

**Bolton Planning & Zoning Commission**  
**Regular Meeting**  
**7:30 p.m., Wednesday, September 9, 2020**  
*Virtual Meeting Utilizing Zoom*  
**Minutes and Motions**

**Members Present:** Chairman Adam Teller, Vice Chairman James Cropley, Christopher Davey, Benjamin Davies, Arlene Fiano, Thomas Manning, Thomas Robbins and Alternates Jeremy Flick and Marilee Manning

**Members Not Present:** Alternate Rodney Fournier

**Staff Present:** Patrice Carson, AICP, Consulting Director of Community Development, Sandra Pierog, First Selectman and Jim Rupert, Zoning Enforcement Officer

**Others Present:** Andrew Bushnell, Gerald Hardisty, William Phillips and Liz Fahey - Parkside Pizza

**1. Call to Order:** Chairman A. Teller called the meeting to order at 7:30 p.m.

**2. Approval of Minutes: August 12, 2020 Regular Meeting Minutes:**

Amend the following: **Page 4, last sentence:** Correct the last word from are to area.

**J. Cropley moved** to approve the minutes as amended. **T. Manning seconded.** The motion passed 6:0:1. **B. Davies abstained.**

**3. Public Hearings (begin at 7:45 p.m.)**

**a. Application: Zoning Regulation Amendments to Extend Outdoor Dining Operations into December 2020/January 2021 and Reviving Outdoor Dining Without a Regulation Change in Spring 2021**

P. Carson read the legal notice dated August 21, 2020. Neighbors and CRCOG were notified. There were no comments. A. Teller noted that the Governors Executive Order expired but has been reauthorized. The date for the public hearing was set before the reauthorization. There have not been any significant problems with the outdoor dining.

P. Carson noted that the town was trying to be proactive if the Governors Order was not extended. This amendment should either be adopted or it needs to be at the ready. A. Teller noted that the Planning & Zoning Commission might want to approve a regulation amendment to allow the temporary revival of outdoor dining in the spring.

T. Robbins noted that outdoor dining is working very well and it appears that the pandemic is likely to last for a while. He proposed extending the deadline to November 30, 2021. J. Cropley agreed and thinks that outdoor dining should be allowed all the time. P. Carson explained that it would only be an issue if restaurants are able to open indoor dining at 100%. Parking could be an issue and J. Rupert noted that public health regulations concerning septic use could be a problem due to additional seating. A. Teller is also concerned about the configuration of traffic patterns and seating areas. The way the seating has been set up in parking lots may not work in the winter.

C. Davey supports the extension to November 2021 but does not support a permanent extension.

A. Teller noted that with a blanket approval through the winter, you can see how it may work. He suggested authorizing the ZEO to have more time to grant an extension, say 30 or 60 days instead of 14. T. Manning noted that as the regulation amendment is written, the ZEO can suspend or extend. A. Fiano agrees with the extension through November 30, 2021, but that is not what the public hearing is about.

S. Pierog is in favor of the November 30, 2021 extension. This will give the restaurants two summer seasons and a full winter season to experiment with outdoor options and it allows time for the medical community to come up with a solution to the pandemic.

Liz Fahey from Parkside Pizza spoke about her restaurant. They currently have picnic tables on the lawn and she feels that it has been great to see families together enjoying their time in a safe environment. They do more takeout than sit down meals. Inside dining is at half capacity. She feels that people are still nervous about inside dining. Parkside Pizza is fortunate in that they have many windows as the Health Department prefers open windows to air conditioning and the circulation of indoor air. She feels that once it gets colder people won't go inside as flu and winter cold symptoms are similar to COVID-19 and it is difficult to discern. They do not have a plan for a winter tent. It doesn't make sense for them financially. She would be thankful to have outdoor dining continue.

J. Cropley asked if she would want outside seating after COVID pandemic eases. Liz replied yes that it is a valuable option and people enjoy it. J. Flick enjoys Parkside Pizza and agrees with extension to November 30, 2021.

P. Carson shared the draft resolution. P. Carson suggested changing the dates in the first paragraph from November 30, 2020 to November 30, 2021, and changing the ZEO authority to suspend or terminate at any time. A. Teller noted that changing the dates to 2021 takes care of restaurants extending their seating in the spring and it eliminates the need for ZEO extensions as the total extension will be until November 2021. A. Teller notes that this puts a lot of pressure on the ZEO to monitor how these businesses are operating in the winter. It will be up to the town to tell them to stop if it is unsafe. J. Rupert said that he has a good idea of what is happening with these businesses and they are capable of making responsible decisions. He thinks that it will self-regulate and he doesn't foresee any issues.

P. Carson questioned if the second paragraph is necessary if the extension is granted to 2021. A. Teller replied that the notation about weather or other change of conditions is necessary but the extension days is not. The last sentence can be removed if the extension is granted to 2021.

**T. Manning moved** to close the public hearing at 8:16 p.m. **C. Davey seconded**. The motion passed unanimously 7:0:0.

**4. Resident's Forum (Public Comment for items NOT on the agenda):** No comments from the public

#### **5. Staff Reports**

P. Carson reported working on the agenda items and meeting with people interested in development. She has also spoken with a couple of restaurant owners.

J. Rupert reported that the only enforcement issue is a notice of violation about keeping of roosters on Brookfield Road. Zoning permits for sheds, decks, pools continue and he has been reasonably busy. He has issued a letter of approval for Georgina's to put up a tent in their back area. They will be losing a few parking spaces but it is not an issue. The tent will need to be inspected before use and emergency lights are necessary. Re-inspection will be required after 90 days.

A. Teller asked if there have been any complaints about outdoor dining i.e. noise. J. Rupert stated that he hadn't heard any complaints but he would check with the Health Department.

## **6. Old Business**

### **a. Discussion/Possible Decision: Subdivision Application for 1-Lot, 12 Webster Lane, CARMA LLC (#PL-20-11)**

Gerald Hardisty spoke for the applicant regarding the application. P. Carson noted that the names of the three appraisers provided by Mr. Hardisty were approved. An appraisal has not been performed yet as it has been difficult to find one willing to take on this assignment. Mr. Hardisty will provide the town the names of three new appraisers. Town Engineer Joe Dillon has approved the plans.

The site plan, dated August 10, 2020, was shared with the commission. The square footage of the area in Bolton versus Andover is in question. A. Teller said that if the total value of the parcel was known, the fee in lieu of open space could be determined.

A. Teller asked if there was any objection to voting at this time. The commission members replied that there were no objections and that the vote would be to approve the application. Discussion ensued about the wording of the motion.

**A. Teller moved** to approve application #PL-20-11 for a 1-lot subdivision at 12 Webster Lane by CARMA LLC in accordance with the plan entitled "CARMA LLC two lot subdivision in Andover/Bolton Connecticut", last revised on August 10, 2020, with the following conditions which are necessary to bring the application within the subdivision regulations:

1. Approval will be conditioned on similar approval by the Andover Planning & Zoning Commission.
2. This approval and the letter of approval from the Andover Planning & Zoning Commission shall be added to the plan before final recording.
3. The final plan shall be recorded in the Bolton Land Records.
4. In order to comply with Section 4 of the Bolton Subdivision Regulations regarding open space, a fee in lieu of open space shall be due in connection with this approval. Said fee shall be in the amount of 10% of the appraised value of the pre-subdivided parcel as determined by an appraiser acceptable to the Commission, multiplied by the fraction, the numerator of which is the area of the land located in the town of Bolton and the denominator of which is the area of the total parcel being subdivided. Said fee shall be divided 50% for each lot and secured by a lien on each lot and due upon the sale or transfer of each lot.
5. Approval is subject to compliance with any comments or requirements of the Health District and Town Engineer.
6. All appropriate seals and signatures of the design professionals for this plan shall be on the plans prior to filing.
7. The Town of Bolton Zoning Enforcement Official shall be authorized to approve the plans for recording in the event of minor changes by the Andover Planning & Zoning Commission that do not affect the interests of the Town of Bolton.

The Planning & Zoning Commission finds that with these conditions, the plans meet the requirements of the Town of Bolton Subdivision Regulations.

**J. Cropley seconded.** The motion passed unanimously 7:0:0.

### **b. Discussion/Possible Decision: Zoning Regulation Amendments to Extend Outdoor Dining Operations into December 2020/January 2021 and Reviving Outdoor Dining Without a Regulation Change in Spring 2021**

**T. Manning moved** to adopt a new section (3B4.f.) in the Bolton Zoning Regulations as follows:

**Any Outdoor Dining that has not been the subject of a zoning enforcement action or nuisance activity report, which is operating with a permit issued pursuant to 2020 Gubernatorial Executive Order 7MM, or any extension or amendment or reissuance thereof shall be permitted to operate until November 30, 2021, provided that such extension shall not be interpreted to create any nonconforming right, and further provided that the operation of the Outdoor Dining between the date of the suspension of the State’s declared state of emergency and November 30, 2021 shall be deemed to be a complete and total waiver of any claim of nonconforming rights under any local, state, or federal legal activity.**

**The Zoning Enforcement Officer (ZEO) shall be authorized to suspend and/or terminate any such permit issued under the Executive Order upon a finding that weather or other change of conditions at a particular site constitute a nuisance or a risk to health and safety.**

This regulation is effective on the date of publication. **J. Cropley seconded.** C. Davey felt that the words “this extension” in the second paragraph should be replaced with “any such permit issued under the Executive Order”. The amended motion passed unanimously 7:0:0.

## **7. New Business**

### **a. Special Permit Application: Proposed Garage/Office Building, Excavation Business, Equipment Storage & Material Processing Areas, 1 Notch Rd., William Phillips (#PL-20-12)**

P. Carson noted that the applicant came before the commission in the summer. The town engineer and the applicant worked out some issues and new plans were submitted. Andrew Bushnell of Bushnell Associates in Manchester spoke on the application. He is working with Joe Dillon on issues such as access sight lines, septic system, etc. They have wetlands approval. The plan will be submitted to the Health Department. P. Carson said that there will be a full review of the plan within a week or two.

**A. Teller moved** to set a Public Hearing on Wednesday, October 14, 2020, at 7:45 p.m. at Town Hall or remotely via Zoom for the Special Permit Application for a Proposed Garage/Office Building, Excavation Business, Equipment Storage & Material Processing Areas, 1 Notch Rd. William Phillips (#PL-20-12). **J. Cropley seconded.** The motion passed unanimously 7:0:0.

## **8. Correspondence**

### **a. Report on Statewide Planning Conversation-Racism, Planning, Zoning**

No commission member or staff attended the meeting on Tuesday. There was no report.

## **9. Adjournment:**

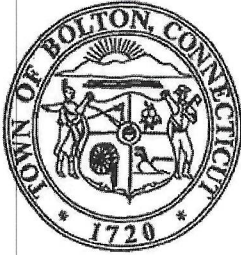
**J. Cropley moved** to adjourn the *virtual* meeting at 9:06 p.m. **T. Manning seconded.** The motion passed unanimously 7:0:0.

