

**BOLTON PLANNING & ZONING COMMISSION**  
**Regular Meeting**  
**7:30 p.m., Wednesday, January 12, 2022**  
**Virtual Meeting**  
**Minutes & Motions**

**Members Present:** Chairman Tom Manning, Brittany Clark, Arlene Fiano, Thomas Robbins, Jeffrey Scala, and Alternates Tom Crockett and Rodney Fournier

**Members Excused:** Vice Chairman James Cropley, Jeremy Flick

**Staff Present:** Patrice Carson, AICP, Consulting Director of Community Development, Mike D'Amato, Interim Zoning Enforcement Officer, and Yvonne Filip, Recording Secretary.

**Others Present:** Marilee Manning

**1. Call to Order:** T. Manning called the meeting to order at 7:30 p.m.  
T. Crockett was seated for J. Cropley; R. Fournier was seated for J. Flick.

**2. Approval of Minutes: December 8, 2021 Regular Meeting Minutes**

Correction: Page 2, item c., first paragraph – add “(sic)” after “sixteen”.

**T. Crockett moved** to approve the minutes of the December 8, 2021, regular meeting as corrected. **J. Scala seconded.** Vote: 7-0-0. Motion passed.

**3. Residents' Forum:** No one wished to speak.

**4. Staff Reports:**

P. Carson reported:

- Approved applications – AllTown Fresh is in process and moving forward. They hope to be done by spring.
- Upcoming business/applications – Bolton Vet is getting closer to submitting an application that the Commission will see possibly in February. There has been a brief conversation with the engineer and informal back and forth with Staff.
- Anticipated legislation – There is nothing right now. What came out in the last round has been addressed through zoning regulation changes the Commission made in October 2021.
- Status of affordable housing plan – There is a survey out with an extended (because of the holidays) closing date of January 14. There will be a status update when the draft report is completed.
- Anticipated planning issues issued from the BOS or BOE – There are none at this time.

M. D'Amato reported:

- Approval for change of use for M&M Oil office space that was previously a barber shop.
- Has been working on a number of enforcement cases he has absorbed from Jim. Compliance has not happened for 1225 Boston Turnpike (Happy Town, LLC) and 17 Howard Road (Bolton Notch RV). Letters from the Town Attorney were issued to both businesses last week.
- Is working on the Affordable Housing Plan with Nick Tatro.

R. Fournier: What is the status of the Shoddy Mill Road property under enforcement? Staff was not aware of the status but believes nothing has changed.

## **5. Old Business:**

### **a. Discussion: Overhaul of Zoning Regulations and Subdivision Regulations**

T. Manning: Asked that this item be put on the agenda. The PZC had begun the process of going through the regulations line-by-line. It has gotten through the Definitions section. He would like to talk about taking a different approach. His suggested approach is to go back to the beginning and talk about the purpose of zoning and what it has come from. Is there a way for Bolton to do it better or differently? One example is the recent discussion on the number of houses on a cul-de-sac. Zoning regulations should try to ameliorate nuisances but not eliminate development. Bolton is primarily residential. People should be able to enjoy their residences and not be bothered by a neighbor. PZC had considered regulations for barking dogs; once the public hearing was held on the matter it was determined there would be no way to regulate this. For the kind of development, we are likely to get in Bolton there is a huge amount of regulated details. He would like to see higher density mixed-use zone and a lower density residential zone. The locations for mixed-used in Bolton is along Routes 85, 6, and 44. This approach would mean an overhaul of the zoning regulations.

P. Carson: The recently completed POCD, which is a reflection of what the community wants, does not currently support what T. Manning is suggesting. J. Scala stated that new development is likely to be on 2+ acres.

A. Fiano: Does not disagree with simplifying certain things in the regulations. Are there models of what T. Manning is talking about? Are there examples out there that towns are doing right now? Are there ways to adopt less rigid section after section after section to be more understandable and more developable? Are there models that would fit into the existing area? She is interested in knowing models and other things towns are using in order to keep the zones and yet have better zoning practices. J. Scala: Does not have a problem with mixed-use higher density. The controlling factors are going to be septic systems. How much more can we get than what we have? A. Fiano: Community septic system and wells are not the norm but they are alternatives. P. Carson: The non-availability of water was the issue with the Cider Mill property. Sewered areas in town are restricted. The sewer line was put in to protect the lake from effluent, not to allow additional density of residential development. J. Scala: Is additional discharge to a septic system beyond the available EDUs is allowed? P. Caron: Does not know the answer to that. M. D'Amato: This does work in towns with no infrastructure available. The town has to be in a place to be flexible and nimble. The market will demand what comes to Bolton, not the zoning regulations. T. Crockett: Does residential include single-family homes, apartments, condominiums, over-55 housing? P. Carson: Yes.

T. Manning: Is willing to do the research and bring in models and other ideas if the PZC is willing. J. Scala: Changes can be explored but we have to keep the physical constraints of Bolton in mind. He is not in favor of elderly housing because it is discriminatory. R. Fournier: Our elders make too much money to be eligible for such housing.

**b. Other:** There was none.

## **6. New Business**

### **a. Appointment of Planning & Zoning Commission Alternate Member: To fill vacated 4-year term of Jeff Scala, term ending November 20, 2023**

**A. Fiano moved** to nominate Kawan Gordon to fill the Alternate vacancy term ending November 20, 2023, on the Commission. **J. Scala seconded** the nomination.  
**J. Crockett moved** that the nominations be closed. **A. Fiano seconded.** Vote: 7-0-0. Motion passed.  
**A. Fiano cast** the ballot for Kawan Gordon. Vote: 7-0-0. Motion passed.

**b. Discussion: Legislative Proposals From Desegregate Connecticut**

T. Manning said he is following their agenda. One proposal was to let municipalities consolidate their Land Use agencies. Bolton decided not to do this during the Charter Revision process.

**i. Transit-Oriented Development**

T. Manning stated that Bolton has the commuter lot.

**ii. Minimum Lot Area**

T. Manning stated this is to reduce or eliminate minimum lot area as was done with house sizes.

**c. Other:** There was none.

**7. Correspondence:** There was none.

**8. Adjournment:**

**T. Crockett moved to** adjourn the meeting at 8:18 p.m. **R. Fournier seconded.** Vote: 7-0-0. Motion passed.

Respectfully Submitted,

Yvonne B. Filip

Yvonne B. Filip, Planning & Zoning Commission Recording Secretary

*Please see minutes of subsequent meetings for approval of these minutes and any corrections hereto.*



## PL-22-2

Planning Permit

**Status:** Active

**Date Created:** Feb 2, 2022

### Applicant

Nathaniel Fleming  
nflaming@fedusengineering.com  
70 ESSEX STREET  
Mystic , CT 06355  
8024406130

### Location

271 HOP RIVER RD  
BOLTON, CT 06043

### Owner:

IMS Petroleum, LLC  
271 HOP RIVER RD BOLTON, CT 06043

### Permit Info

#### Permit For

Special Permit Application

#### Building Type

Commercial

#### Development Title

271 Hop River Road

#### Occupancy Type

Commercial

#### Project Cost

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### Project Description

An existing auto repair shop to be converted into a convenience store. Existing debris areas on the site to be cleaned and removed.

#### Is this a modification of a previously approved application?

No, this is a new application.

### Comments

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### Additional Applicant Info

#### Applicant Type

Other

#### Application Contact Name

Nathaniel Fleming

### Additional Project Info

#### Date of Receipt

--

#### Hearing Not Required

**Legal Notice Date 1**

--

**Legal Notice Date 2**

--

**Hearings Commencement Deadline**

--

**Hearings Completion Deadline**

--

**Decision Deadline**

--

**Extended**

**Existing Gross Sqft**

--

**Proposed Gross Sqft**

--

**Existing Parking Spaces**

--

**Proposed Parking Spaces**

22

**Total Acreage / Sqft**

639,104

**Linear Feet of Frontage**

180

**Distance to Town Line**

--

**Parcels Included in Project**

<b>MBL / Parcel ID</b> 8/108	<b>Land Records: Vol.</b> 185
<b>Land Records: Page</b> 947	

**Internal Use**

**Conditions**

--

**Petition Received?**

--

**Date of Newspaper Publication for Public Hearing**

--

**Date of Newspaper Publication of Planning and Zoning Commission Action**

--

**Summary of Planning and Zoning Commission Action**

--

**Bond Required?**

--

**Legal/Technical Review NOT Required**

**Date of Planning and Zoning Commission Action**

--

**Date Application Received by Inland/Wetlands Commission (if applicable)**

--

**Date in Inland/Wetlands Commission Action (if applicable)**

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**Construction Progress**

**Construction Progress**

0

**Time Spent (hrs)**

0

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**Setbacks**

**Front Required**

35

**Front Provided**

50.3

**Back Required**

30

**Back Provided**

1,088.7

**Left Required**

10

**Left Provided**

40.8

**Right Required**

10

**Right Provided**

84.2

**Open Space Required**

20

**Open Space Provided**

--

**Lot Coverage Required**

15

**Lot Coverage Provided**

0.8

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**Engineer Information**

**Company Name**

--

**Engineer Name**

--

**Address**

--

**City**

--

**State**

--

**Zip**

--

**Phone**

--

**Registration #**

--

**Insurance Expiration**

--

**AOR**

--

**Email**

gfredus@fredusengineering.com

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**Architect Information**

**Company Name**

**Architect Name**

--

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**Registration #**

**License Expiration**

--

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**Address**

**City**

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--

**State**

**Zip**

--

--

**Phone**

**Email**

--

--

**AOR**

--

**Attorney Info**

**Name**

**Address**

--

--

**City**

**State**

--

--

**Zip**

**Phone**

--

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**Email**

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**Zoning Site Plan and Special Permit Checklist**

