RMUZ = 50%

GB, I = 65%

Impervious Coverage Provided (in %) 7.6	
Building & Parcel Size	
Building Size	Lot Area
512	6727
Applicable Section(s) of Zoning By-Laws	Does Property Need CCDRB Review?
Is Property Located in Aquifer Protection District?	
Signature and Confirmation of Su	ubmission of Application
The property owner, or applicant/agent duhereby acknowledges that this applicant happlicant further acknowledges that any ir found to have been submitted willfully in evoid.	as been submitted truthfully. The nformation submitted herein which is
The above is hereby acknowledged and understood*	

The property owner, or applicant/agent duly authorized by the owner hereby grants permission to the Town of Bolton, it's agents and the Zoning Board of Appeals to make reasonable property inspections related to the review of the submitted application

The above is hereby acknowledged and understood*			
The property owner, or applicant/agent duly authorized by the owner hereby acknowledges the above and by endorsement of the digital signature below, hereby submits this application.			
Signature of Owner or Applicant/Agent duly authorized by the owner*			
✓ James Edward Read Feb 23, 2025			
Additional Project Info			
Date of Receipt	■ Hearings Commencement Deadline		
_	_		
	□ Decision Deadline		
_	_		
□ Distance to Town Line			
	_		
Conditions [Internal Use Only T	o be Printed of Permit]		
△ Conditions			

Attachments



Plot Plan REQUIRED

VERNON RD BOLTON SITE PLAN REVISED JANUARY 21 2025 (2).pdf Uploaded by James Read on Feb 23, 2025 at 7:14 PM



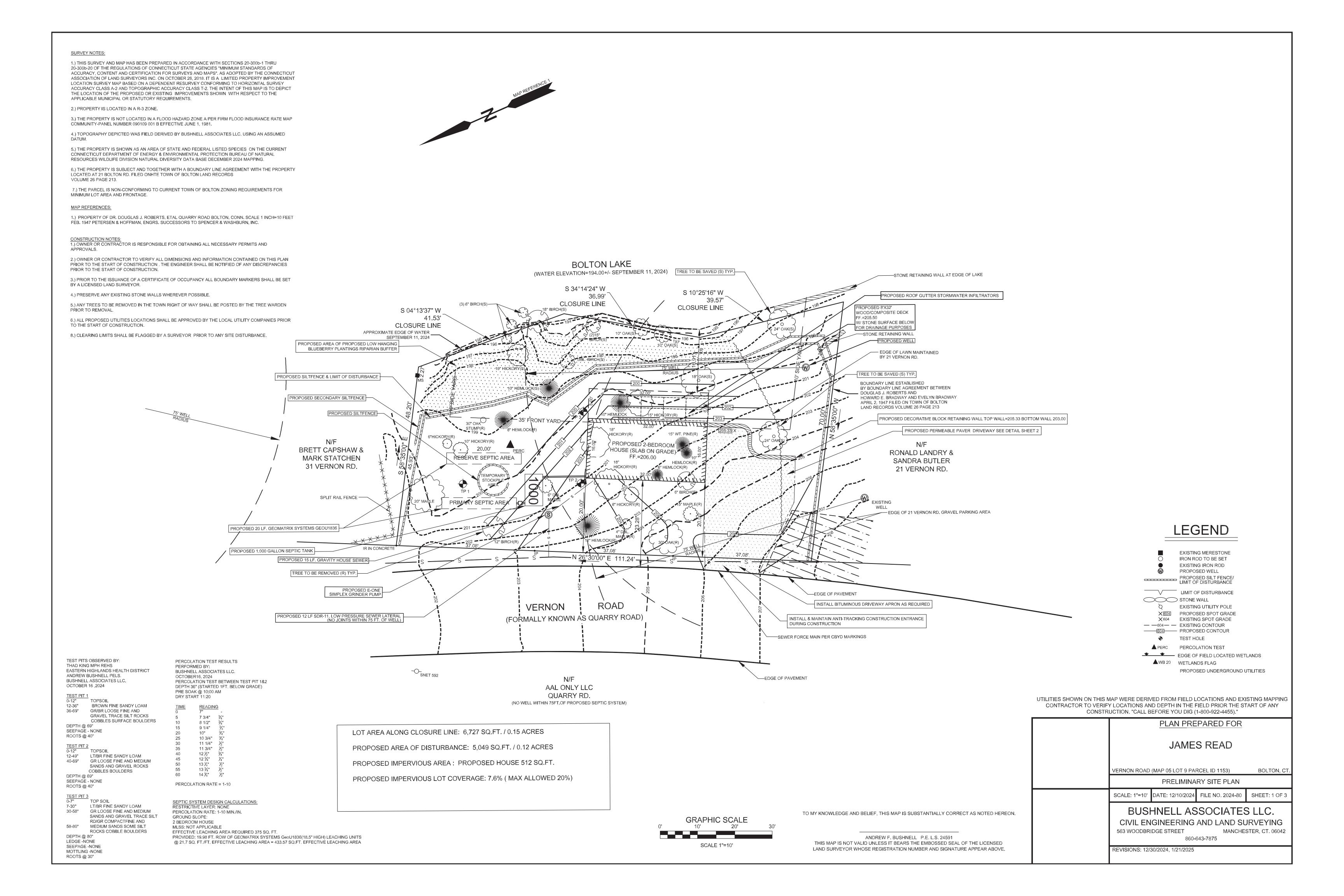
Photos REQUIRED

Vernon Road Pic 2.jpg Uploaded by James Read on Feb 23, 2025 at 7:24 PM



Statement of Hardship

Statement Of Hardship (Bolton CT).pdf Uploaded by James Read on Feb 23, 2025 at 7:13 PM REQUIRED



1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND

2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION . THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

3.) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY ALL BOUNDARY MARKERS SHALL BE SET BY A LICENSED LAND SURVEYOR.