Respectfully submitted,

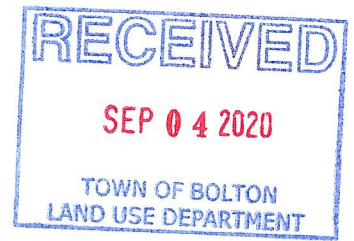
*Leslie J. Brand*

Leslie Brand  
Recording Secretary

*Please see minutes of subsequent meetings for approval of these minutes and any corrections hereto.*



# Town of Bolton



222 BOLTON CENTER ROAD • BOLTON, CT 06043

## BOLTON PLANNING AND ZONING COMMISSION

### APPLICATION FOR SPECIAL PERMIT, SITE PLAN REVIEW OR MODIFICATION OF A PREVIOUSLY APPROVED APPLICATION

1. Application Title: 1 Notch Road
2. Check all that apply:  
 Special Permit Application     Modification of an Approved Special Permit Application\*  
 Site Plan Review Application     Modification of an Approved Site Plan Review Application\*  

\* The Commission may require a new application if the proposed modification significantly alters the previously approved application.
3. Street Address of subject property 1 Notch Road, Bolton, CT 06043
4. Deed Reference (Bolton Land Records) Volume \_\_\_\_\_ Page \_\_\_\_\_
5. Assessor's Records Reference: Map # \_\_\_\_\_; Block # \_\_\_\_\_ Parcel / Lot # \_\_\_\_\_
6. Current zone(s) of subject property Industrial    Acreage: 4
7. In Aquifer Protection District? Yes \_\_\_\_\_ No
8. In FEMA Flood Area? Yes \_\_\_\_\_ No
9. Wetlands Application Required? Yes  No \_\_\_\_\_
10. Applicant(s) William Phillips  
Address 21 Clark Road, Bolton    Zip 06043  
Phone # (860) 798-1400    Fax # (860) 646-1347    E-mail bill@landieconstruction.com
11. Owner(s) of subject property Manchester Medical Supply  
Address New State Road, Manchester    Zip 06040  
Phone # \_\_\_\_\_    Fax # \_\_\_\_\_    E-mail \_\_\_\_\_
12. Official Contact / Representative regarding this Application: William Phillips  
Address 21 Clark Road, Bolton    Zip 06043  
Phone # (860) 798-1400    Fax # (860) 646-1347    E-mail bill@landieconstruction.com

13. Project Engineer: Bushnell + Associates  
Address 563 Woodbridge St., Manchester Zip 06042  
Phone # (860)643-7875 Fax # \_\_\_\_\_ E-mail abushnell@bushnellassociatesllc.com

14. Project Architect: \_\_\_\_\_  
Address \_\_\_\_\_ Zip \_\_\_\_\_  
Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ E-mail \_\_\_\_\_

15. Other Experts Retained by Applicant: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.  
Operation of excavation business,  
Storage of heavy equipment, import and  
export of gravel products, machine rental

17. Square footage of new / expanded space: \_\_\_\_\_ # of new parking spaces 25

18. List the Section(s) of the Zoning Regulations under which application is made: \_\_\_\_\_  
\_\_\_\_\_

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

20. Applicant's Endorsement:  
I am a willful participant and fully familiar with the contents of this application.  
Signature William Thelges Date 9/4/2020

21. Owner's Endorsement:  
I am a willful participant and fully familiar with the contents of this application.  
Signature \_\_\_\_\_ Date \_\_\_\_\_

**NOTE:** If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.  
Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.

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**For Town Use Only**

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Base Fee Paid \_\_\_\_\_ Check # \_\_\_\_\_

Date application received by Inland Wetlands Commission (if applicable) \_\_\_\_\_

Date of Inland Wetlands Commission action (if applicable) \_\_\_\_\_

Date application received by Planning and Zoning Commission \_\_\_\_\_

Date of public hearing (if required) \_\_\_\_\_

Date of Planning and Zoning Commission action \_\_\_\_\_

Date of newspaper publication of Planning and Zoning Commission action \_\_\_\_\_

Summary of Planning and Zoning Commission action \_\_\_\_\_

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**Revised March 11, 2009**

**BOLTON PLANNING & ZONING COMMISSION  
CHECKLIST FOR SITE PLAN REVIEW (§ 16A)  
AND SPECIAL PERMIT (§ 16B) APPLICATIONS  
March 11, 2009**

THIS CHECKLIST MUST BE COMPLETED BY THE APPLICANT OR AN AUTHORIZED REPRESENTATIVE AND SUBMITTED WITH THE APPLICATION.

The Planning and Zoning Commission will use this checklist in determining the completeness or incompleteness of the application. The applicant is responsible for providing all the applicable information on this checklist. The applicant is encouraged to provide any additional information to clearly present a proposed activity and its potential effects on the community. The Commission may require additional information not included in this checklist to determine compliance with the regulations.

AN APPROVAL OF AN APPLICATION COULD BE DENIED IF AN APPLICATION LACKS SUFFICIENT INFORMATION.

Some of the items below are essential for any application while others may not be applicable for a particular proposal. The applicant is encouraged to ask the town staff to review the completed application with all supporting information and the completed checklist, prior to submitting the application to the Planning and Zoning Commission so that the staff can provide the applicant an opinion on the completeness of the application.

Pursuant to Section 16A.2.p, at time of application submission, the applicant may request in writing that the Commission determine that all or a part of the information required under Section 16A.2.c through o. (except subsections e., f., i., and j.) is NOT necessary in order to decide on an application.

Applicants may be subject to supplemental review fees to defray the costs of professional review services such as engineering or legal reviews. Please see attached information sheet.

Name of Development 1 Notch Road  
Applicant William Phillips Date 9/4/2020

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
1	Completed, signed application by applicant and owner	✓			
2	Payment of required application fees		✓		
2A	Statement of Use in accordance with § 16A.2.b				
3	All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities		✓		
4	Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate	✓			
5	Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction	✓			
6	Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection		✓		
7	Copies of any required applications to other local, state or federal regulatory approvals		✓		
8	Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)		✓		



Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
9	List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)	✓			
10	List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets	✓			
12	Digital copy of plans in DXF or DGN format if available	✓			
13	Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and	✓			
14	14 sets of complete stamped and signed site plans measuring 24" x 36	✓			
	<b>THE FOLLOWING ITEMS 15 THROUGH 51 SHALL BE INCORPORATED IN PLANS</b>				
15	A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners	✓			
16	Names of abutting lot owners	✓			
17	USDA Soils boundaries and types	✓			
18	Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton	✓			
19	All plan sheets numbered with the format "sheet x of y"	✓			
20	Clear legible plans with all lines, symbols and features readily identifiable	✓			
21	North arrow on each plan including the reference meridian	✓			
22	Graphic bar scale on each plan sheet, not smaller than 1"= 40' unless otherwise approved by the Commission	✓			
23	Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1"=40'	✓			
24	Key map at a scale of 1"= 500' showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500' of site	✓			
25	Original and revision plan dates and revision explanations shown on the affected plan sheets	✓			
26	Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan	✓			
27	Existing and proposed structures and features, their uses and those to be removed, shown on the plan	✓			
28	HVAC equipment located outside the building(s)	✓			
29	Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan	✓			
30	Sight distances from property entrances along public roads shown on plan and on profile if grading is needed	✓			
31	Soil test locations and soil test results shown on plan	✓			
32	Existing and proposed sewage disposal systems and design information, shown on plan	✓			
33	Outside Storage Areas	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
34	Underground / overhead utilities, existing and proposed	✓			
35	Existing and proposed water supply shown on plan	✓			
36	Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan	✓			
37	Existing and proposed footing drains, curtain drains and dry wells, shown on plan	✓			
38	Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.	✓			
39	Existing and proposed bridges and culverts on or adjacent to the site, shown on plan	✓			
40	Existing and proposed signs with dimensions and construction detail drawings, shown on plan	✓			
41	Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan	✓			
42	Zoning district boundaries affecting the site, shown on plan	✓			
43	Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building	✓			
44	Table on plan of parking / loading spaces required / provided	✓			
45	Fire lanes	✓			
46	Sidewalks and other pedestrian ways	✓			
47	Off-site traffic improvements	✓			
41	Limits of wetlands as delineated by a certified soil scientist with the soil scientist's signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet	✓			
42	Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan	✓			
43	Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices	✓			
44	Existing trees of 6" caliper or greater	✓			
45	Significant archaeological sites	✓			
46	Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type	✓			
47	Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
48	Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional	✓			
49	Architectural elevation drawings of proposed buildings	✓			
50	Architectural floor plans of existing and proposed buildings	✓			
51	Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features	✓			
52	Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.	✓			
53	Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	✓			
54	Statement in drainage report that the after development flows for all storm events do not exceed the before development flows	✓			
55	Sanitary Waste Disposal Plan (if community sewerage system)	✓			
56	Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2	✓			
57	Certified copy of Certificate of Public Convenience and Necessity in connection with a "water company", in accordance with CGS, Section 8-25a	✓			
58	Existing and proposed Covenants or Restrictions	✓			
59	Engineer's itemized cost estimate for the installation of all erosion and sediment controls based on published Connecticut DOT unit prices	✓			
60	Engineer's itemized cost estimate for site improvements based on published Connecticut DOT unit prices as basis for the establishment of a completion bond	✓			

REAL ESTATE CONTRACT

**1. Parties**

**Buyer: William R. Phillips (or entity created by William R. Phillips)**

**Seller: Manchester Medical Supply, Inc.**

**2. Property.** Buyer agrees to purchase from Seller, and Seller agrees to sell to Buyer, certain real property known as **17 Wall Street Bolton, Ct. and 1 Notch Road Bolton, Ct. properties being more fully described as Parcels A,B,C and D attached and shown on map attached.** ("Property").

**3. Fixtures and Personal Property.** Except as stated below, all fixtures located on the Property are included in this sale, and all personal property located on the Property is excluded from this sale. The following personal property is INCLUDED (NOT APPLICABLE UNLESS FILLED IN):

N/A

The following fixtures are EXCLUDED (NOT APPLICABLE UNLESS FILLED IN):

N/A

4(a),(b),and(c) BELOW ARE NOT APPLICABLE UNLESS FILLED IN

**4. Price.** The total Purchase Price is \$ ~~900,000~~

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Deposit to be held by Seller's Attorney in Trustee Account until transfer of title

**5. Closing.** The closing will take place as soon as possible upon contingencies being satisfied by Buyer but no later than 10 days after Lot and Site Plan approvals are issued by the Town of Bolton.

The closing will be held at the offices of Buyer's attorney or at such other place mutually agreeable between the parties within the county in which the property is located.

**6. Condition of Property.** Seller agrees to deliver the Property to Buyer in "AS IS" condition SUBJECT to paragraph #15 herein. Buyer shall have the right to inspect the Property for compliance with this Contract before the closing, upon reasonable notice to Seller.

**7. Title.** The Seller will transfer fee simple title to the property to Buyer by a Connecticut form Warranty Deed, subject to (a) any and all provisions of any ordinance, municipal regulation, or public or private law; declarations, restrictions, covenants, and easements of record; any state of facts an accurate survey or personal inspection of the Property might reveal; provided that none of the above renders title to the Property unmarketable; (b) current taxes and municipal assessments. Buyer will not assume any outstanding municipal liens that are currently due and owing. If property is found to be unmarketable, for whatever reason based upon the Connecticut Standards of Title, and Buyers will not accept said title that Sellers have, Buyers deposit will be returned and this Contract will become null and void and the obligations of the parties under this Contract shall end. Sellers will not be obligated to initiate a suit (such as a Quit Title action) to clear title and Buyers will not be obligated to buy subject property if there is an issue of marketability.