**All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities**  
Not Included

**Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate**  
Included

**Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction**  
Included

**Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection**  
Included

**Copies of any required applications to other local, state or federal regulatory approvals**  
Included

**Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)**  
Included

**List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)**  
Included

**List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets**

Not Included

**Digital copy of plans in DXF or DGN format if available**

Not Included

**Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and**

Not Included

**14 sets of complete stamped and signed site plans measuring 24" x 36**

Included

**A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners**

Included

**Names of abutting lot owners**

Included

**USDA Soils boundaries and types**

Not Included

**Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton**

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**All plan sheets numbered with the format "sheet x of y"**

Included

**Clear legible plans with all lines, symbols and features readily identifiable**

Included

**North arrow on each plan including the reference meridian**

Included

**Graphic bar scale on each plan sheet, not smaller than 1"= 40' unless otherwise approved by the Commission**

Included

**Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1"=40'**

Included

**Key map at a scale of 1"= 500' showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500' of site**

Included

**Original and revision plan dates and revision explanations shown on the affected plan sheets**

Included

**Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan**

Included

**Existing and proposed structures and features, their uses and those to be removed, shown on the plan**

Included

**HVAC equipment located outside the building(s)**

Not Included

**Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan**

Included



**Sight distances from property entrances along public roads shown on plan and on profile if grading is needed**

Not Included

**Soil test locations and soil test results shown on plan**

Included

**Existing and proposed sewage disposal systems and design information, shown on plan**

Included

**Outside Storage Areas\**Field

Included

**Underground / overhead utilities, existing and proposed**

Included

**Existing and proposed water supply shown on plan**

Included

**Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan**

Included

**Existing and proposed footing drains, curtain drains and dry wells, shown on plan**

Included

**Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.**

Included

**Existing and proposed bridges and culverts on or adjacent to the site, shown on plan**

Not Included

**Existing and proposed signs with dimensions and construction detail drawings, shown on plan**

Not Included

**Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan**

Included

**Zoning district boundaries affecting the site, shown on plan**

Included

**Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building**

Included

**Table on plan of parking / loading spaces required / provided**

Included

**Fire lanes**

Not Included

**New Sidewalks and other pedestrian ways**Field

Not Included

**Off-site traffic improvements**

Included

**Limits of wetlands as delineated by a certified soil scientist with the soil scientist's signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet**

Included

**Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan**

Not Included

**Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices**

Not Included

**Existing trees of 6" caliper or greater**

Not Included

**Significant archaeological sites**

Not Included

**Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type**

Not Included

**Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control**

Included

**Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional**

Not Included

**Architectural elevation drawings of proposed buildings**

Included

**Architectural floor plans of existing and proposed buildings**

Included

**Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features**

Not Included

**Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.**

Not Included

**Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events**

Not Included

**Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events**

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**Statement in drainage report that the after development flows for all storm events do not exceed the before development flows**

Not Included

**Sanitary Waste Disposal Plan (if community sewerage system)**

Not Included

**Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2**

Not Included

**Certified copy of Certificate of Public Convenience and Necessity in connection with a “water company”, in accordance with CGS, Section 8-25a**

Not Included

**Existing and proposed Covenants or Restrictions**

Not Included

**Engineer’s itemized cost estimate for the installation of all erosion and sediment controls based on published Connecticut DOT unit prices**

Not Included

**Engineer’s itemized cost estimate for public improvements based on published Connecticut DOT unit prices as basis for the establishment of a performance bond.**

Not Included

**Engineer’s itemized cost estimate in connection with any restoration guarantee required pursuant to Section 12**

Not Included

**Application Submission and Certification**

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.





**Electronic Signature**

Nathaniel Fleming  
02/02/2022

**Applicant Name**





Nathaniel Fleming

**Attachments**

-  Payment Receipt - Septic Review.pdf  
Uploaded by Nathaniel Fleming on Feb 2, 2022 at 3:23 pm
-  21-000985 - Bolton - 271 Hop River Road - Asif Choudrey - Site Plan - Planning and Zoning Rev. 3.pdf  
Uploaded by Nathaniel Fleming on Feb 2, 2022 at 3:25 pm
-  21-000985 - Bolton - 271 Hop River Road - Asif Choudrey - A2 and Class D Survey.pdf  
Uploaded by Nathaniel Fleming on Feb 2, 2022 at 3:24 pm
-  21-000985 - Bolton - 271 Hop River Road - Asif Choudrey - Abutters List 500'.pdf  
Uploaded by Nathaniel Fleming on Feb 2, 2022 at 3:25 pm



IMG\_3620.jpg  
Uploaded by Nathaniel Fleming on Feb 2, 2022 at 3:27 pm



-  NCPhaseIA App 2021-0194.pdf  
Uploaded by Nathaniel Fleming on Feb 2, 2022 at 3:29 pm
-  Bolton - 271 Hop River Rd soil removal plan.pdf  
Uploaded by Danielle Palazzini on Feb 3, 2022 at 8:24 am
-  271HopRiver.LegalandTechRvwBond.Rcvd020322.pdf  
Uploaded by Danielle Palazzini on Feb 3, 2022 at 11:32 am
-  Signature Page.pdf  
Uploaded by Danielle Palazzini on Feb 4, 2022 at 7:33 am



## History

Date	Activity
Feb 2, 2022 at 12:50 pm	Nathaniel Fleming started a draft of Record PL-22-2
Feb 2, 2022 at 3:24 pm	Nathaniel Fleming added attachment 21-000985 - Bolton - 271 Hop River Road - Asif Choudrey - A2 and Class D Survey.pdf to Record PL-22-2
Feb 2, 2022 at 3:25 pm	Nathaniel Fleming added attachment 21-000985 - Bolton - 271 Hop River Road - Asif Choudrey - Abutters List 500'.pdf to Record PL-22-2
Feb 2, 2022 at 3:27 pm	Nathaniel Fleming added attachment IMG_3620.jpg to Record PL-22-2
Feb 2, 2022 at 3:29 pm	Nathaniel Fleming added attachment NCPHaseIA App 2021-0194.pdf to Record PL-22-2
Feb 2, 2022 at 3:29 pm	Nathaniel Fleming submitted Record PL-22-2
Feb 3, 2022 at 8:24 am	Danielle Palazzini added attachment Bolton - 271 Hop River Rd soil removal plan.pdf to Record PL-22-2
Feb 3, 2022 at 11:28 am	completed payment step Permit Fee on Record PL-22-2
Feb 3, 2022 at 11:28 am	approval step Application Review was assigned to Danielle Palazzini on Record PL-22-2
Feb 3, 2022 at 11:32 am	Danielle Palazzini added attachment 271HopRiver.LegalandTechRvwBond.Rcvd020322.pdf to Record PL-22-2
Feb 3, 2022 at 12:26 pm	Danielle Palazzini approved approval step Application Review on Record PL-22-2
Feb 3, 2022 at 12:26 pm	approval step Legal/Technical Review was assigned to Patrice Carson on Record PL-22-2
Feb 4, 2022 at 7:33 am	Danielle Palazzini added attachment Signature Page.pdf to Record PL-22-2
Feb 4, 2022 at 9:48 am	Danielle Palazzini added attachment 271 Hop River Road environmental status 2322.pdf to Record PL-22-2

## Timeline

Label	Status	Activated	Completed	Assignee	Due Date
 Permit Fee	Paid	Feb 2, 2022 at 3:29 pm	Feb 3, 2022 at 11:28 am	-	-
 Application Review	Complete	Feb 3, 2022 at 11:28 am	Feb 3, 2022 at 12:26 pm	Danielle Palazzini	-
 Legal/Technical Review	Active	Feb 3, 2022 at 12:26 pm	-	Patrice Carson	-
 Engineering Approval	Inactive	-	-	-	-
 Fire Marshal Approval	Inactive	-	-	-	-
 Planning Approval	Inactive	-	-	-	-
 Application Approval	Inactive	-	-	-	-
 Bond Received	Inactive	-	-	-	-
 Legal/Technical Review Release	Inactive	-	-	-	-

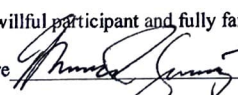
13. Project Engineer: \_\_\_\_\_  
 Address \_\_\_\_\_ Zip \_\_\_\_\_  
 Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ E-mail \_\_\_\_\_
14. Project Architect: \_\_\_\_\_  
 Address \_\_\_\_\_ Zip \_\_\_\_\_  
 Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ E-mail \_\_\_\_\_
15. Other Experts Retained by Applicant: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

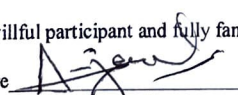
16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

17. Square footage of new / expanded space: \_\_\_\_\_ # of new parking spaces \_\_\_\_\_

18. List the Section(s) of the Zoning Regulations under which application is made: \_\_\_\_\_  
 \_\_\_\_\_

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

20. Applicant's Endorsement:  
 I am a willful participant and fully familiar with the contents of this application.  
 Signature  Date 2/3/22

21. Owner's Endorsement:  
 I am a willful participant and fully familiar with the contents of this application.  
 Signature  Date 2/3/22

**NOTE: If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.**

**Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.**

PLANNING & ZONING SUBMISSION  
**271 RIVER ROAD**  
 PROPOSED CONVENIENCE STORE  
 271 HOP RIVER ROAD, BOLTON - CONNECTICUT  
 APPLICANT:  
**IMS PETROLEUM, LLC**