4.) PRESERVE ANY EXISTING STONE WALLS WHEREVER POSSIBLE.

5.) ANY TREES TO BE REMOVED IN THE TOWN RIGHT OF WAY SHALL BE POSTED BY THE TREE WARDEN PRIOR TO REMOVAL.

6.) ALL PROPOSED UTILITIES LOCATIONS SHALL BE APPROVED BY THE LOCAL UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION.

SEPTIC SYSTEM DESIGN NOTES AND CRITERIA

SEPTIC SYSTEM DESIGN AND INSTALLATION TO COMPLY WITH CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS REVISED JANUARY 1, 2018.

MINIMUM LEACHING SYSTEM SPREAD (MLSS) CALCULATION: NUMBER OF BEDROOMS 4 PERCOLATION RATE 1-10.0 MIN./INCH RESTRICTIVE LAYER 22" TEST PIT 7

GROUND SLOPE > 15% MLSS: 26 H.F. X 1.75 F.F. X 1.0 P.F.= 45.5 FT. MINIMUM

REQUIRED: 1250 GALLON TWO-COMPARTMENT SEPTIC TANK

AND 577.5 SQ. FT. OF EFFECTIVE LEACHING AREA.

PROVIDED: 1,250 GALLON TWO-COMPARTMENT CONCRETE SEPTIC TANK WITH APPROVED EFFLUENT FILTER. NO GARBAGE DISPOSAL, WATER SOFTENING SYSTEM OR OVERSIZED TUB TO BE INSTALLED IN THE HOUSE. (ACCESS RISERS REQUIRED TO LESS THAN 12" FROM FINAL GRADE). 195 LINEAL FEET OF 4FT. WIDE STONE TRENCHES (EFFECTIVE LEACHING CREDIT 3 SQ. FT./FT) WITH AN EFFECTIVE LEACHING AREA OF 585 SQ.FT. MINIMUM SPACING OF 8FT. ON CENTER. WITH HOUSE SEWER PIPE OF 4" DIA. SCHEDULE - 40 ASTM D-1785 / ASTM D-2665.

TRENCH BOTTOMS TO BE NO MORE THAN 4" BELOW ORIGINAL GRADE.

THE SEPTIC SYSTEM AREA SHALL NOT BE DISTURBED PRIOR TO STAKEOUT OF THE SYSTEM BY THE DESIGN ENGINEER.

THE DESIGN ENGINEER SHALL STAKE OUT THE SEPTIC SYSTEM, SET A LOCAL BENCHMARK AND SUPPLY THE EASTERN HIGHLANDS HEALTH DISTRICT WITH A STAKING VERIFICATION MEMO BEFORE A PERMIT TO INSTALL THE SYSTEM WILL BE ISSUED.

SELECT FILL PLACED WITHIN AND ADJACENT TO LEACHING SYSTEM AREAS SHALL BE COMPRISED OF CLEAN SAND, OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY THE DESIGN ENGINEER. SELECT FILL EXCEEDING 6% PASSING THE #200 SIEVE BASED ON A WET SIEVE TEST CANNOT BE APPROVED BY THE DESIGN ENGINEER.

1.) THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIEVE. 2.) UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4

3.) THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN <u>REWEIGHED</u> AND THE SIEVE ANALYSIS STARTED. 4.) THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA.

,	PERCENT PASSING		
SIEVE SIZE	WET SIEVE	DRY SIEVE	
#4	100	100	
#10	70 - 100	70 - 100	
#40	10 - 50*	10-75	
#100	0 - 20	0 - 5	
#200	0 - 5	0 - 2.5	

* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE # 200 SIEVE DOES NOT EXCEED 5%

SELECT FILL THAT DOES NOT MEET THE DRY SIEVE GRADATION CRITERIA BUT MEETS THE WET SIEVE CRITERIA IS ACCEPTABLE.

THE LICENSED INSTALLER IS RESPONSIBLE FOR PREPARING THE LEACHING AREA WITH REQUIRED SELECT FILL.THE TOPSOIL IN THE LEACHING AREA MUST BE COMPLETELY REMOVED AND THE SUBSOIL SCARIFIED PRIOR TO SELECT FILL PLACEMENT. THE INSTALLER SHALL TAKE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOIL FROM FROM OVERCOMPACTION. SILTATION OR OTHER DAMAGE. THE INSTALLER IS RESPONSIBLE FOR PROPERLY COMPACTING THE SELECT FILL TO FACILITATE CONSTRUCTION AND TO PREVENT SETTLING. SELECT FILL SHALL EXTEND A MINIMUM OF FIVE (5) FEET LATERALLY IN ALL DIRECTIONS BEYOND THE OUTER PERIMETER OF THE LEACHING AREA.

EROSION CONTROL CONSTRUCTION SEQUENCE PLAN HOUSE LOT DEVELOPMENT IOTE: ALL EROSION AND SEDIMENT CONTROL ACTIVITIES SHALL CONFORM TO THE METHODS OUTLINED IN THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL MANUAL.

1.) COORDINATE MARKING OF LIMITS OF DISTURBANCE BY A LICENSED LAND SURVEYOR. SUPPLY TOWN EROSION CONTROL OFFICER WITH A LETTER FROM THE SURVEYOR CERTIFYING THE LIMITS OF DISTURBANCE WERE MARKED IN ACCORDANCE WITH THE APPROVED PLAN.