**8. Adjustments.** Adjustments for taxes, association fees, rents, water, fire taxes, sewer, interest, fuel, condominium fees, municipal assessments, and other charges will be made as of the date of closing in accordance with the custom of the Bar Association for the county where the Property is located.

**9. Possession and Occupancy.** At the time of closing, possession and occupancy of the improvements and personal property on the Property included in this Contract shall be delivered to Buyer in the condition they were in on the date of this Contract, subject to ordinary wear and use and free of all tenants and occupants.

**10. Risk of Loss.** Risk of loss or damage to the Property shall be upon Seller until the closing.

**11. Default.** If Buyer defaults under this Contract and Seller is not in default, Buyer's deposits shall be retained by Seller as liquidated damages, and Buyer and Seller shall be relieved of further liability to each other under this Contract. If Seller is in default under this Contract and Buyer is not in default, Buyer can use whatever remedy is available to Buyer including but not limited to specific performance. If legal action is brought to enforce any provision of the Contract, the prevailing party shall be entitled to court costs and attorneys' fees.

**12. Complete Agreement.** This Contract contains the entire agreement between Buyer and Seller concerning this transaction and supersedes any and all previous written or oral agreements concerning the Property.

**13. Non-assignability.** Buyer shall not assign its rights under this Contract without the written consent of Seller.

**14. Survival.** This contract shall be binding upon and inure to the benefit of the respective personal representatives, heirs, successors and assigns of Buyer and Seller.

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**16. Other Conditions.** Note and mortgage to be prepared by Seller's Attorney and to be reviewed and accepted by Buyer's Attorney. Note and mortgage will provide for no prepayment penalty. Buyer will sign Note personally and by any entity created by Buyer. Note shall bear interest of 4% and be payable on or before thirty six (36) months from the date of sale.

When signed by Buyer and Seller this is intended to be a legally binding contract. If either party has any questions about any aspect of this transaction, he/she should consult with an attorney before signing this Contract.

**17. Execution by Facsimile.** The parties agree that this Contract may be transmitted between them by facsimile machine and the parties intend that a faxed Contract containing either the original and/or copies of the signature of all parties shall constitute a binding Contract.

17. Execution by Facsimile. The parties agree that this Contract may be transmitted between them by facsimile machine and the parties intend that a faxed Contract containing either the original and/or copies of the signature of all parties shall constitute a binding Contract.

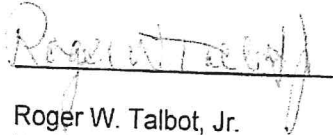
BUYER



William R. Phillips

Date: 5-12-2020

SELLER



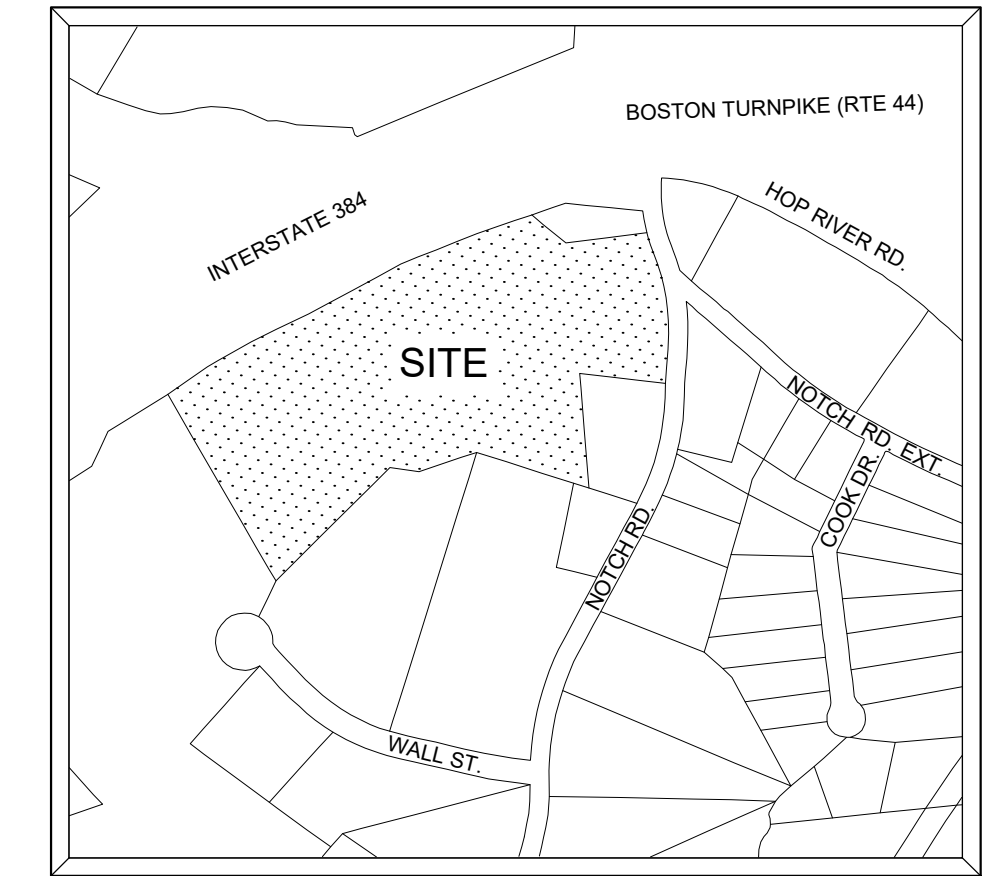
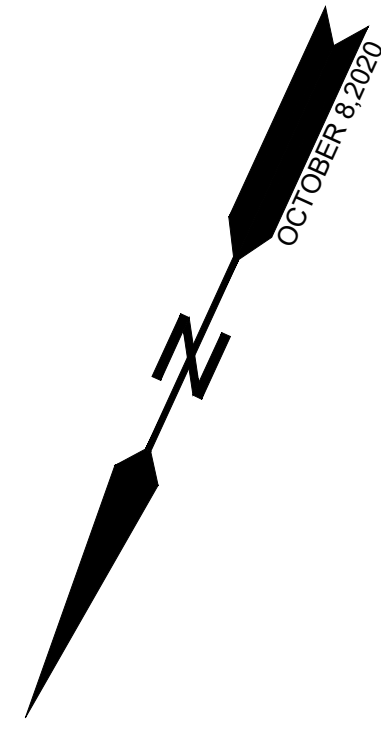
Roger W. Talbot, Jr.  
Its Secretary  
Duly Authorized

Date: 5/11/2020

BROKER

N/A\*

\* Seller and Buyer each represent and warrant to the other that no real estate agent or broker was the procuring cause of this transaction and agree to indemnify and hold the other harmless against any claim for fees or commissions relative to this agreement or the transaction contemplated hereby in the event their respective representations contained in this paragraph shall not be true.



**KEY MAP**  
SCALE 1"=400'

- SURVEY NOTES:**
- 1.) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES' MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON AUGUST 29, 2019. IT IS A GENERAL LOCATION SURVEY MAP BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS D AND TOPOGRAPHICAL SURVEY ACCURACY CLASS T-D. THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY BOUNDARY OR LIMITED PROPERTY BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE THE INTENT OF THIS MAP IS TO DEPICT THE LOCATION OF THE EXISTING SITE FEATURES AND PROPOSED IMPROVEMENTS SHOWN WITH RESPECT TO THE APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS TO OBTAIN A SEPTIC REPAIR PERMIT. THIS MAP IS BE USED FOR THE STATED INTENT AND FOR THE PARTIES THE PLAN HAS BEEN PREPARED FOR ONLY. ANY USE OF THIS PLAN FOR OTHER USES OR BY OTHER PARTIES WILL RENDER ANY CERTIFICATIONS CONTAINED HEREON NULL AND VOID. ANY MODIFICATIONS TO THIS PLAN NOT COMPLETED BY BUSHNELL ASSOCIATES LLC WILL RENDER ANY CERTIFICATIONS CONTAINED HEREON NULL AND VOID.
  2. TOPOGRAPHY DEPICTED WAS FIELD DERIVED BY BUSHNELL ASSOCIATES LLC. USING AN ASSUMED DATUM AND BENCHMARK SHOWN.
  3. THE PORTION OF THE PROPERTY SHOWN IS LOCATED IN AN INDUSTRIAL ZONE.
  4. THE WETLAND BOUNDARIES SHOWN WERE FIELD DELINEATED BY RICHARD SNARSKI SOIL SCIENTIST AND FIELD LOCATED BY BUSHNELL ASSOCIATES LLC.
  - 4.) PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE A PER FIRM FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 090109001B EFFECTIVE DATE JUNE 1, 1981.
  - 5) THE PROPERTY IS SHOWN AS AN AREA OF STATE AND FEDERAL LISTED SPECIES ON THE CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION BUREAU OF NATURAL RESOURCES WILDLIFE DIVISION NATURAL DIVERSITY DATA BASE JUNE 2020 MAPPING.

- MAP REFERENCES:**
- 1.) UPDATE MAP BOLTON NOTCH QUARRY PREPARED FOR AMERICAN HERITAGE STONE, INC. BOLTON, CONN. REVISED TO 3-21-90 DRAWN BY: HL DATE 11-28-89 SCALE 1"=40'
  - 2.) SURVEY PREPARED FOR HENRY E. GONDER NOTCH ROAD BOLTON, CONN SCALE: 1"=40' DEC. 23, 1975 WILLIAM W. SYMONDS, SR LAND SURVEYOR
  - 3.) NEW YORK NEW HAVEN & HARTFORD RAILROAD OFFICE OF ENGINEER - REAL ESTATE LAND IN BOLTON, CONN. TO BE CONVEYED TO GERTRUDE E. PATNODE SCALE 1"=40' SEPT. 1960
  - 4.) PREPARED FOR BOX MOUNTAIN QUARRIES, INC. BOLTON CONN. MEGSON & HEAGLE CIVIL ENGINEERS & LAND SURVEYORS GLASTONBURY, CONN. DATE 3-25-83 SCALE 1"=40' JOB NO. 23-83-1A
- CONSTRUCTION NOTES:**
- 1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
  - 2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

THE WESTERN AREA OF THE PROPOSED DEVELOPMENT IS PRESENTLY INACCESSIBLE FOR SURVEY PURPOSES. THE TOPOGRAPHY AND EDGE OF VERTICAL ROCK CUT SHOWN AREA APPROXIMATE. MODIFICATION TO THE SITE PLAN MAYBE REQUIRED AFTER THIS AREA BECOMES ACCESSIBLE AND A MORE ACCURATE SURVEY CAN BE COMPLETED.

UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."