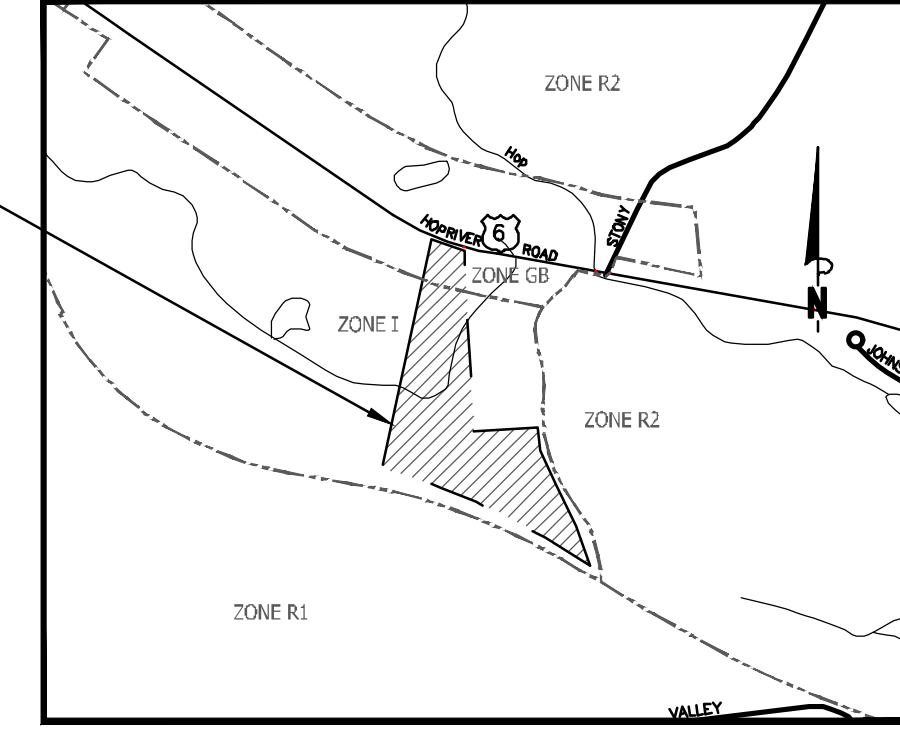
77 JOHNSON RD  
 N/F  
 JOHN & FEDERICA JOHNSON MEMORIAL CAMP, INC.  
 M/B/L: 8/110  
 V199/1095  
 MAILING ADDRESS  
 287 JAGGER LN  
 HEBRON, CT 06248

STEELES CROSSING ROAD  
 N/F  
 STATE OF CONNECTICUT/DEP  
 M/B/L: 8/112  
 V110/576  
 MAILING ADDRESS  
 79 ELM ST  
 HARTFORD, CT 06106

99 HOP RIVER RD  
 N/F  
 99 HOP RIVER RD, LLC  
 M/B/L: 8/107  
 V163/625  
 MAILING ADDRESS  
 407 1/2 LAUREL DR  
 FREINDSWOOD DR, TX 77546

TOOMEY RD  
 N/F  
 STATE OF CONNECTICUT  
 M/B/L: 12/87A  
 V47/1061  
 MAILING ADDRESS  
 79 ELM ST  
 HARTFORD, CT 06106

255 HOP RIVER RD  
 N/F  
 255 HOP RIVER RD, LLC  
 M/B/L: 8/105  
 V180/774  
 MAILING ADDRESS  
 255 HOP RIVER RD  
 BOLTON, CT 06403



Location Map  
 Scale: 1"=1000'  
 0 500 1000 2000

Legend	
EXISTING	
□	MONUMENT
○	EX. IP / REBAR
●	DRILL HOLE
⊕	UTILITY POLE W/ LIGHT
⊖	STONEWALL
⊗	FENCE LINE
⊚	WATER VALVE
—	OVERHEAD WIRES
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	INDEX CONTOUR
---	CONTOUR
WF-XX	WETLANDS BOUNDARY/FLAG
---	MEAN LOW WATER LINE
---	MEAN HIGH WATER LINE
---	HIGH TIDE LINE
---	COUNTY JURISDICTIONAL LINE
---	ZONE LINE
---	EASEMENT LINE
---	BUILDING SETBACK LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
N/F	NOW OR FORMERLY CATCH BASIN
(TYP.)	TYPICAL
5.8	SPOT ELEVATION
○	DRILL HOLE
(FOB)	POINT OF BEGINNING
TP1	TEST PIT
P1	PERCOLATION TEST
⊕	UTILITY POLE
⊖	DRAINAGE MANHOLE
⊚	SEWER MANHOLE
⊗	HYDRANT
⊚	WATER SHUTOFF
PROPOSED	
○	IRON PIN TO BE SET

**Project Description**  
 A EXISTING AUTO REPAIR SHOP TO BE CONVERTED INTO A CONVENIENCE STORE. EXISTING DEBRIS AREAS ON SITE TO BE CLEANED AND REMOVED. DEBRIS AREAS DEPICTED ON SITE PLAN ARE NOT LIMITED TO CLEAN UP AREAS.

SHEET LIST TABLE	
1 OF 4	COVER SHEET
2 OF 4	SITE PLAN
3 OF 4	DETAIL SHEET
4 OF 4	DETAIL SHEET

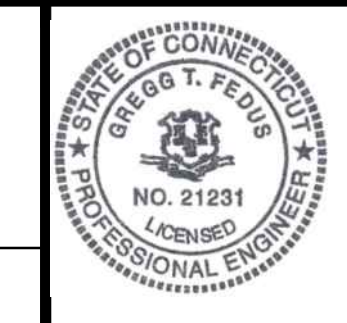
Subject Parcel Information	
OWNER:	IMS PETROLEUM, LLC
PARCEL ADDRESS:	271 HOP RIVER ROAD, BOLTON, CT 06043
MAILING ADDRESS:	271 HOP RIVER ROAD, BOLTON, CT 06043
MBL:	8/106
DEED:	VOLUME 185 PAGE 947
AREA:	639,104.1± SF = 14.6± AC
FLOOD ZONE:	ZONE X PER FIRM MAP # 09011C0228G
	EFFECTIVE DATE: 6/1/1981

NO.	DATE	REVISIONS
1	1/14/2022	GENERAL REVISIONS
2	1/14/2022	GENERAL REVISIONS
3	2/2/2022	GENERAL REVISIONS

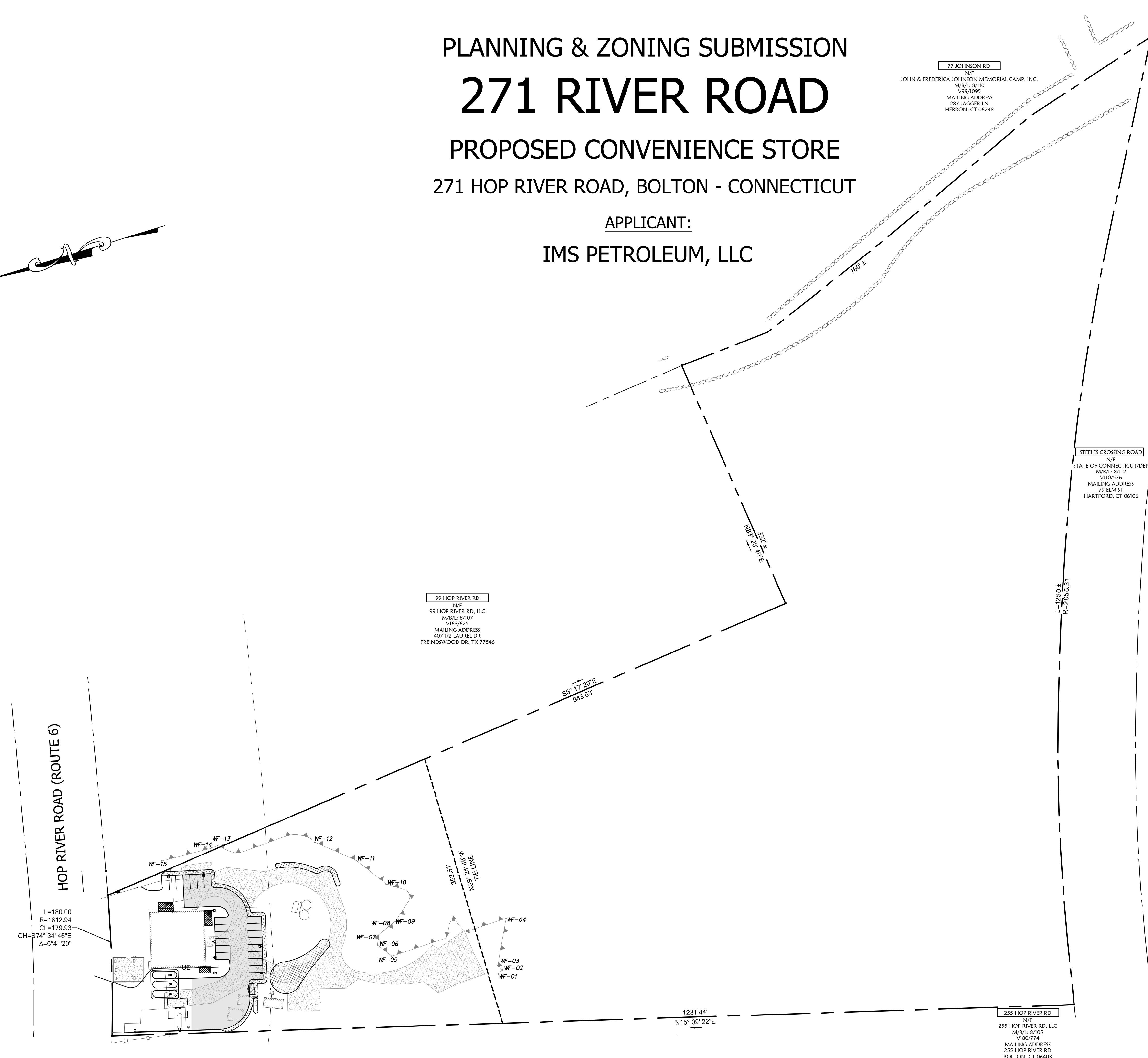
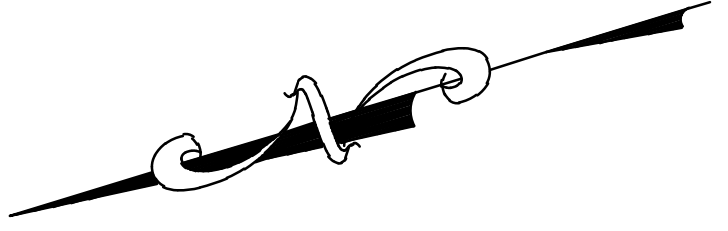
**Cover Sheet**  
 of  
**271 Hop River Road**  
**Bolton, Connecticut**  
 Prepared For:  
**IMS PETROLEUM, LLC**  
 January 3, 2022