2.) CLEAR TREES AS REQUIRED.

3.) PRIOR TO SOIL DISTURBANCE INSTALL EROSION CONTROL MEASURES, SILT FENCE AND ANTI-TRACKING PAD (SEE PLAN DETAILS AND LOCATIONS). ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS REQUIRE. COORDINATE AN INSPECTION OF INSTALLED MEASURES WITH THE EROSION CONTROL OFFICER. SUPPLY THE TOWN EROSION CONTROL OFFICER WITH THE NAME AND PHONE NUMBER OF A CONTACT PERSON RESPONSIBLE FOR THE EROSION CONTROL MEASURES.

3.) PERIODICALLY AND AFTER LARGE RAIN EVENTS INSPECT EROSION CONTROL MEASURES AND

- 4.) GRUB AND STRIP TOPSOIL. STOCKPILE TOPSOIL IN AREAS INDICATED ON THE APPROVED PLAN.
- 5.) CONSTRUCT AND STABILIZE DRIVEWAY.
- 6.) CONSTRUCT HOUSE, WELL, DRIVEWAY, SEPTIC SYSTEM AND OTHER IMPROVEMENTS AS SHOWN.

7.) SPREAD STOCKPILED TOPSOIL. MACHINE RAKE, FERTILIZE, SEED AND MULCH DISTURBED AREAS. USE GRASS SEED THAT IS ACCEPTABLE FOR THE SITE CONDITIONS (I.E., SUN OR SHADE) AND THE SEASON OF THE YEAR IN WHICH THIS ACTIVITY IS COMPLETED. PROVIDE TEMPORARY STABILIZATION OF THE SITE (i.e. STRAW OR HAY ETC..) IF THE TOPSOIL IS SPREAD DURING A TIME OF YEAR WHEN GRASS SEED WILL NOT GERMINATE. PROVIDE PERMANENT STABILIZATION WHEN WEATHER CONDITIONS ALLOW.

- 8.) REMOVE EROSION CONTROL MEASURES AFTER THE SITE HAS BECOME FULLY ESTABLISHED.
- 9.) ANY EXISTING DISTURBED AREAS MUST BE SEEDED WITH PERMANENT OR TEMPORARY GROUND COVER AND MULCHED BY OCTOBER 15.

10.) DEWATERING OPERATIONS, IF REQUIRED, SHALL UTILIZE A CRUSHED STONE INTAKE SUMP AND A TEMPORARY OUTLET SILT POOL LOCATED WITHIN THE LIMITS OF DISTURBANCE.

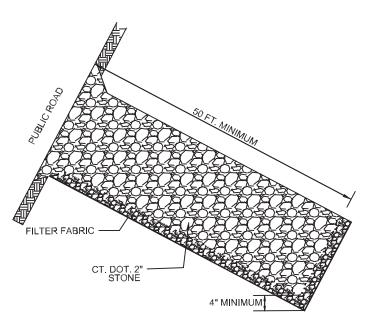
PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2" IN DIAMETER. INSTALL SEEDED EROSION CONTROL DEVICES SUCH AS SURFACE WATER DIVERSIONS AS REQUIRED. APPLY LIMESTONE AT A RATE OF 2 TONS/AC. OR 90 LBS./1000 SQ.FT. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS./AC. OR 7.5 LBS. PER 1000 SQ.FT. WORK LIME AND FERTILIZER INTO SOIL UNIFORMLY TO A

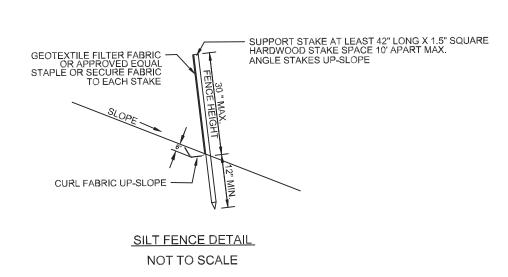
SEED APPLICATION: APPLY SEED MIXTURE FROM THE CHART BELOW BY HAND, CYCLONE SEEDER OR HYDRO SEEDER. INCREASE SEED MIXTURE BY 10% IF HYDRO SEEDER IS USED. LIGHTLY DRAG OR ROLL THE SEEDED SURFACE TO COVER SEED. SEEDING SHOULD BE DONE BETWEEN THE TIMES SHOWN ON THE CHART BELOW. IF SEEDING CANNOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE BELOW UNTIL SEEDING CAN TAKE PLACE.

MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEED SURFACE WITH STRAW OR HAY AT A RATE OF 2 TO 3 TONS/AC. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH A TRACK MACHINE OR DISK HARROW SET STRAIGHT UP. IF USING HYDRO SEED MIX USE TACTIFIER ADDITIVES TO ADHERE MULCH MATERIAL TO THE SURFACE.