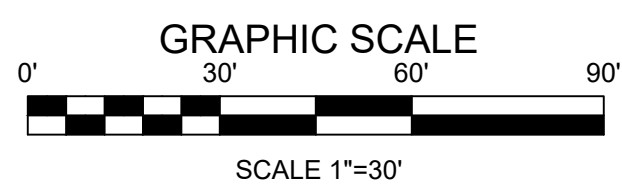
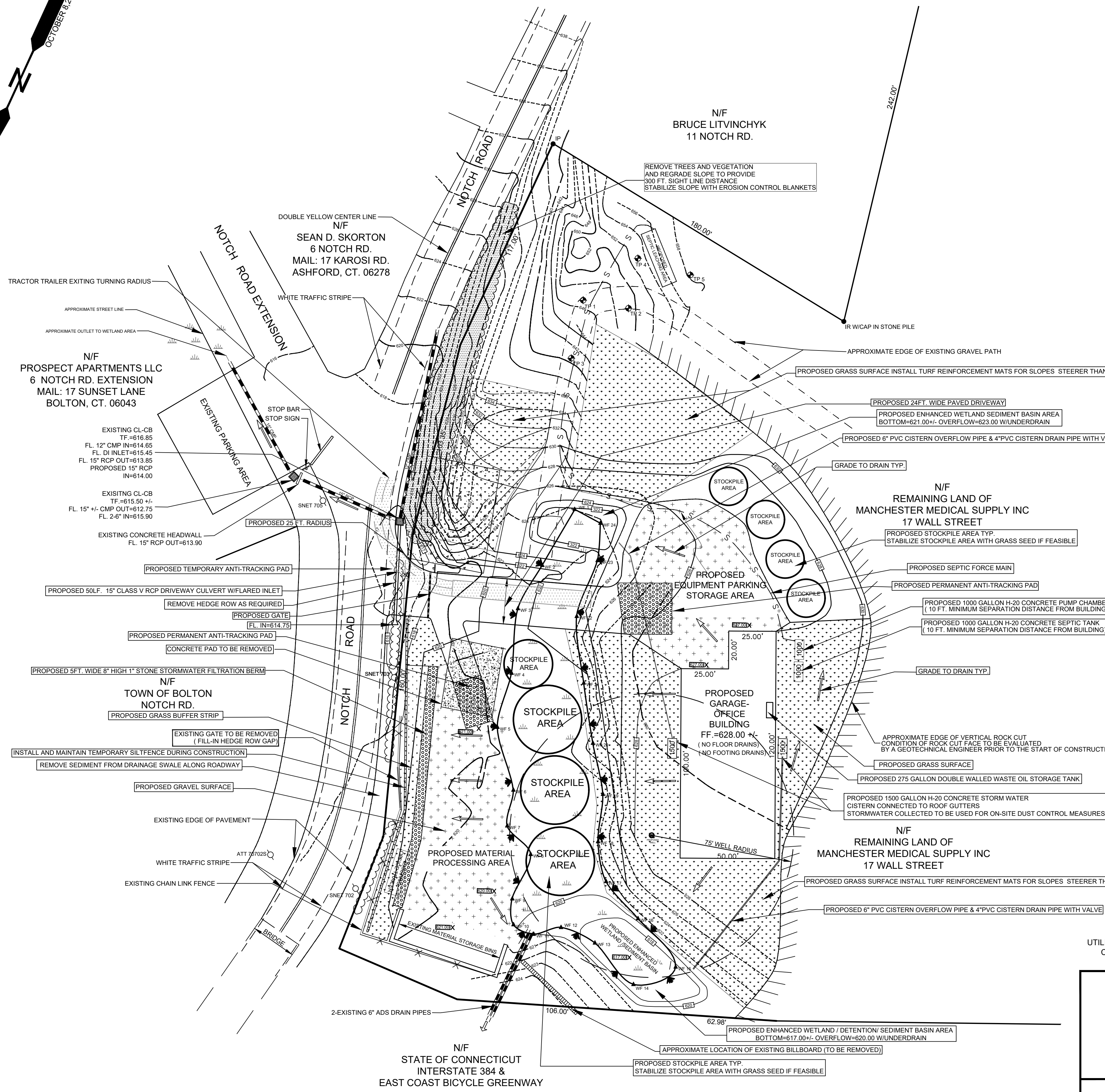
- EROSION AND SEDIMENTATION CONTROL MAINTENANCE PLAN:**  
(ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.)
- 1.) INSPECT ANTI-TRACKING PADS ON A WEEKLY BASIS. REJUVEANATE OR ADD STONE AS REQUIRED.
  - 2.) USE CALCIUM CHLORIDE AND WATER STORED IN ON-SITE CISTERNS OR FROM ON-SITE WELL FOR DUST CONTROL AS NEEDED.
  - 3.) STABILIZE STOCKPILES WITH GRASS COVER WHEN POSSIBLE.
  - 4.) INSPECT CLEAN AND REJUVEANATE STONE STORMWATER FILTRATION BERM EVERY 3 MONTHS.
  - 5.) INSPECT DRAINAGE SWALE AND CATCHBASIN ALONG NOTCH RD. EVERY 3 MONTHS. REMOVE SEDIMENT BUILD-UP AS NECESSARY.
  - 6.) MOW AND FERTILIZE GRASS BUFFER STRIP ON A REGULAR BASIS AS NEEDED.
  - 7.) INSPECT ENHANCED WETLAND / SEDIMENTATION BASIN AREAS EVERY 6 MONTHS. REMOVE EXCESSIVE SEDIMENT BUILD-UP AS NECESSARY.

- EMERGENCY SPILL RESPONSE PLAN:**  
(DIESEL FUEL, HYDRAULIC OIL, ENGINE OIL & CLEANING COMPOUNDS)  
(EMERGENCY SPILL KIT TO BE AVAILABLE ON-SITE)
- 1.) NOTIFY PEOPLE IN THE IMMEDIATE AREA TO MOVE AWAY.
  - 2.) WEAR APPROPRIATE PERSONAL PROTECTION (PPE) SUCH AS GLOVES, GOGGLES AND APRONS TO PREVENT EXPOSURE AND MINIMIZE CONTAMINATION.
  - 3.) USING THE ABSORBENT MATERIAL CONFINE THE SPILL, IF THIS CAN BE DONE WITHOUT THE RISK OF INJURY.
  - 4.) PREVENT MATERIAL FROM ENTERING INTO ANY NEARBY STORM OR SANITARY DRAIN BY BLOCKING THE DRAIN.
  - 5.) CLEAN UP SPILL BY WORKING FROM THE OUTSIDE OF THE SPILL TOWARD THE CENTER TO MINIMIZE SPREAD OF CONTAMINATION.
  - 6.) BE SURE TO ALLOW ADEQUATE CONTACT TIME FOR COMPLETE ABSORPTION OF THE FLUID.
  - 7.) CLEAN-UP THE ABSORBENT CONTENT AND PLACE INTO A PLASTIC BAG OR PROPER CONTAINER.
  - 8.) PROPERLY PLACE SPILL CLEANUP DEBRIS IN A CONTAINER AND ARRANGE FOR PROPER DISPOSAL.
  - 9.) WASH HANDS AND OTHER EXPOSED SKIN AFTER COMPLETING CLEAN-UP.
  10. RESTOCK MATERIAL USED IN THE SPILL KIT.
  11. INVESTIGATE SOURCE OF THE SPILL AND METHODS TO PREVENT FUTURE INCIDENTS.

AREA OF WETLANDS ELIMINATED: 8,284 SQ. FT. 0.19 ACRES  
AREA OF WETLANDS ENHANCED: 1,570 SQ. FT. 0.04 ACRES

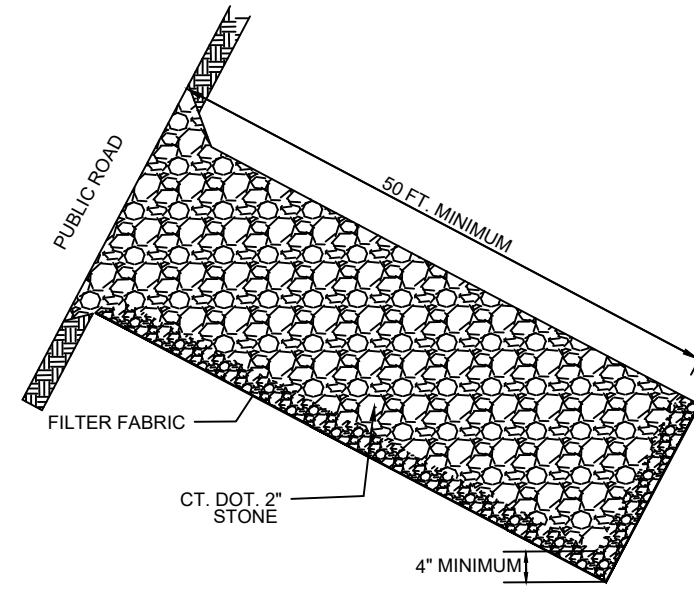
**LEGEND**

- EXISTING MERESTONE IRON ROD TO BE SET
- EXISTING IRON ROD
- PROPOSED WELL
- PROPOSED SILT FENCE/ LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- STONE WALL
- EXISTING UTILITY POLE
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TEST HOLE
- ▲ PERC PERCOLATION TEST
- ▲ EDGE OF FIELD LOCATED WETLANDS
- ▲ WF 20 WETLANDS FLAG
- PROPOSED UNDERGROUND UTILITIES



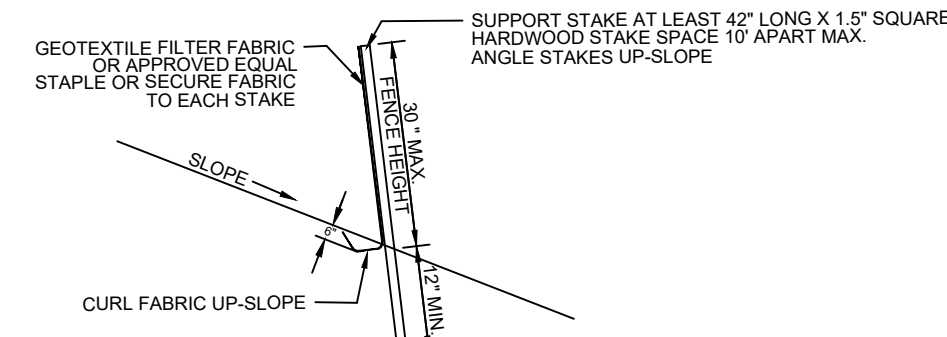
PLAN PREPARED FOR			
<b>LANDIE CONSTRUCTION</b>			
17 WALL STREET		BOLTON, CT.	
SITE PLAN			
SCALE: 1"=30'	DATE: 2/20/2020	FILE NO. 2017-1	SHEET: 1 OF 2
<b>BUSHNELL ASSOCIATES LLC.</b>			
CIVIL ENGINEERING AND LAND SURVEYING			
563 WOODBRIDGE STREET		MANCHESTER, CT. 06042	
860-643-7875			
REVISIONS: 5/18/2020, 7/16/2020, 7/23/2020, 8/12/2020, 9/11/2020, 10/8/2020			

- CONSTRUCTION NOTES:**
- 1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
  - 2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
  - 3.) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY ALL BOUNDARY MARKERS SHALL BE SET BY A LICENSED LAND SURVEYOR.
  - 4.) PRESERVE ANY EXISTING STONE WALLS WHEREVER POSSIBLE.
  - 5.) ANY TREES TO BE REMOVED IN THE TOWN RIGHT OF WAY SHALL BE POSTED BY THE TREE WARDEN PRIOR TO REMOVAL.
  - 6.) ALL PROPOSED UTILITIES LOCATIONS SHALL BE APPROVED BY THE LOCAL UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION.