DRAWING SCALE: 1"=20'  
 0 10 20 40

Gregg T. Fedus P.E.  
 CT. License No. 21231



**FEDUS ENGINEERING, LLC**  
 CIVIL ENGINEERS  
 Mailing Address: 70 Essex Street Mystic, Connecticut 06355  
 Office: (860) 536-7390 Fax: (860) 536-1644



HOP RIVER ROAD (ROUTE 6)

L=180.00  
 R=1812.94  
 CL=179.93  
 CH=S74° 34' 46"E  
 Δ=5° 41' 20"

S6° 17' 20"E  
 943.63

1231.44'  
 N15° 09' 22"E

35° 51'  
 NSP 24' 46" N  
 TIE LINE

L=1250 ±  
 R=2855.31

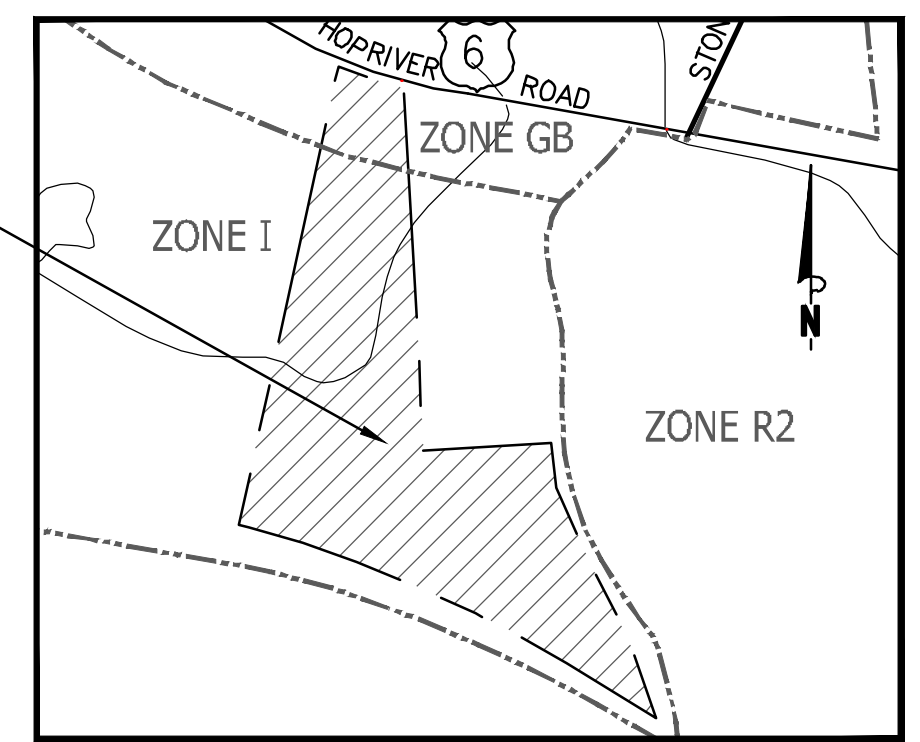
760 ±

163.2 ±  
 S22° 35' 01" E

GB ZONING REQUIREMENTS TABLE				
SECTION	REGULATION	REQUIREMENTS	EXISTING	PROPOSED
11C	MINIMUM LOT SIZE	40,000 SF	639,104 SF	639,104 SF
11C	MINIMUM LOT FRONTAGE	200'	180'*	180'*
11C	MINIMUM FRONT YARD	35'	50.3'	50.3'
11C	MINIMUM SIDE YARD	*	33.8' (E), 76.7' (W)	40.8' (E), 84.2' (W)
11C	MINIMUM REAR YARD	*	1,088.7'	1,088.7'
11C	MAXIMUM BUILDING HEIGHT	40'	< 45'	18.25'
11C	MINIMUM FLOOR AREA	600 SF	5,674 SF	5,024 SF
11C	MAXIMUM LOT COVERAGE	25%	1.1%	0.8%
11C	MAXIMUM IMPERVIOUS COVERAGE	65%	2.8%	4.9%
11J	MINIMUM LANDSCAPING IN GB	25% OF LOT	-	-

\* THE MINIMUM SIDE AND REAR YARD IN THE INDUSTRIAL ZONE SHALL BE 50 FEET WHERE ABUTTING A RESIDENTIAL ZONE (SEE § 11.1.K)  
 \*\*EXISTING NON-CONFORMING CONDITION

PARKING REQUIREMENTS				
SECTION	REGULATION	MAXIMUM REQ.	MINIMUM REQ.	PROPOSED
15-O	FREE STANDING RETAIL	5 PER 1,000 SF GROSS FLOOR AREA 5,024 SF x 5 PER 1,000 = 25.1	2 PER 1,000 SF GROSS FLOOR AREA 5,024 SF x 2 PER 1,000 = 10.1	22 SPACES