SEED SELECTION: USE PERMANENT LAWN	LB/1000 SQ. FT. 0.45 0.45 0.10	SEED MIXTURE KENTUCKY BLUEGRASS CREEPING RED FESCUE PERENNIAL RYEGRASS	RECOMMENDED SEEDING DATES 4/1-6/15 8/15-10/1
SLOPES & COARSE LA	WN 0.45 0.05 0.45	CREEPING RED FESCUE RED TOP TALL FESCUE	4/1-6/15 8/15-10/1
SLOPES (NO MOWING)	1.8 0.2	CREEPING RED FESCUE RED TOP	4/1-6/15 8/15-10/1
TEMPORARY COVER	3.0	WINTER RYE OR	4/15-6/15,8/15-10/
	1.0	ANNUAL RYEGRASS	3/1-6/15,8/1-10/15

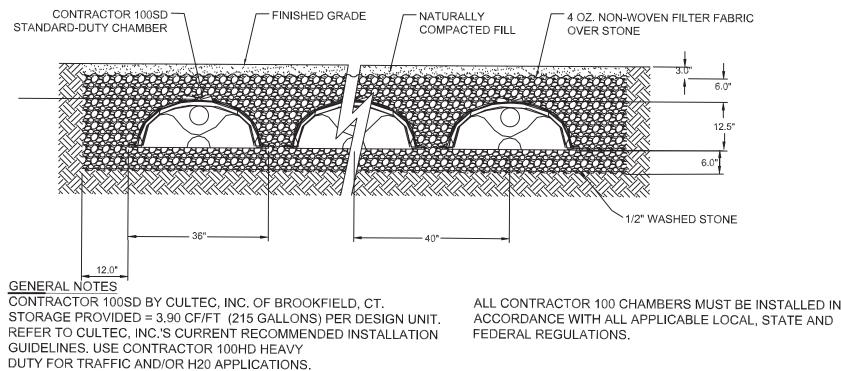
IF SEED IS PLANTED OUTSIDE THE RECOMMENDED SEEDING DATES IRRIGATION MAYBE REQUIRED AT A UNIFORM APPLICATION RATE OF 1 TO 2 INCHES OF WATER APPLIED PER APPLICATION, SOAKING THE GROUND TO A DEPTH OF 4 INCHES.





ANTI - TRACKING CONSTRUCTION ENTRANCE

NOT TO SCALE



TEST PIT VERIFICATION DATA OF SUITABILITY OF SOILS FOR THE INFILTRATION

CHAMBERS TO BE SUBMITTED PRIOR TO THE START OF CONSTRUCTION

ALL CONTRACTOR 100 CHAMBERS MUST BE INSTALLED IN

INSTALLED LENGTH ADJUSTMENT = 0.6'