**ANTI-TRACKING CONSTRUCTION ENTRANCE**  
NOT TO SCALE

- EROSION CONTROL CONSTRUCTION SEQUENCE PLAN HOUSE LOT DEVELOPMENT**  
NOTE: ALL EROSION AND SEDIMENT CONTROL ACTIVITIES SHALL CONFORM TO THE METHODS OUTLINED IN THE 2002 CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL MANUAL.
- 1.) COORDINATE MARKING OF LIMITS OF DISTURBANCE BY A LICENSED LAND SURVEYOR. SUPPLY TOWN EROSION CONTROL OFFICER WITH A LETTER FROM THE SURVEYOR CERTIFYING THE LIMITS OF DISTURBANCE WERE MARKED IN ACCORDANCE WITH THE APPROVED PLAN.
  - 2.) CLEAR TREES AS REQUIRED.
  - 3.) PRIOR TO SOIL DISTURBANCE INSTALL EROSION CONTROL MEASURES, SILT FENCE AND ANTI-TRACKING PAD (SEE PLAN DETAILS AND LOCATIONS). ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS REQUIRE. COORDINATE AN INSPECTION OF INSTALLED MEASURES WITH THE EROSION CONTROL OFFICER. SUPPLY THE TOWN OF HEBRON EROSION CONTROL OFFICER WITH THE NAME AND PHONE NUMBER OF A CONTACT PERSON RESPONSIBLE FOR THE EROSION CONTROL MEASURES.
  - 3.) PERIODICALLY AND AFTER LARGE RAIN EVENTS INSPECT EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
  - 4.) GRUB AND STRIP TOPSOIL. STOCKPILE TOPSOIL IN AREAS INDICATED ON THE APPROVED PLAN.
  - 5.) CONSTRUCT AND STABILIZE DRIVEWAY.
  - 6.) CONSTRUCT HOUSE, WELL, DRIVEWAY, SEPTIC SYSTEM AND OTHER IMPROVEMENTS AS SHOWN.
  - 7.) SPREAD STOCKPILED TOPSOIL, MACHINE RAKE, FERTILIZE, SEED AND MULCH DISTURBED AREAS. USE GRASS SEED THAT IS ACCEPTABLE FOR THE SITE CONDITIONS (I.E. SUN OR SHADE) AND THE SEASON OF THE YEAR IN WHICH THIS ACTIVITY IS COMPLETED. PROVIDE TEMPORARY STABILIZATION OF THE SITE (I.E. STRAW OR HAY ETC.) IF THE TOPSOIL IS SPREAD DURING A TIME OF YEAR WHEN GRASS SEED WILL NOT GERMINATE. PROVIDE PERMANENT STABILIZATION WHEN WEATHER CONDITIONS ALLOW.
  - 8.) REMOVE EROSION CONTROL MEASURES AFTER THE SITE HAS BECOME FULLY ESTABLISHED.
  - 9.) ANY EXISTING DISTURBED AREAS MUST BE SEEDED WITH PERMANENT OR TEMPORARY GROUND COVER AND MULCHED BY OCTOBER 15.
  - 10.) DEWATERING OPERATIONS, IF REQUIRED, SHALL UTILIZE A CRUSHED STONE INTAKE SUMP AND A TEMPORARY OUTLET SILT POOL LOCATED WITHIN THE LIMITS OF DISTURBANCE.



**SILT FENCE DETAIL**  
NOT TO SCALE

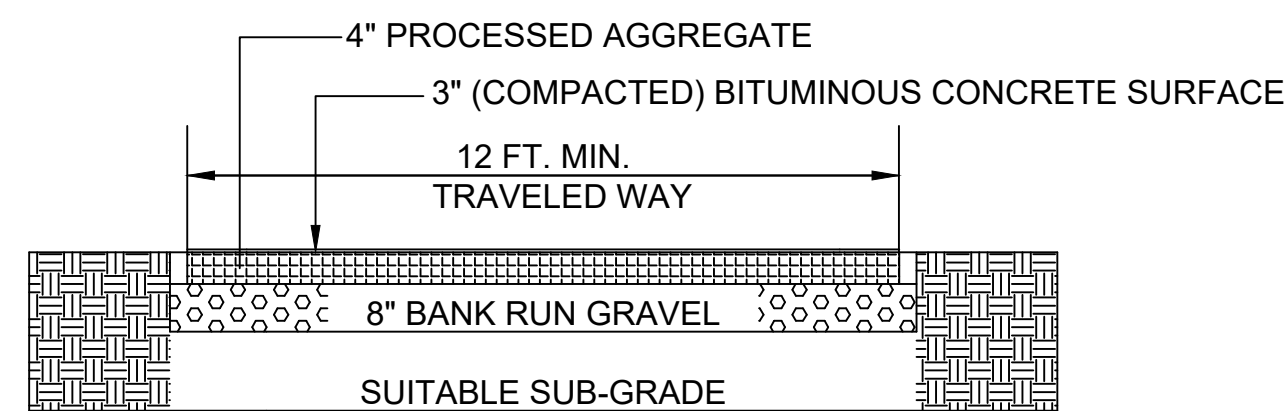
**SITE SEEDING NOTES:**  
PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2" IN DIAMETER. INSTALL SEEDED EROSION CONTROL DEVICES SUCH AS SURFACE WATER DIVERSIONS AS REQUIRED. APPLY LIMESTONE AT A RATE OF 2 TONS/AC. OR 90 LBS./1000 SQ.FT. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS./AC. OR 7.5 LBS. PER 1000 SQ.FT. WORK LIME AND FERTILIZER INTO SOIL UNIFORMLY TO A DEPTH OF 4".

**SEED APPLICATION:** APPLY SEED MIXTURE FROM THE CHART BELOW BY HAND, CYCLONE SEEDER OR HYDRO SEEDER. INCREASE SEED MIXTURE BY 10% IF HYDRO SEEDER IS USED. LIGHTLY DRAG OR ROLL THE SEEDED SURFACE TO COVER SEED. SEEDING SHOULD BE DONE BETWEEN THE TIMES SHOWN ON THE CHART BELOW. IF SEEDING CANNOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE BELOW UNTIL SEEDING CAN TAKE PLACE.

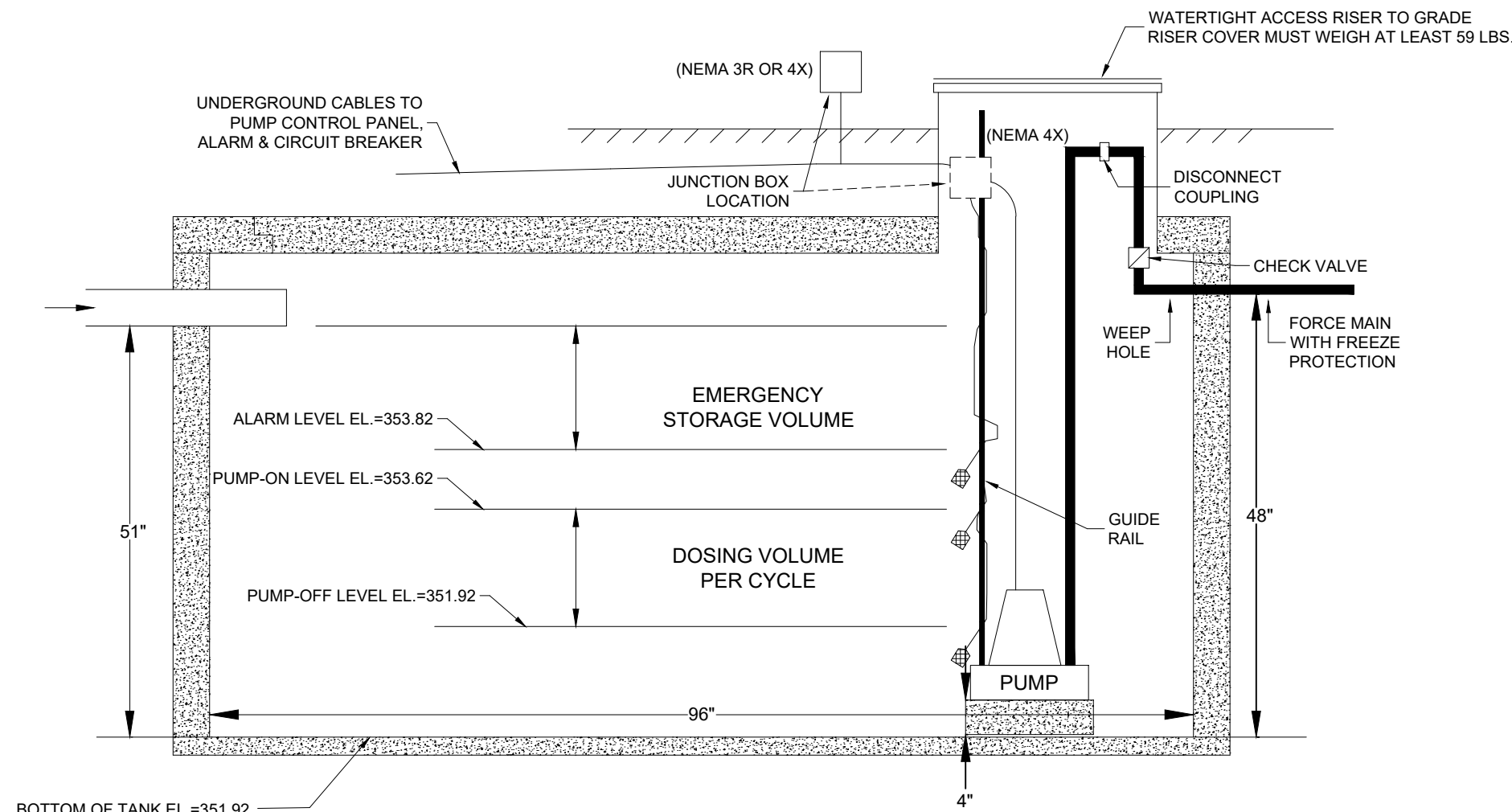
**MULCHING:** IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEED SURFACE WITH STRAW OR HAY AT A RATE OF 2 TO 3 TONS/AC. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH A TRACK MACHINE OR DISK HARROW SET STRAIGHT UP. IF USING HYDRO SEED MIX USE TACIFIER ADDITIVES TO ADHERE MULCH MATERIAL TO THE SURFACE.