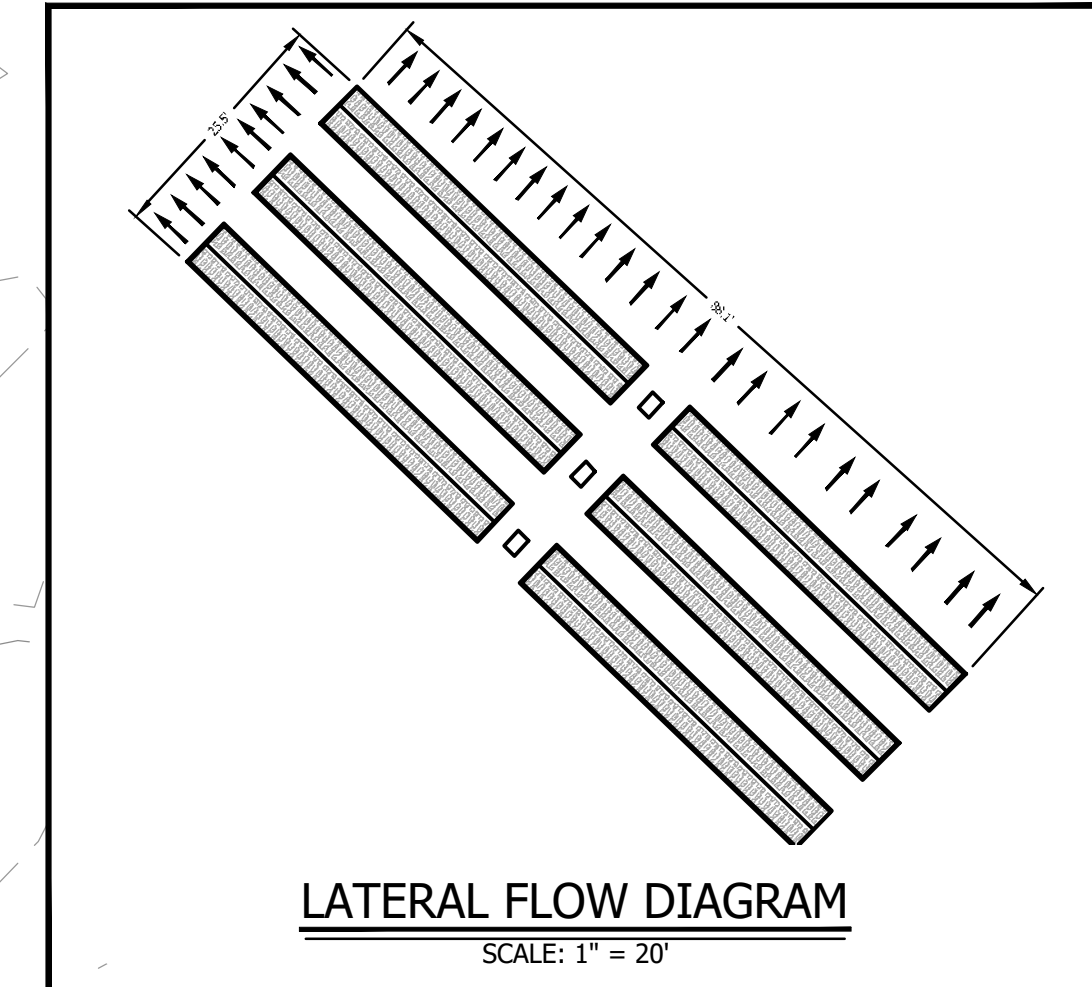


Location Map

Scale: 1" = 1000'  
 0 500 1000 2000

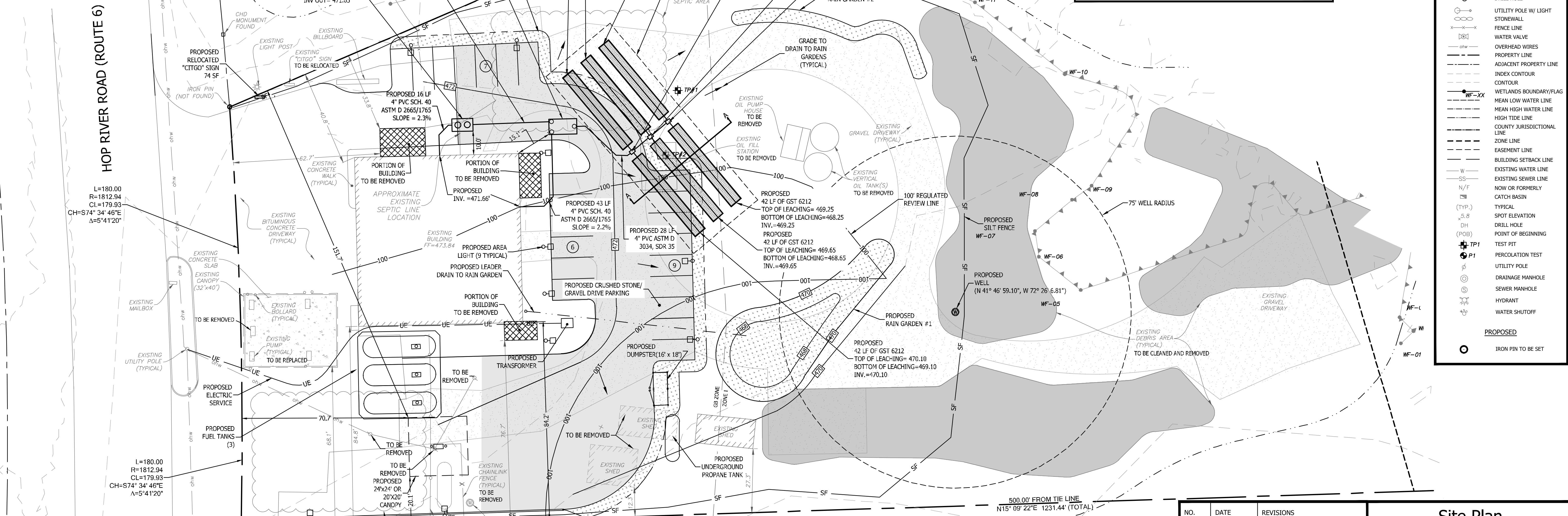
Legend

EXISTING	
SYMBOL	DESCRIPTION
□	MONUMENT
○	EX. IP / REBAR
●	DRILL HOLE
⊕	UTILITY POLE W/ LIGHT
⊖	STONEWALL
—	FENCE LINE
—	WATER VALVE
—	OVERHEAD WIRES
—	PROPERTY LINE
—	ADJACENT PROPERTY LINE
—	INDEX CONTOUR
—	CONTOUR
—	WETLANDS BOUNDARY/FLAG
—	MEAN LOW WATER LINE
—	MEAN HIGH WATER LINE
—	HIGH TIDE LINE
—	COUNTY JURISDICTIONAL LINE
—	ZONE LINE
—	EASEMENT LINE
—	BUILDING SETBACK LINE
—	EXISTING WATER LINE
—	EXISTING SEWER LINE
—	NOW OR FORMERLY CATCH BASIN
(TYP.)	TYPICAL
5.8	SPOT ELEVATION
⊕	DRILL HOLE
(POB)	POINT OF BEGINNING
⊕	TEST PIT
⊕	PERCOLATION TEST
⊕	UTILITY POLE
⊕	DRAINAGE MANHOLE
⊕	SEWER MANHOLE
⊕	HYDRANT
⊕	WATER SHUTOFF
PROPOSED	
○	IRON PIN TO BE SET



LATERAL FLOW DIAGRAM

SCALE: 1" = 20'



DEEP TEST PIT DATA / SOIL DESCRIPTIONS

PERFORMED BY: FEDUS ENGINEERING, LLC - GREGG FEDUS, P.E.  
 WITNESSED BY: EASTERN HIGHLANDS HEALTH DISTRICT  
 DATE: 8-12-21

TEST PIT: 1	TEST PIT: 2
0'-33" TOPSOIL FILL	0'-30" TOPSOIL FILL
33'-54" BROWN SANDY LOAM	30'-39" ORGANIC TOPSOIL
57'-66" RED BROWN SAND, WITH GRAVEL	39'-53" RED-BROWN SANDY LOAM
66'-95" BROWN SILTY SAND	53'-96" GRAVEL/BROWN SILTY LOAM
MOTTLES: 66"	MOTTLES: 53"
GROUNDWATER: 95"	GROUNDWATER: NO
LEDGE: NO	LEDGE: NO
ROOTS: NO	ROOTS: NO
RESTRICTIVE: 66"	RESTRICTIVE: NO

217 HOP RIVER ROAD - SEPTIC DESIGN DATA  
 RETAIL STORE DESIGN

5,040 SF RETAIL STORE = 5,040 SF x 0.1 GPD/SF = 504 GPD  
 DESIGN FLOW = 1,200 GPD  
 PERCOLATION TEST - USE LESS THAN 10.1 MIN/INCH  
 TABLE 7 PROBLEMATIC SEWAGE  
 REQUIRED ELA = DESIGN FLOW/APPLICATION RATE  
 1,200 GPD / 0.80 RATE = 1,500 SF  
 LEACHING TRENCH GST 6212 = 10.0 SF/LF  
 MINIMUM REQUIRED TRENCH = 150.00 LF  
 TRENCH PROVIDED = 246  
 EFFECTIVE LEACHING PROVIDED = 2,460 SF  
 MLSS = HF x FF x PF RS = 36"  
 HF = 28.0 HYDRAULIC GRADIENT = (471.19'-467.61')/72' = 4.97%  
 FF = 4.0  
 PF = 1.0  
 MLSS = 28 x 4.0 x 1.0 = 112 LF  
 PROVIDED 88 + 25 = 113 LF. NEEDED 112 LF OKAY WITH 2 SIDE LATERAL FLOW.

Subject Parcel Information

OWNER: IMS PETROLEUM, LLC  
 PARCEL ADDRESS: 271 HOP RIVER ROAD, BOLTON, CT 06403  
 MAILING ADDRESS: 271 HOP RIVER ROAD, BOLTON, CT 06403  
 MBL: 8/106  
 DEED: VOLUME 185 PAGE 947  
 AREA: 639,104.1± SF = 14.6± AC  
 FLOOD ZONE: ZONE X PER FIRM MAP # 09011C0228G  
 EFFECTIVE DATE: 6/1/1981