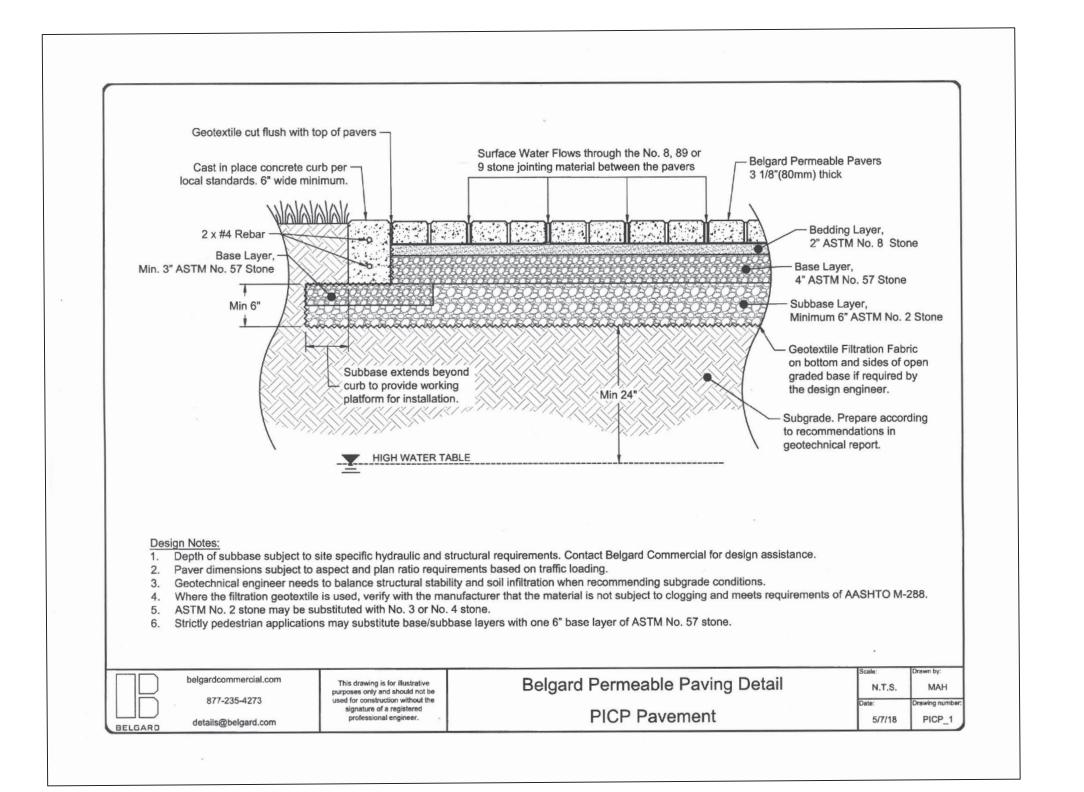
SMALL RIB

PIPE OVERFLOW TO GRADE

LARGE RIB-

└ 6" DIA. INSPECTION PORT

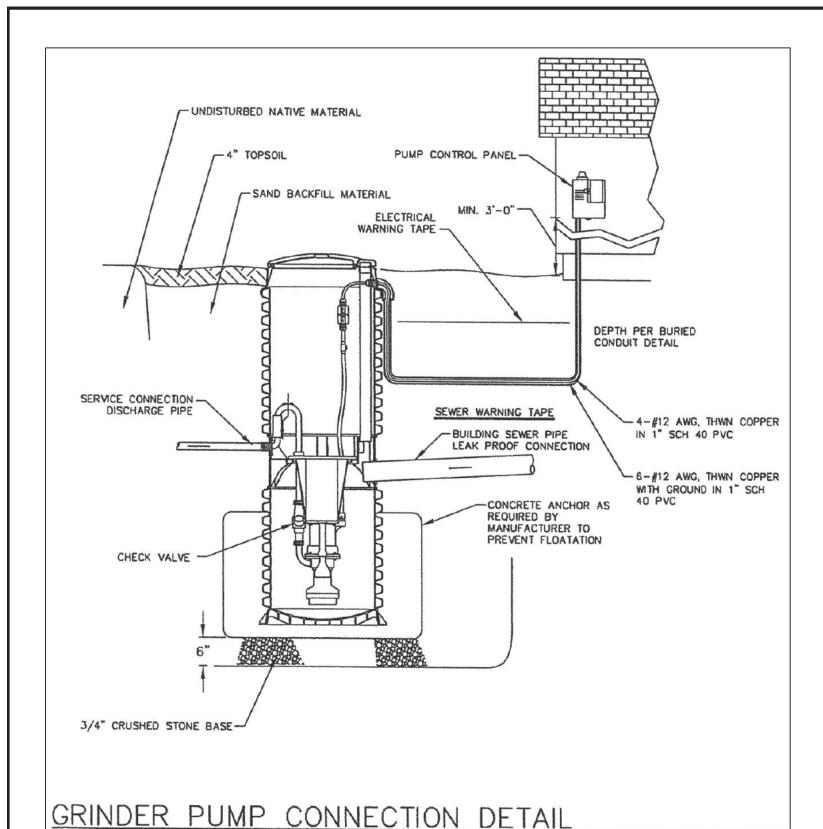
TYPICAL ROOF STORMWATER INFILTRATION UNIT DETAILS **CULTEC CONTRACTOR 100 OR EQUAL**