SEED SELECTION:	LB/1000 SQ. FT.	SEED MIXTURE	RECOMMENDED SEEDING DATES
PERMANENT LAWN	0.45	KENTUCKY BLUEGRASS	4/1-6/15
	0.45	CREeping RED FESCUE	8/15-10/1
	0.10	PERENNIAL RYEGRASS	
SLOPES & COARSE LAWN	0.45	CREeping RED FESCUE	4/1-6/15
	0.05	RED TOP	8/15-10/1
	0.45	TALL FESCUE	
SLOPES (NO MOWING)	1.8	CREeping RED FESCUE	4/1-6/15
	0.2	RED TOP	8/15-10/1
TEMPORARY COVER	3.0	WINTER RYE	4/15-6/15, 8/15-10/15
	1.0	ANNUAL RYEGRASS	3/1-6/15, 8/1-10/15

IF SEED IS PLANTED OUTSIDE THE RECOMMENDED SEEDING DATES IRRIGATION MAYBE REQUIRED AT A UNIFORM APPLICATION RATE OF 1 TO 2 INCHES OF WATER APPLIED PER APPLICATION, SOAKING THE GROUND TO A DEPTH OF 4 INCHES.

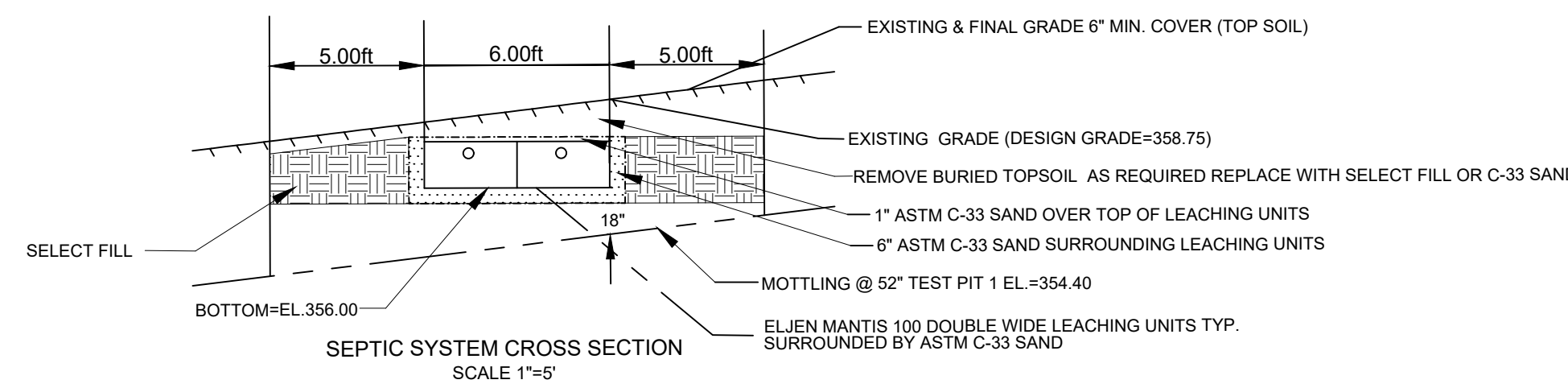


**PAVED DRIVEWAY DETAIL (12% MAX GRADE)**  
NOT TO SCALE

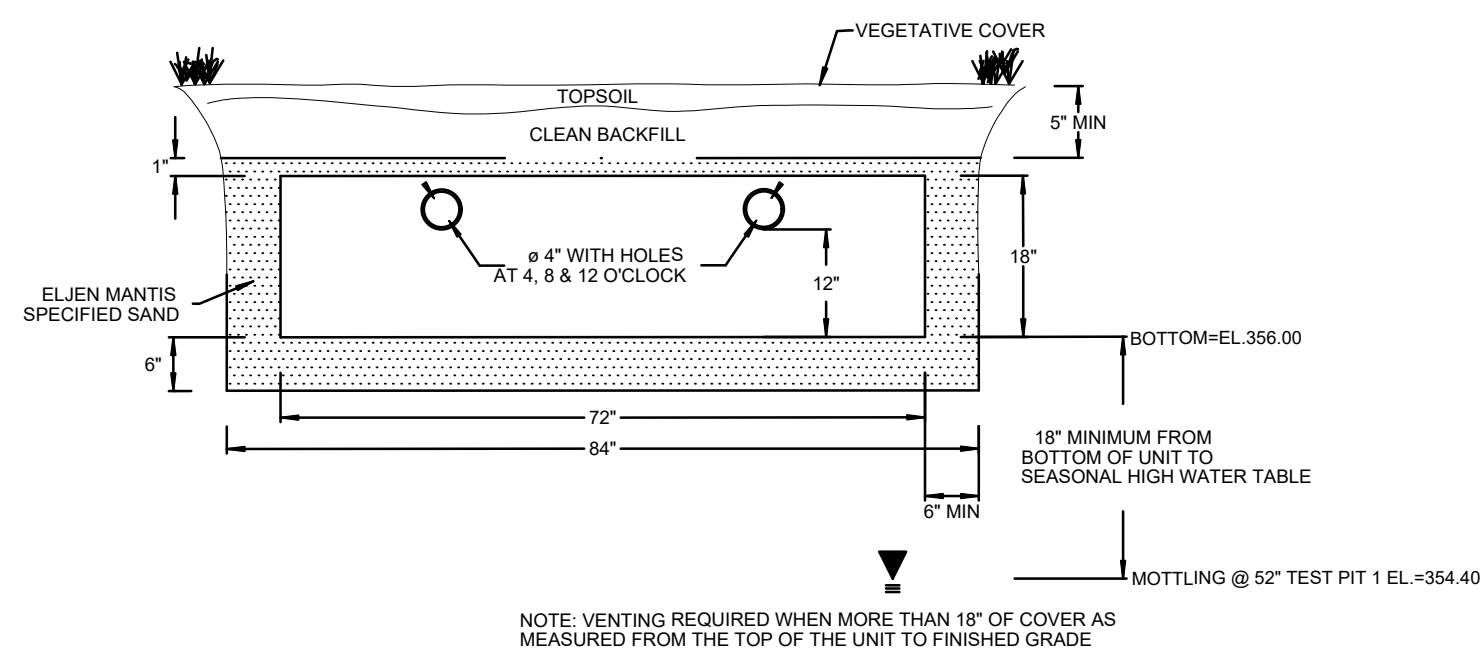


**TYPICAL PUMP CHAMBER DETAIL**  
NOT TO SCALE

AN ELECTRICAL PERMIT AND NECESSARY INSPECTIONS OBTAINED BY THE TOWN OF EAST HADDAM BUILDING DEPARTMENT FOR WIRING THE PUMP CHAMBER SHALL BE CONDUCTED PRIOR TO ISSUING A PERMIT TO DISCHARGE. ALARM SHALL BE VISUAL AND AUDITORY AND ON A SEPARATE SWITCH FROM THE PUMP ON AND OFF.



**SEPTIC SYSTEM CROSS SECTION**  
SCALE 1"=5'



**ELJEN 100 DOUBLE WIDE LEACHING UNIT DETAIL**  
NOT TO SCALE

**SEPTIC SYSTEM DESIGN NOTES AND CRITERIA:**

SEPTIC SYSTEM DESIGN IN ACCORDANCE WITH CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS REVISED JANUARY 1, 2018.

THE MANTIS 100 DOUBLE WIDE UNITS SHALL BE INSTALLED PER ELJEN SPECIFICATIONS

MINIMUM LEACHING SYSTEM SPREAD (MLSS) CALCULATION:  
5,500 SQ. FT. INDUSTRIAL BUILDING 0.1 GALLON PER DAY (GPD) PER SQ. FT.=650 GPD  
PERCOLATION RATE 1-10 MIN./INCH  
RESTRICTIVE LAYER 40" TEST PIT 5  
GROUND SLOPE =15.0%  
MLSS: 14 H.F. X 1.83 F.F. X 1.0 P.F. = 25.67' MINIMUM (30' PROVIDED)

REQUIRED: 1,000 GALLON TWO-COMPARTMENT SEPTIC TANK AND 550 SQ. FT. OF EFFECTIVE LEACHING AREA.

PROVIDED: 1,000 GALLON TWO-COMPARTMENT CONCRETE SEPTIC TANK (ACCESS RISERS REQUIRED TO LESS THAN 12" FROM FINAL GRADE) AND 30 LINEAL FEET OF ELJEN MANTIS DOUBLE WIDE 100 (6 UNITS) BACKFILLED WITH APPROVED ELJEN SPECIFIED SELECT SAND/EFFECTIVE LEACHING CREDIT 20.0 SQ. FT./FT) WITH AN EFFECTIVE LEACHING AREA OF 600 SQ.FT.

MANTIS UNIT BOTTOMS TO BE NO MORE THAN 28" BELOW EXISTING GRADE.

THE SEPTIC SYSTEM AREA SHALL NOT BE DISTURBED PRIOR TO STAKEOUT OF THE SYSTEM BY THE DESIGN ENGINEER.

THE DESIGN ENGINEER SHALL STAKE OUT THE SEPTIC SYSTEM, SET A LOCAL BENCHMARK

ELJEN MANTIS SPECIFIED SAND REQUIREMENTS (INSTALLER TO SUPPLY A COPY OF A SIEVE ANALYSIS FROM THE MATERIAL SUPPLIER TO ENSURE THAT THE SAND USED TO BACKFILL THE MANTIS UNITS MEETS THE SPECIFICATION REQUIREMENTS BELOW) (ASTM C33)

SIEVE SIZE	SIEVE SQUARE OPENING SIZE	SPECIFIED PERCENT PASSING (WET SIEVE)
0.375"	9.5 mm	100.0
#4	4.75 mm	95.0-100.0
#8	2.36 mm	80.0-100.0
#16	1.18 mm	50.0-85.0
#30	600 um	25.0-80.0
#50	300 um	5.0-30.0
#100	150 um	< 10.0
#200	75 um	< 5.0

SELECT FILL PLACED WITHIN AND ADJACENT TO LEACHING SYSTEM AREAS SHALL BE COMPRISED OF CLEAN SAND, OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY THE DESIGN ENGINEER. SELECT FILL EXCEEDING 6% PASSING THE #200 SIEVE BASED ON A WET SIEVE TEST CANNOT BE APPROVED BY THE DESIGN ENGINEER.

- 1.) THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIEVE.
- 2.) UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE.
- 3.) THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
- 4.) THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA.

SIEVE SIZE	WET SIEVE	PERCENT PASSING DRY SIEVE
#4	100	100
#10	70-100	70-100
#40	10-50"	10-75
#100	0-20	0-5
#200	0-5	0-2.5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%

SELECT FILL THAT DOES NOT MEET THE DRY SIEVE GRADATION CRITERIA BUT MEETS THE WET SIEVE CRITERIA IS ACCEPTABLE.

THE LICENSED INSTALLER IS RESPONSIBLE FOR PREPARING THE LEACHING AREA WITH REQUIRED SELECT FILL. THE TOPSOIL IN THE LEACHING AREA MUST BE COMPLETELY REMOVED AND THE SUBSOIL SCARIFIED PRIOR TO SELECT FILL PLACEMENT. THE INSTALLER SHALL TAKE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOIL FROM FROM OVERCOMPACTION, SILTATION OR OTHER DAMAGE. THE INSTALLER IS RESPONSIBLE FOR PROPERLY COMPACTING THE SELECT FILL TO FACILITATE CONSTRUCTION AND TO PREVENT SETTLING. SELECT FILL SHALL EXTEND A MINIMUM OF FIVE (5) FEET LATERALLY IN ALL DIRECTIONS BEYOND THE OUTER PERIMETER OF THE LEACHING AREA.