NO.	DATE	REVISIONS
1	1/14/2022	GENERAL REVISIONS
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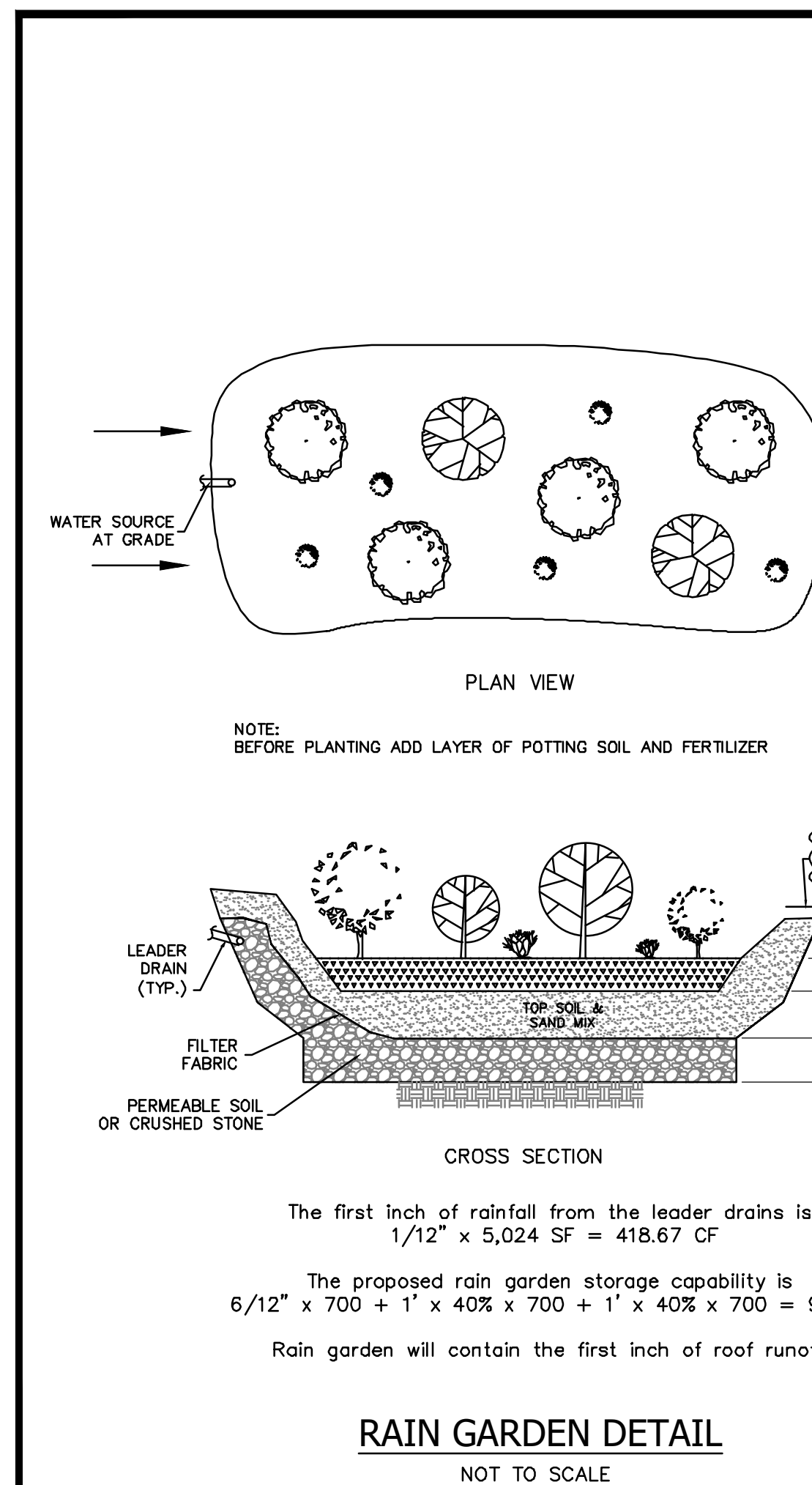
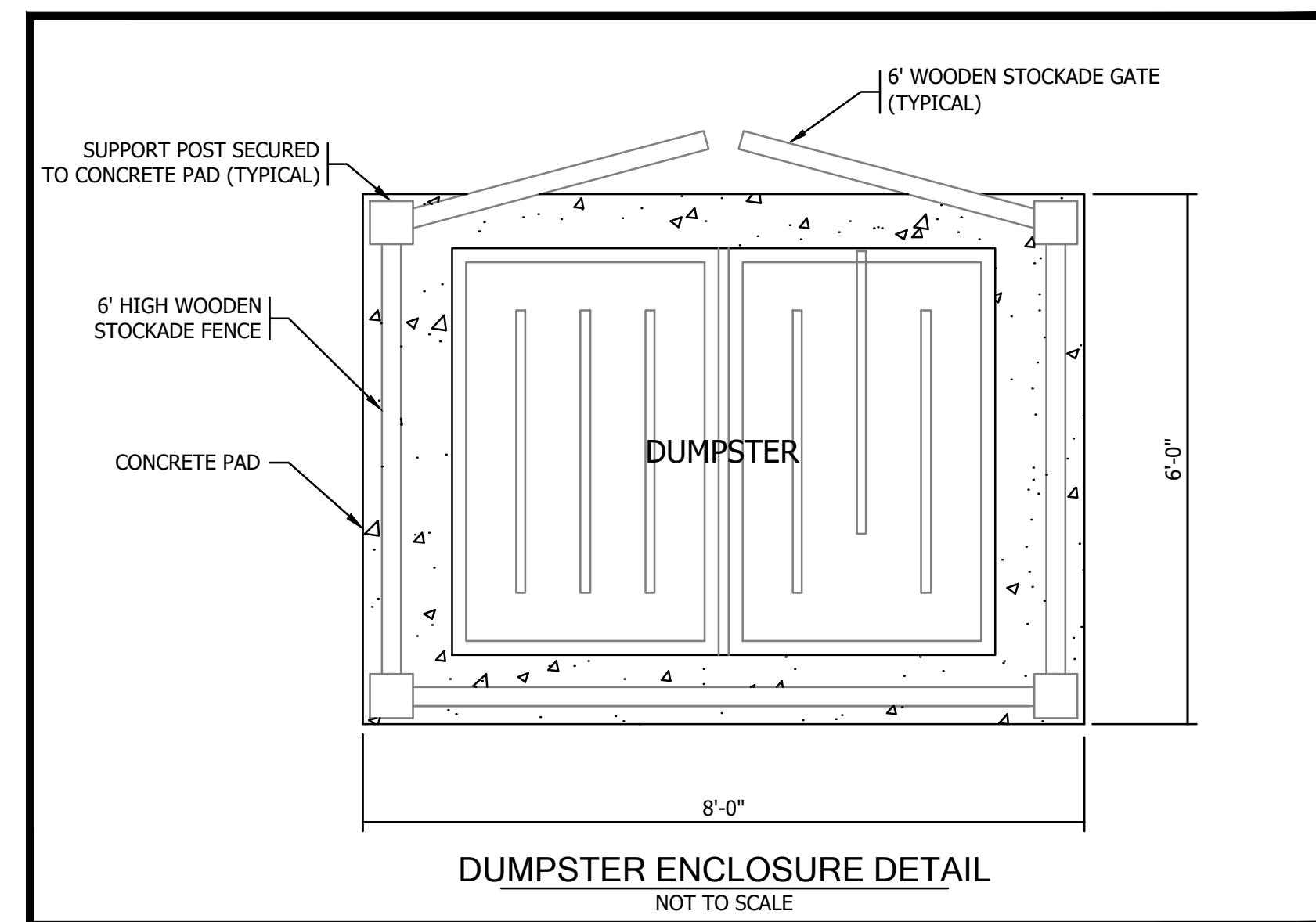