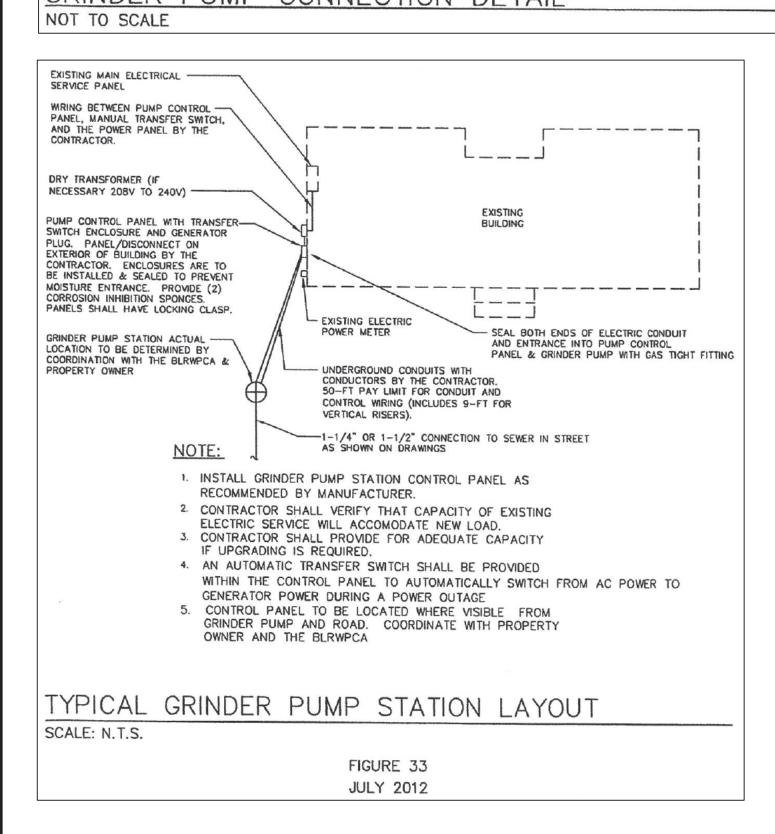


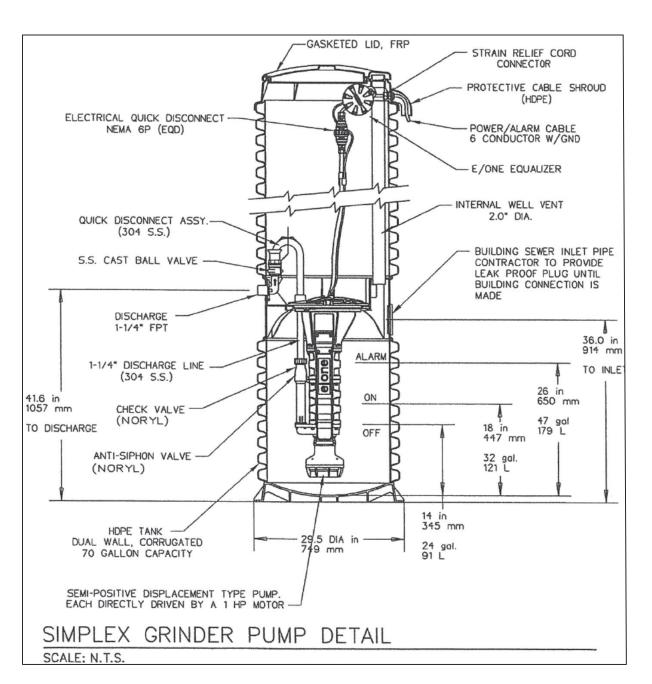
PRELIMINARY PLAN NOT FOR PERMITTING OR **CONSTRUCTION PURPOSES**

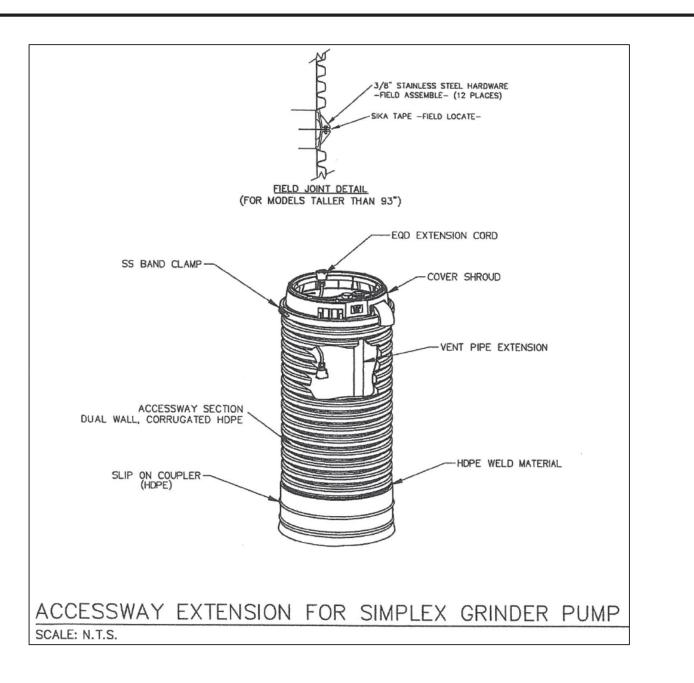
	JAME	S READ	
VERNON ROAD	(MAP 05 LOT 9 PAI	RCEL ID 1153)	BOLTON, CT.
CON	ISTRUCTION /	E&S/ SEPTIC DE	TAILS
SCALE: NONE	DATE: 12/10/2024	FILE NO. 2024-80	SHEET: 2 OF 3
CIVIL EN	GINEERING DGE STREET	AND LAND SU	
	SCALE: NONE BUSI CIVIL EN 563 WOODBR	VERNON ROAD (MAP 05 LOT 9 PAR CONSTRUCTION / I SCALE: NONE DATE: 12/10/2024 BUSHNELL AS CIVIL ENGINEERING 563 WOODBRIDGE STREET 860-6	BUSHNELL ASSOCIATES CIVIL ENGINEERING AND LAND SU 563 WOODBRIDGE STREET MANCHE 860-643-7875