TEST PITS OBSERVED BY:  
THAD KING MPH REHS RS  
EASTERN HIGHLANDS HEALTH DISTRICT  
FEBRUARY 4, 2020

TEST PIT 1  
0-4" TOPSOIL  
4-24" BROWN FINE SANDY LOAM  
24-72" COMPACT GREY/BROWN SANDY HARDPAN  
MOTTLING NONE  
SEEPAGE NONE  
LEDGE 72"

TEST PIT 2  
0-27" TOPSOIL AND FILL  
27-32" ORIGINAL TOPSOIL  
30-72" BROWN FINE SANDY LOAM  
NATURALLY OCCURRING SOIL FROM 27"-72"  
MOTTLING @ 25"  
SEEPAGE NONE  
LEDGE NONE

TEST PIT 3  
0-4" TOPSOIL  
6-52" BROWN FINE SANDY LOAM  
62-88" BROWN SILTY SAND COMPACT  
NATURALLY OCCURRING SOIL AT 88"  
ORANGE/BROWN FINE SANDY LOAM

TEST PITS OBSERVED BY: ANDREW BUSHNELL PELS. BUSHNELL ASSOCIATES LLC. SEPTEMBER 4, 2020	TEST PIT 4 0-4" TOPSOIL 4-30" FILL 30-36" BURIED TOPSOIL 36-130" BROWN FINE SANDY LOAM ROCKY MOTTLING NONE SEEPAGE NONE LEDGE 130" ROOTS TO 45"	TEST PIT 5 0-4" TOPSOIL 4-46" BROWN FINE SANDY LOAM STONEY 46-25" COMPACT TILL & DECOMPOSED ROCK MOTTLING NONE SEEPAGE NONE LEDGE NONE
	SOIL PERCOLATION TEST RESULTS PERFORMED BY: THAD KING MPH REHS RS EASTERN HIGHLANDS HEALTH DISTRICT JULY 23 2020	PRE-SOAK 2+ HOURS
	18" DEEP HOLE	TIME READING DIFFERENCE (IN.) (IN.) (IN.)
	12:45	7 1/2 -
	12:50	8 3/4 1 1/4
	12:55	9 1/2 3/4
	1:00	10 1/4 3/4
	1:05	10 5/8 3/8
	1:10	11 3/8
	1:15	11 1/2 1/2
	1:20	12 1/2

PERCOLATION RATE = 1-10 MIN./IN.

**PLAN PREPARED FOR**

**LANDIE CONSTRUCTION**

17 WALL STREET BOLTON, CT.

**CONSTRUCTION / E&S/ SEPTIC DETAILS**

SCALE: NONE DATE: 9/2/2020 FILE NO. 2017-1 SHEET: 2 OF 2

**BUSHNELL ASSOCIATES LLC.**  
CIVIL ENGINEERING AND LAND SURVEYING  
563 WOODBRIDGE STREET MANCHESTER, CT. 06042  
860-643-7875

REVISIONS: 10/8/2020



BOLTON TOWN OF	222 BOLTON CENTER RD	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM ST	HARTFORD, CT 06106
CARBONE DEBORAH	15 NOTCH RD	BOLTON, CT 06043
BROWN BELGIN M & BROWN MARCUS C	16 NOTCH RD	BOLTON, CT 06043
CT HOME REMODELERS LLC	PO BOX 333	EAST GLASTONBURY, CT 06025
MCINERNEY DAVID	19 COOK DR	BOLTON, CT 06043
STEARNS BARRY E & KATHLEEN	21 COOK DR	BOLTON, CT 06043
LAVIGNE JOSEPH M	10 COOK DRIVE	BOLTON, CT 06043
VERRASTRO KENNETH F	6 COOK DR	BOLTON, CT 06043
FAULKNER JOSEPH & YOLANDE A & SURV	12 NOTCH RD	BOLTON, CT 06043
PROSPECT APARTMENTS LLC	17 SUNSET LN	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM ST	HARTFORD, CT 06106
PEARSALL DAVID W	15 WALL ST	BOLTON, CT 06043
BOLTON TOWN OF	222 BOLTON CENTER RD	BOLTON, CT 06043
SACCOCCIO VICTORIA L	7 NOTCH RD EXT	BOLTON, CT 06043
IRISH EDWARD N & KAREN A	9 NOTCH RD EXT	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM	HARTFORD, CT 06106
MANCHESTER MEDICAL SUPPLY INC	P O BOX 8385	MANCHESTER, CT 06040
LITVINCHYK BRUCE	11 NOTCH RD	BOLTON, CT 06043
HOWARD JAMES & MARION A	14 WALL ST	BOLTON, CT 06043
BOLTON TOWN OF	222 BOLTON CENTER RD	BOLTON, CT 06043
COOK DRIVE WATER ASSOCIATION INC	21 COOK DR	BOLTON, CT 06043
SKORTON SEAN D	17 KAROSI RD	ASHFORD, CT 06278
SKORTON SEAN D	17 KAROSI RD	ASHFORD, CT 06278
ZDROJOWY IRENE M	5 NOTCH RD EXT	BOLTON, CT 06043
BERRY STEPHANIE	7 COOK DRIVE	BOLTON, CT 06043
MORIANOS JOHN J JR	9 COOK DR	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM	HARTFORD, CT 06106
OSTAFIN DAVID M	1 WALL ST	BOLTON, CT 06043

HOWARD JAMES & MARION A &	14 WALL ST	BOLTON, CT 06043
DUBOIS THOMAS J & DUBOIS MICHELLE M	24 NOTCH RD	BOLTON, CT 06043
ROY NICHOLAS D	20 NOTCH RD	BOLTON, CT 06043
MANCINI JON A & KATHLEEN O	11 COOK DR	BOLTON, CT 06043
DENUNZIO DIANE D	2 WALL ST	BOLTON, CT 06043
BEAUDOIN RONALD A	2 COOK DR	BOLTON, CT 06043



# Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

Date: October 12, 2020

To: Planning & Zoning Commission

From: Patrice L. Carson, AICP, Consulting Director of Community Development

**Subject: William Phillips' Special Permit appl. at 1 Notch Road for Proposed Garage/Office Building, Excavation Business, Equipment Storage & Material Processing Areas**

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## INFORMATION

**Application No.:** VP#PL-20-12

**Application Date:** September 4, 2020

**Receipt Date:** September 9, 2020

**Public Notification:** Posted on Website September 24, 2020 per Governor's Executive Order

**Public Hearing Date(s):** October 14, 2020

**Applicant(s):** William Phillips

**Owner(s):** Manchester Medical Supply, Inc.

**Wetlands Permit Submitted:** May 18, 2020

**Wetlands Permit Effective:** July 28, 2020

**Wetlands Permit Expires:** July 27, 2022

## PROPOSAL / EXISTING CONDITIONS/BACKGROUND

Applicant, William Phillips, of 21 Clark Road, Bolton, is seeking a Special Permit to construct a 5,500 square foot garage/office building for the operation of an excavation business, outdoor storage of heavy equipment, import and export of gravel products, and machine rental on a 12 acre parcel at 1 Notch Road aka 17 Wall Street in the Bolton Assessor's Records.

Located on the west side of Notch Road, this is the last lot before the entrance onto Route I-384 eastbound which was used as a staging area when work was done on Route I-384. The lot has a varying topography, almost two-tiered, with the lower tier having access from Notch Road and the upper tier having access from Wall Street. The property is zoned I and is surrounded by R-2 on all sides except the north where it's bound by Route I-384. Currently the property is mostly vacant with the remnants of "bins" that held different construction materials like stone. Prior to this, the property was a gravel excavation site that included blasting, cutting stone, and (loaded and unloaded) truck traffic. There are wetlands on the property and an application has been made and approved by the Bolton Inland Wetlands Commission for the activity proposed within 100 feet of wetlands or watercourses.

The activities proposed in this application for the site are allowed by Special Use Permit on Industrially zoned properties. The PZC may want to know generally how much truck traffic

is expected, what kind of material will be processed and how, hours of operation, and number of employees.

The applicant and his design professionals have been meeting with town staff to discuss the overall concept plan, architectural plans and site development plan. The application and site plan appears to have addressed most of the concerns brought up during that meeting.

#### **REPORTS RECEIVED**

- Site Plan Checklist - completed
- Review email from Lance Dimock, DPW with no concerns
- 07/28/20 Inland Wetland Minutes re: Approval of permit IWC #2020-5
- 09/26/20 review email from Joseph Dillon, PE with 8 issues to address

#### **ADDITIONAL INFORMATION RECEIVED**

- Abutters List
- 10/08/20 Site Development Plan & Details 2 pages
- 05/12/20 Real Estate Contract
- Inland Wetlands Approval
- Engineering & Legal Review Fee of \$2,000

#### **INFORMATION STILL NEEDED:**

- Public Health Approval
- Project Narrative/Statement of Use
- Drainage Report
- An affidavit for the posting of the public hearing sign
- E&S Cost Control Bond Estimate
- Site Improvements Bond Estimate

#### **STAFF ANALYSIS**

The plans appear to meet Town Regulations if the following items are adequately addressed and may require additional information:

- Lighting Detail (fixtures & cut sheets) and Isometric map/lighting plan needs to be submitted.
- A Landscaping Plan needs to be submitted.
- The plan needs to show a dumpster location with required screening.
- Section 16A.3.x. - Buildings and Structures: Architectural and Design Requirements & Section 16B.4.1. - Architectural Character, Historic Preservation, Site Design. The

Commission needs to determine if the design of the proposed building is adequate to meet these standards.

## STAFF RECOMMENDATION

The staff has determined that:

- the application is complete
- the application still needs to address some regulations and engineering concerns
- the use is in keeping with the zone in which it is located.

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**From:** Joseph M. Dillon, P.E. [mailto:jdillon@nlja.com]  
**Sent:** Thursday, September 17, 2020 2:18 PM  
**To:** Carson, Patrice <pcarson@boltonct.org>  
**Cc:** Rupert, Jim <jrupert@boltonct.org>; Andrew Bushnell <abushnell@bushnellassociatesllc.com>  
**Subject:** Landie Site Plan Review

Patrice,

Attached is our review letter for the proposed Site Plan at 17 Wall Street (Landie Construction).

Regards,  
Joe

---

Joseph M. Dillon, P.E.



**Nathan L. Jacobson & Associates**

*Consulting Civil and Environmental Engineers Since 1972*

86 Main Street, P.O. Box 337, Chester, Connecticut 06412-0337

Tel: 860.526.9591 • Fax: 860.526.5416

[www.nlja.com](http://www.nlja.com) • [jdillon@nlja.com](mailto:jdillon@nlja.com)



**Jacobson**

September 16, 2020

Ms. Patrice Carson, AICP  
Director of Community Development Town  
Office Building  
222 Bolton Center Road  
Bolton, CT 06043

Re: Landie Construction  
17 Wall Street  
Site Plan Review  
NLJA #0968-0044

Dear Ms. Carson:

As requested, we have reviewed the following information received for the subject project at our office through September 8, 2020:

Item 1: Set of two (2) drawings entitled "Plan Prepared for Landie Construction, 17 Wall Street, Bolton, CT, scales as noted, dated 02-02-20, last revised 09-01-20, prepared by Bushnell Associates, LLC.