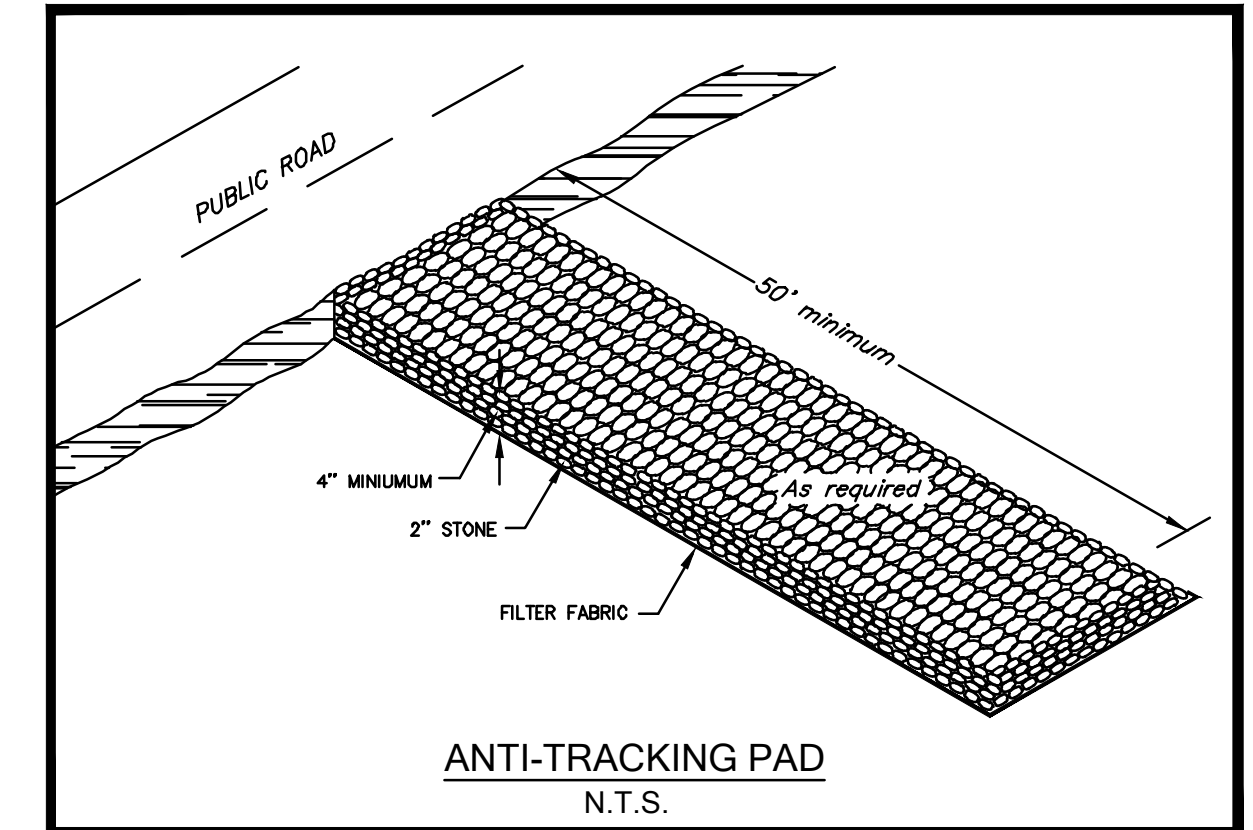
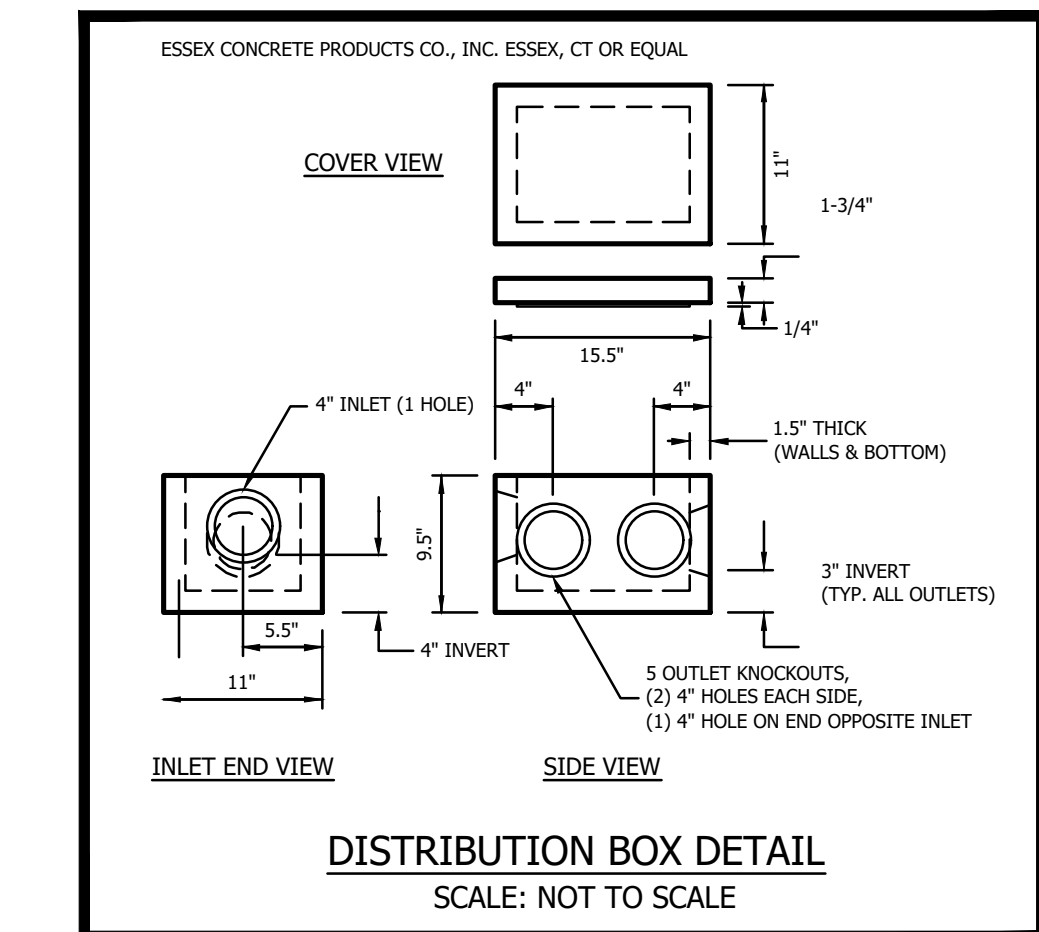
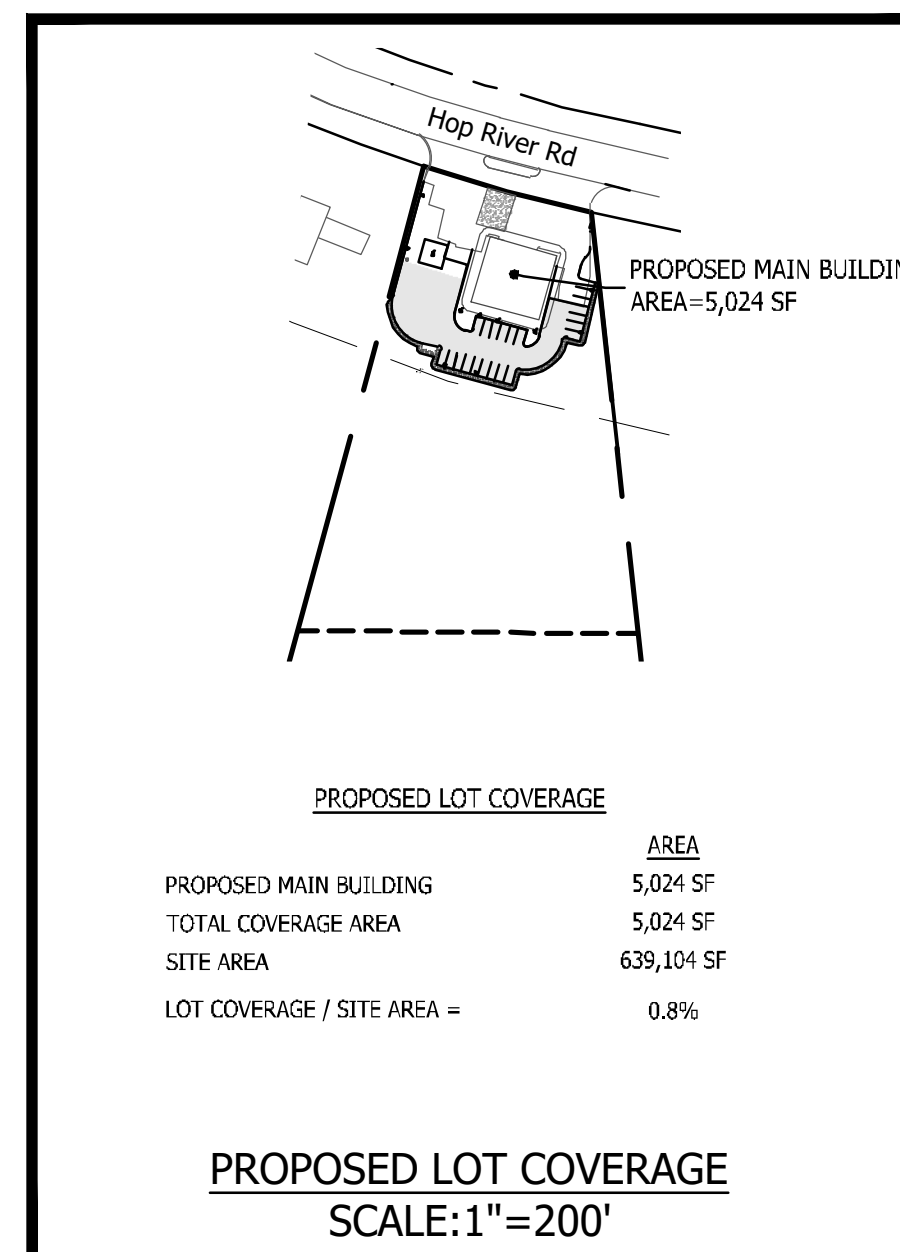
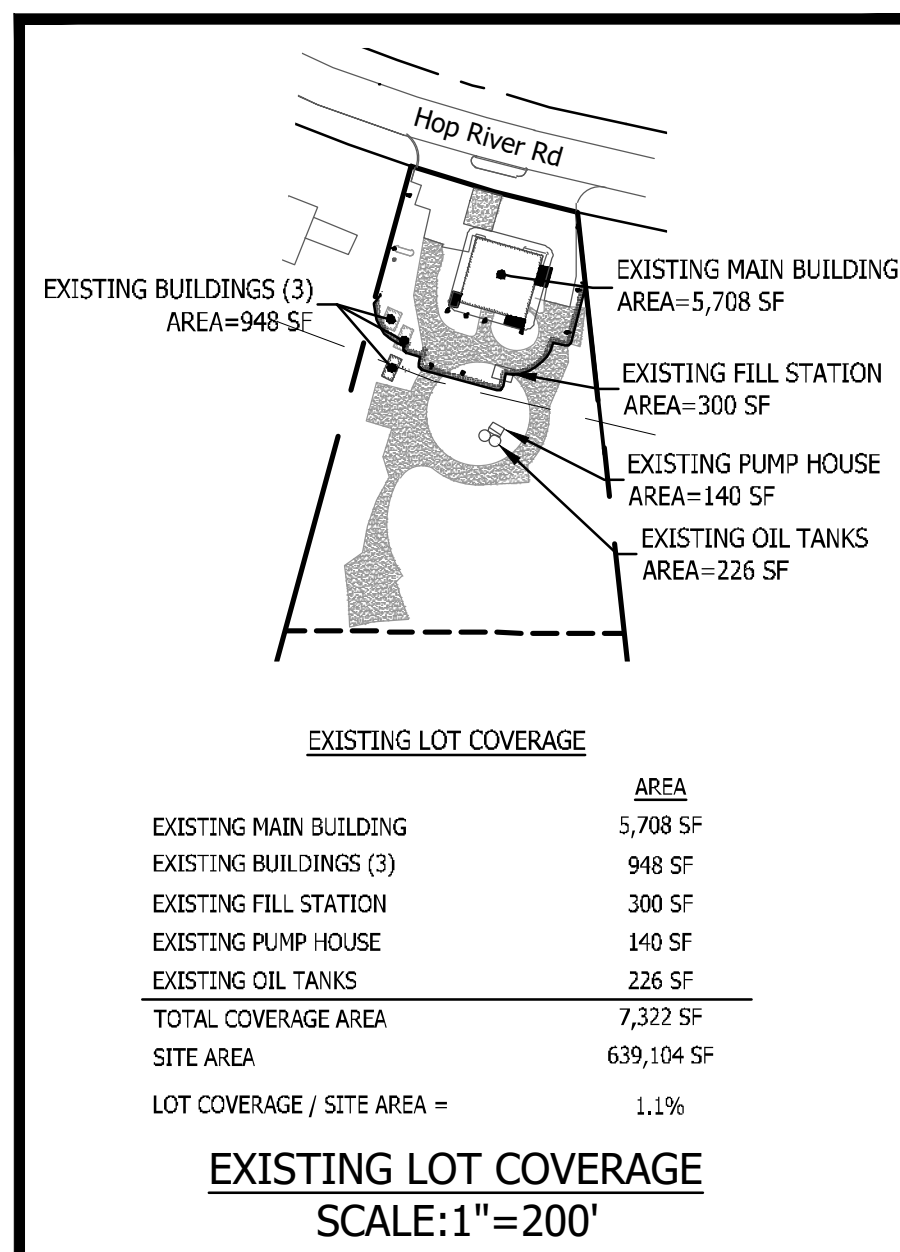