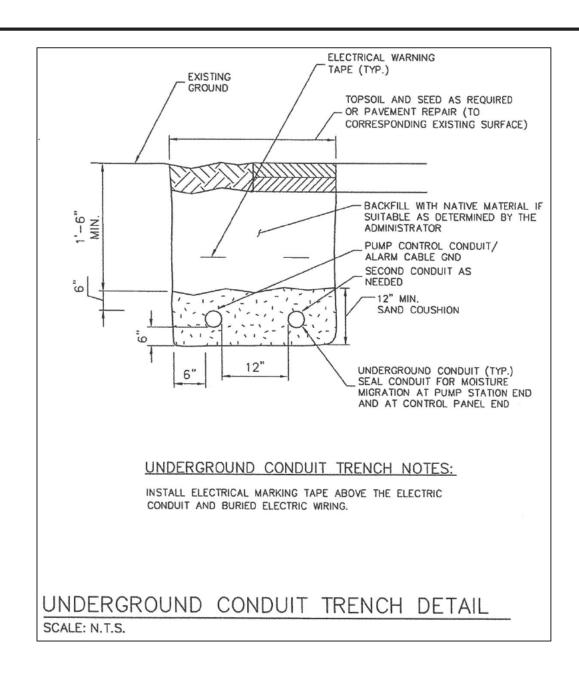
PLAN PREPARED FOR

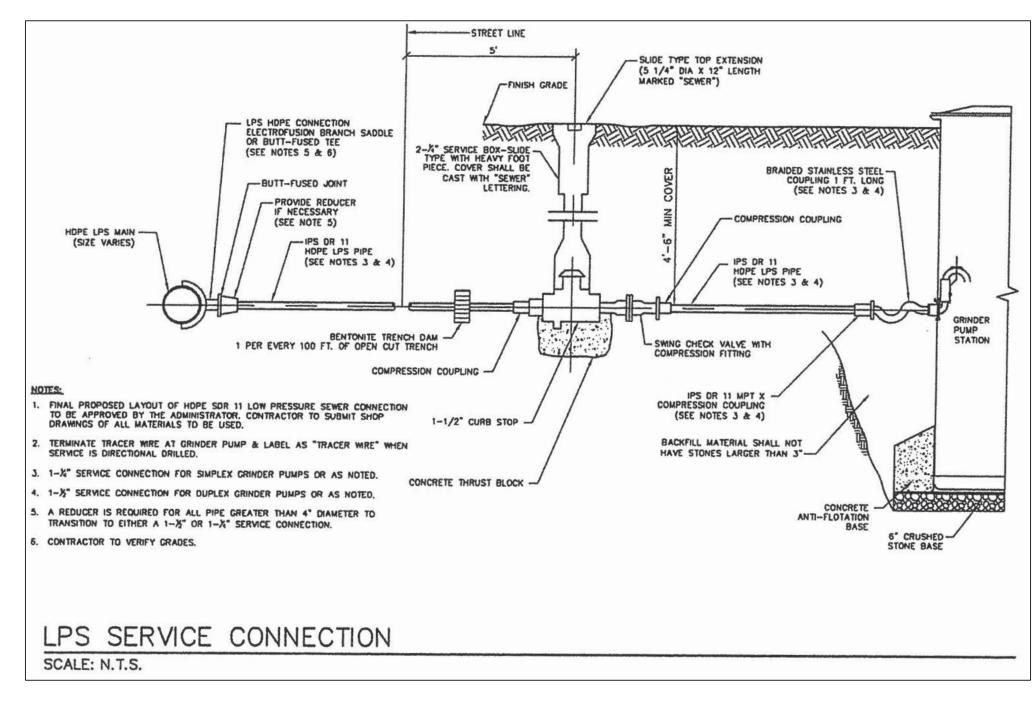


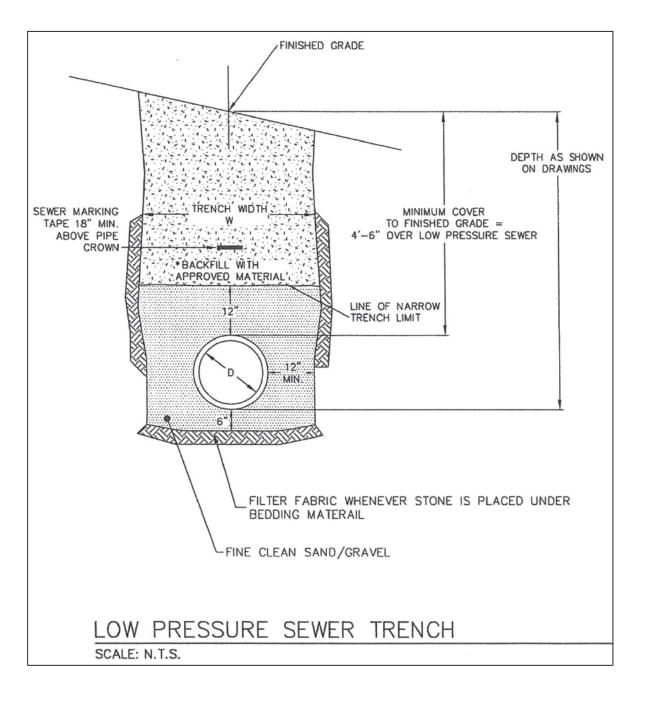












PRELIMINARY PLAN NOT FOR PERMITTING OR CONSTRUCTION PURPOSES

	PLAN PRE	PARED FOR	
	JAME	S READ	
	MAP 05 LOT 9 PAR	RCEL ID 1153) E&S/ SEPTIC DE	BOLTON, CT.
SCALE: NONE	DATE: 12/10/2024	FILE NO. 2024-80	SHEET: 3 OF 3
	GINEERING DGE STREET	SOCIATES AND LAND SU MANCHE: 643-7875	

My family and I want to develop our land on Vernon Road. It is a vacant Lot Of Record which Pre-Dates zoning standards and has never before been developed. We have a hardship of space due to factors beyond our control. The shape of the lot is unique. It is reasonably long in distance running North to South along Vernon Road, but it is shallow in distance running West to East between Vernon Road and Lower Bolton Lake. The actual size of the lot is consistent with other previously developed lots around the lake.

We were limited when we located our proposed house on the site plan due to multiple factors. Our options for where we could locate the septic system and the well (which have already been approved by EHHD) were dictated by the way in which both the neighbors to the North and to the South have all of theirs configured. We ultimately plan to connect to the town sewer which we already have on the property at the curb. We have designed the footprint of the house based solely on need. The proposed house is only just 16' deep with a consistently narrow proposed deck being 8' deep. Anything less than 16' in house depth would present major challenges in the actual building process.

In the early stages of creating the site plan, we aborted our originally preferred house depth size of 20' in order to achieve a stronger front yard setback. By shrinking the size of the proposed house, we achieved a distance of 20' from the front of the proposed house to our front property line. We also achieved approximately 24' to the edge of the pavement. These distances put the proposed house a very safe and reasonable distance away from the road. We are only required to have 10' of distance from both of the neighbors and we are proposing to be more than 30' away from each of them. There are currently at least 3 or 4 structures along Vernon Road that sit significantly closer to the edge of the pavement than what we are proposing.

We have made every effort possible to conform to the current yard setback requirements, but it is not possible without your support. We are keeping within the good harmony of the neighborhood. We believe that what we are asking for falls within the spirit of the Bolton CT variance criteria that is needed for your requested approval. Thank you!

James E. Read 2/23/25



Abutters within 500 Feet			
DILLION VICTORIA	33 VERNON RD	BOLTON, CT 06043	
PERITO DOMENIC D & FOFANA KIMBERLY M	15 VERNON RD	BOLTON, CT 06043	
MORTENSEN GARY & MORTENSEN KAREN	922 BOSTON TPKE	BOLTON, CT 06043	
AAL ONLY LLC	PO BOX 9585	BOLTON, CT 06043	
BUTLER SANDRA S	126 BURBANK RD	ELLINGTON, CT 06029	
BODMAN EDITH & DALE	442 GOODWIN ST	EAST HARTFORD, CT 06108	
CERRIGIONE JAMES M JR	39 VERNON RD	BOLTON, CT 06043	
LAKEHOUSEAPT LLC	350 BUFF CAP RD	TOLLAND, CT 06084	
PENTORE JANINA E	14 CHATHAM RD	KENSINGTON, CT 06037	
CAPSHAW BRETT & STATCHEN MARK	31 VERNON RD	BOLTON, CT 06043	
AAL ONLY LLC	6134 30 ST NW	WASHINGTON, DC 29912	
DELEON FERNAN & LONGANO DANIELLE C	PO BOX 1528	WINTER PARK, CO 80482	



n 3817, April 2007 PSN 7530-02-000-9065 Victoria Vernon 01746 READ 20 h090 6 Certificate Of Mailing 118192027. To pay fee, affix stamps or meter postage here.