The subject application proposes for construct a garage/office building on the property with associated stormwater measures.

We have the following comments:

1. Provide a pre and post development hydrologic analysis for the site.
2. Design calculations should be provided for the proposed drainage system. The system should be designed out to the existing outlet along Notch Road Extension.
3. All proposed drainage structures shown on the site plan should include invert and top of frame elevations.
4. Proposed grading should be shown for the enhanced wetland / sediment basins and the stormwater management swale. Additionally, proposed grades for the site should be extended around the west side of the proposed building and include the stockpile areas.
5. While the proposed limits of clearing along the west shoulder of Notch Road provides the proper horizontal sight line, it appears that the existing grade through the area will block the vertical component of the sight line. We would recommend that a vertical profile be generated for the area. Additionally, the site plan should show proposed grades along the shoulder.

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**Nathan L. Jacobson & Associates, Inc.**  
Nathan L. Jacobson & Associates, P.C. (NY)  
86 Main Street P.O. Box 337 Chester, Connecticut 06412-0337  
Tel 860.526.9591 Fax 860.526.5416

Consulting Civil and Environmental Engineers Since 1972



Jacobson

Ms. Patrice Carson, AICP  
Director of Community Development

Re: Landie Construction  
17 Wall Street  
Site Plan Review  
NLJ #0968-0044

September 16, 2020  
Page 2 of 2

6. We would recommend that a no left turn sign be placed at the site exit drive to discourage left turn movements out of the site.
7. Sediment and erosion control measures should be shown on the site plan.
8. A north arrow should be placed on the site plan.

Should you have any questions, please feel free to contact our office.

Very truly yours,

NATHAN L. JACOBSON & ASSOCIATES, INC.

Joseph M. Dillon, P.E.

JMD:jmd

cc: James Rupert  
Andrew Bushnell  
File

**From:** Tom Fiorentino [mailto:[tsf@pfwlaw.com](mailto:tsf@pfwlaw.com)]  
**Sent:** Tuesday, October 13, 2020 1:33 PM  
**To:** Carson, Patrice <[pcarson@boltonct.org](mailto:pcarson@boltonct.org)>  
**Cc:** Bill Philips <[Bill@landieconstruction.com](mailto:Bill@landieconstruction.com)>  
**Subject:** RE: Wm. Phillips/ quarry application

Patrice

Thanks for taking care of this. Bill will be at the meeting.

Tom

Thomas S. Fiorentino  
Fiorentino, Howard & Petrone PC  
773 Main Street  
Manchester, CT 06040  
Tel: 860-643-1136 x 323  
Fax: 860-643-5773

**From:** Carson, Patrice <[pcarson@boltonct.org](mailto:pcarson@boltonct.org)>  
**Sent:** Tuesday, October 13, 2020 1:31 PM  
**To:** Tom Fiorentino <[tsf@pfwlaw.com](mailto:tsf@pfwlaw.com)>  
**Subject:** RE: Wm. Phillips/ quarry application

Dear Tom,

Thank you for your request. The PZC will see this correspondence prior to the meeting and will open the public hearing and continue it to November 18<sup>th</sup> which is the next regularly scheduled PZC meeting. As we discussed, I would have someone present at the meeting in case there is some question from the Commission.

Thank you,

Patrice

*Patrice L. Carson, AICP  
Consulting Director of Community Development  
Town of Bolton  
860.359.1454*



**From:** Tom Fiorentino [<mailto:tsf@pfwlaw.com>]  
**Sent:** Tuesday, October 13, 2020 12:56 PM  
**To:** Carson, Patrice <[pcarson@boltonct.org](mailto:pcarson@boltonct.org)>  
**Subject:** Wm. Phillips/ quarry application

Dear Patrice

I have recently been retained to represent Bill Phillips with regard to the pending zoning application related to the Notch Rd./ Quarry property. Bill has learned that residents of the Cook Drive neighborhood have expressed concerns about the site and the proposed usage.

On Bill's behalf, I am respectfully requesting that the hearing scheduled for October 14, 2020, be continued to the next available date.

We will use this additional time to meet with the neighbors in an effort to address their concerns.

Thank you for your assistance.

Tom

Thomas S. Fiorentino  
Fiorentino, Howard & Petrone PC  
773 Main Street  
Manchester, CT 06040  
Tel: 860-643-1136 x 323  
Fax: 860-643-5773

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## **Agenda for October 14<sup>th</sup> Planning & Zoning Meeting**

**Topic:** Re-zoning of 10-12 Quarry Rd.

- 1.** Discuss the zoning regulations on Quarry Rd (current designation, current businesses)
- 2.** Investigate changes that may have occurred in the past 40 years (since purchase)
- 3.** Request for change of GB district on 10 quarry rd. + abutting property (12 quarry rd.) to be switched to RMUZ (Rural Multi Use Zoning). This change allows for a smoother transition between business and residential on Quarry Rd.
- 4.** Request to become compliant as 10 Quarry Rd has two office locations and one small residential property. Request for special permit to allow this arrangement to continue to be permitted on record.



# Town of Bolton

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222 BOLTON CENTER ROAD • BOLTON, CT 06043  
TELEPHONE (860) 649-8066 FAX (860) 643-0021

TO: Adam Teller, Planning & Zoning Commission Chair  
CC: All Planning & Zoning Commissioners  
FROM: Joshua Steele Kelly, Administrative Officer  
DATE: October 9, 2020  
SUBJECT: 8-24 Referral: Purchase of Property at 214 Bolton Center Road for Relocation of Town Office Space

Dear Chair Teller,

As you and your colleagues on the Commission are likely aware, the Town has been facing severe structural issues at the Notch Road Municipal Center, where our Finance Department and Registrars of Voters are currently housed. The Center is in such a state of disrepair that it would likely be as costly to repair that structure than it would be to either construct a new office facility and likely more costly than it would be to acquire other pre-built office facilities.


This issue, along with several other space issues in Town Hall, have pushed the Board of Selectmen to ponder the question of how to best expand Town facilities ad nauseam in the past several years, and the Board now has a proposal to resolve many of the issues at hand.

The proposal is to purchase 214 Bolton Center Road, which was placed on the market by the property owners in September. The building is located at the corner of Bolton Center Road and Toomey Road, immediately across Toomey Road from the current Resident State Troopers Office at 220 Bolton Center Road. The acquisition of this property would allow the Town to find a new, safe home for the offices currently located at Notch Road Municipal Center, it would allow us to hold another property in the center of town that can help with the Town's goals for greater connectivity and civic engagement, and it will help keep the seat of government in Bolton in the town's center, as is suggested should be done in the Town's most recent Plan of Conservation & Development.

In case the Commission is interested in more details about the building itself and the purchase process: the house itself contains six distinct areas that I believe can be used as private offices as well as another two larger rooms that could be used either for community meeting rooms or for more office space. In order to ensure that we could meet building codes and use this property to

the full extent possible, the Town has engaged a structural engineer and an architect to help us review the property prior to purchase, and the sale of the property is contingent on the second floor being able to be load-bearing in conformance with the building code (or to be able to be brought up to compliance with relatively low cost), and as I am writing this letter I am currently awaiting the arrival of that review from the structural engineer. I hope to have that and any accompanying estimates for improvement prior to your meeting on Wednesday, October 14<sup>th</sup>, and I will share that information and more in a presentation that I prepare for you and your fellow commissioners. Regarding the financing, the Board of Finance will review the Board of Selectmen's proposal for funding today (Thursday, October 8<sup>th</sup>), and, if the project is seen favorably, the final funding determination will be made at Special Town Meeting on Thursday, October 15<sup>th</sup>.

In order to accomplish all our goals and to do so in a timely manner, I ask that the Planning & Zoning Commission conduct an 8-24 review of the property at 214 Bolton Center Road and to consider a recommendation of approval of this proposed acquisition at your meeting on Wednesday, October 14, 2020.

Respectfully submitted,  


Joshua Steele Kelly  
Town Administrative Officer

**From:** Tom Revall [mailto:[trevall@ablecoil.com](mailto:trevall@ablecoil.com)]  
**Sent:** Wednesday, October 07, 2020 6:36 AM  
**To:** Carson, Patrice <[pcarson@boltonct.org](mailto:pcarson@boltonct.org)>  
**Cc:** Rupert, Jim <[jrupert@boltonct.org](mailto:jrupert@boltonct.org)>; Heckman, Randy <[rheckman@boltonct.org](mailto:rheckman@boltonct.org)>  
**Subject:** FW: status

Patrice,

We would like to formally request release of the:  
Site Improvement Bond (Letter of Credit from People's United Bank) in the amount of \$110,282  
Erosion & Sedimentation deposit in the amount of \$26,160 (plus any interest)

We believe we have fully complied with all requirements.

Thank you,

Tom Revall

**From:** Steven Rockefeller <[srockefeller@ablecoil.com](mailto:srockefeller@ablecoil.com)>  
**Sent:** Wednesday, September 30, 2020 10:33 AM  
**To:** Rupert, Jim <[jrupert@boltonct.org](mailto:jrupert@boltonct.org)>  
**Cc:** Carson, Patrice <[pcarson@boltonct.org](mailto:pcarson@boltonct.org)>; Heckman, Randy <[rheckman@boltonct.org](mailto:rheckman@boltonct.org)>; Andrew Bushnell <[abushnell@bushnellassociatesllc.com](mailto:abushnell@bushnellassociatesllc.com)>; Tom Revall <[trevall@ablecoil.com](mailto:trevall@ablecoil.com)>  
**Subject:** RE: status

Hello Jim,

Thank you for your email. I appreciate the support. The sign has been installed and looks great. Andrew Bushnell said that the as-built will be done next week. Tom Revall will prepare and submit a request letter to release the bond funds this week. If you have any questions, feel free to contact me at the number listed below.

Best regards,

Steven Rockefeller  
President

Able Coil & Electronics Co., Inc.  
P.O. Box 9127  
25 Howard Road  
Bolton, CT 06043  
Email: [srockefeller@ablecoil.com](mailto:srockefeller@ablecoil.com)  
Tel: (860) 646-5686  
Fax: (860) 646-5678

Bolton Planning & Zoning Commission  
222 Bolton Center Road  
Bolton, CT 06043

Date: October 15, 2020  
To: Elizabeth Waters, Town Clerk  
From: Planning & Zoning Commission

Subject: **REGULAR PLANNING & ZONING COMMISSION MEETING DATES FOR 2021**

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The following are the regular meeting dates scheduled for the Planning & Zoning Commission in 2020 which fall on the second Wednesday of every month:

January 13

February 10

March 10

April 14

May 12

June 9

July 14

August 11

September 8

October 13

November 10

December 8

Special meetings are scheduled as necessary and notified by posting an agenda at the Town Hall and on the Town Website.

All meetings begin at 7:30pm in the Town Hall Meeting Room unless otherwise notified and agendas are posted 24 hours prior to the meeting.