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From:

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Gary + Karen Mortensen Tompike

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From:

To:

PS Form 3817, April 2007 PSN 7530-02-000-9065

JAMES E. READ 45 PLEASANT ST HOLLISTON, MA 01746

AAL ONLY LLC Box 9585 06043 HOLLISTONIN Postmark Here 2025 USPS

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PS Form 3817, April 2007 PSN 7530-02-000-9065



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JAMES E. READ 45 PLEASANT ST. HOLLISTON, MA 01746

PS Form 3817, April 2007 PSN 7530-02-000-9065

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This Certificate of Mailing provides evidence that mail has been put his form may be used for domestic and international mail.)	123456>
JAMES E. RAT S 45 PLEASANT S HOLLISTON, M 01746		ISTONMA COLO
01740	7282	Postmark Here
Brett Capshaw + Ma 31 Vernon Rd.	ck Statchen	USPS 35
Bolton, CT 060	043	ESSS120201010





HOLLISTON 1661 WASHINGTON ST HOLLISTON, MA 01746-9998 (800)275-8777			
03/01/2025		3///	09:58 AM
Product	Qty	Price	Price
First-Class Mail@ Letter Bolton, CT 0604 Weight: 0 1b 0. Estimated Deliv Mon 03/03/2	1 30 oz very Da [.] 2025		\$0.73
Cert of Mailing Affixed Postage Affixed Amo Total	•	0.73	\$2.20 -\$0.73 \$2.20
First-Class Mail®	1		\$0.73
Letter Bolton, CT 0604 Weight: 0 lb 0. Estimated Deliv Mon 03/03/2 Cert of Mailing Affixed Postage	13 .30 oz /ery Da: 2025	te	\$2.20 -\$0.73
Affixed Amo).73	\$2.20
First-Class Mail®	1		\$0.73
Letter Bolton, CT 0604 Weight: 0 lb 0. Estimated Deliv Mon 03/03/2 Cert of Mailing Affixed Postage Affixed Amc	.30 oz /ery Da [.] 2025 3		\$2.20 -\$0.73
Total	zurre. φ	7.10	\$2.20
First-Class Mail® Letter Ellington, CT (Weight: 0 lb 0. Estimated Deliv Mon 03/03/2 Cert of Mailing Affixed Postage	06029 .30 oz /ery Da: 2025		\$0.73 \$2.20 -\$0.73
Affixed Amo Total	ount: \$0	J. 73	\$2.20
First-Class Mail® Letter East Hartford, Weight: O lb O Estimated Deliv Mon O3/03/2 Cert of Mailing	.30 o z Zeny Dar)8 te	\$0.73
Cert of Mailing Affixed Postage Affixed Amo	•	0.73	\$2.2 0 - \$ 0.73
Total	· · · · · · · · · · · · · · · · · · ·		\$2.20
First-Class Mail® Letter Bolton, CT 0604 Weight: 0 lb 0 Estimated Deliv Mon 03/03/2	13 .30 oz /eny Dar 2025	te	\$0.73
Cert of Mailing Affixed Postage Affixed Amo	•	0.73	\$2 .20 - \$0 .73
Total	•		\$2.20

First-Class Mail® 1	\$0.73
Letter Tolland, CT 06084 Weight: 0 1b 0.30 oz	
Estimated Delivery Date Mon 03/03/2025	
Cert of Mailing Affixed Postage	\$2.20 -\$0.73
Affixed Amount: \$0.73	\$2.20
First-Class Mail® 1	\$0.73
Letter Berlin, CT 06037	
Weight: O 1b 0.30 oz Estimated Delivery Date Mon 03/03/2025	
Cert of Mailing Affixed Postage	\$2.20 -\$0.73
Affixed Amount: \$0.73	\$2.20
First-Class Mail® 1	\$0.73
Letter Rolton CT 06043	
Weight: O 1b O.3O OZ Fstimated Delivery Date	
Mon 03/03/2025 Cert of Mailing	\$2.20 - \$ 0.73
Affixed Postage Affixed Amount: \$0.73	\$2.20
Total First-Class Mail® 1	\$0.73
Letter Coosawhatchie, SC 29912	·
Weight: O lb 0.30 oz Estimated Delivery Date	
Wed 03/05/2025 Cert of Mailing	\$2.20
Affixed Postage Affixed Amount: \$0.73	- \$ 0.73
Total	\$2.20 \$0.73
First-Class Mail® 1 Letter	\$0.70
Winter Park, CO 80482 Weight: O lb 0.30 oz Estimated Delivery Date	
Wed 03/05/2025 Cert of Malling	\$2.20
Affixed Postage Affixed Amount: \$0.73	-\$0.73
Total	\$2.20
First-Class Mail® 1 Letter	\$ 0.73
Bolton, CT 06043 Weight: O lb 0.30 oz Estimated Delivery Date	_
Mon 03/03/2025 Cert of Mailing	\$2.20
Affixed Postage Affixed Amount: \$0.73	-\$0.73
Total	\$2.20
Grand Total:	#0C 40
Credit Card Remit Card Name: MasterCard	\$26 .40
Account #: XXXXXXXXXXXXXXX2035 Approval #: 029350	
Transaction #: 870 AID: A0000000041010 Contac	tless
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