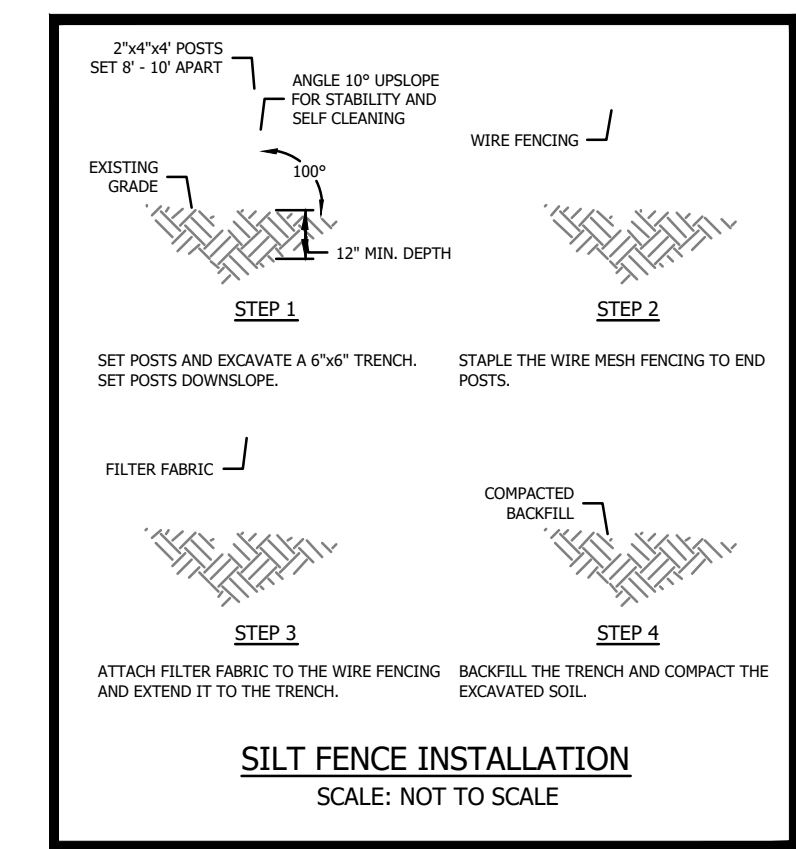
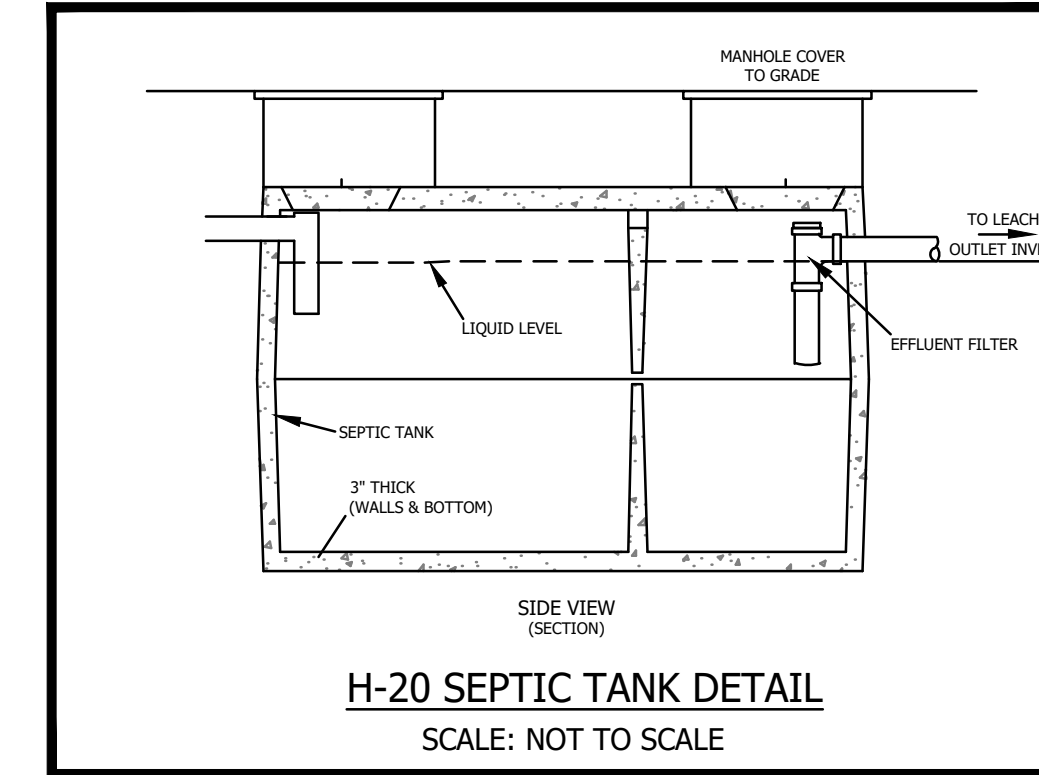
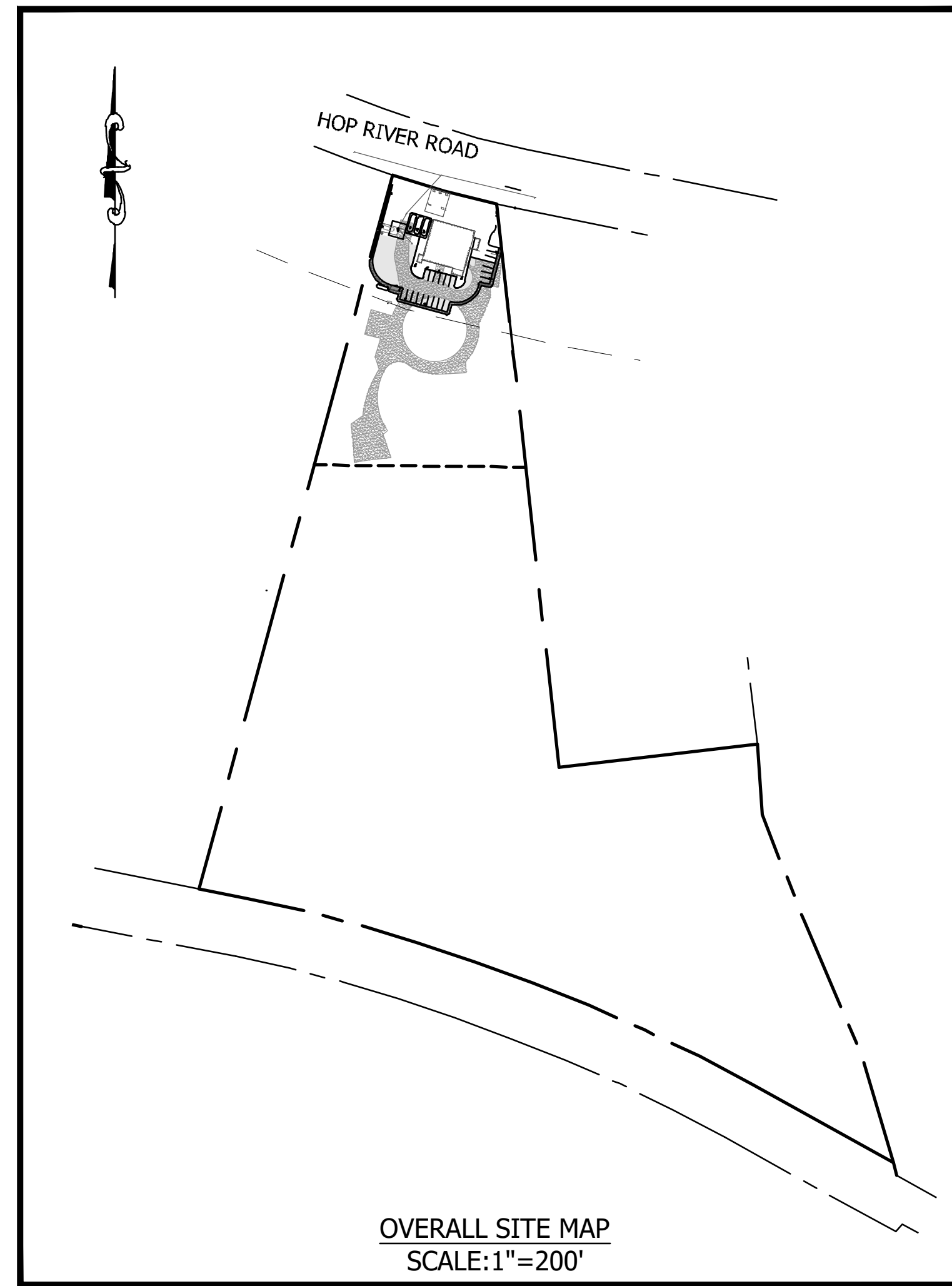
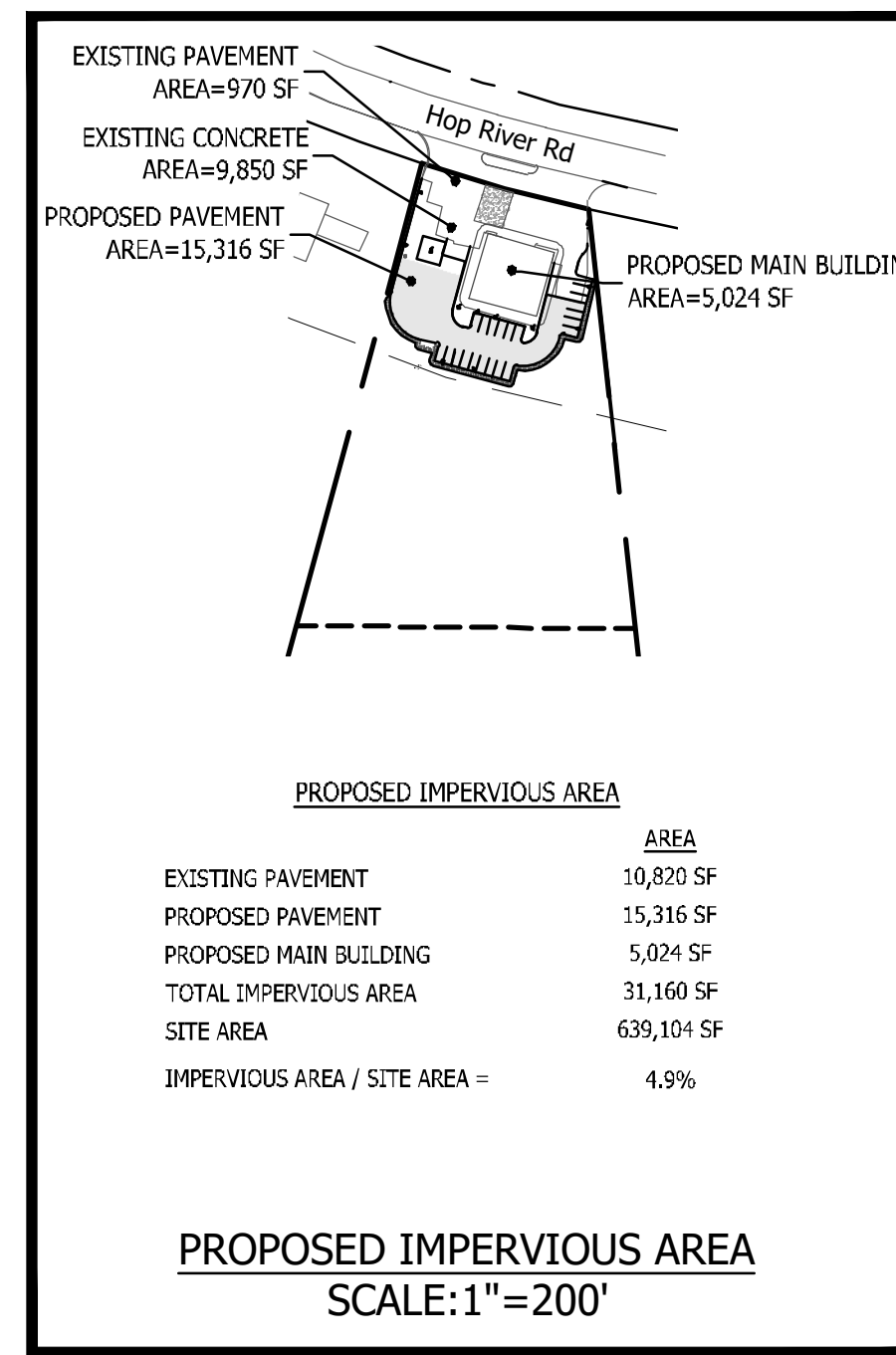
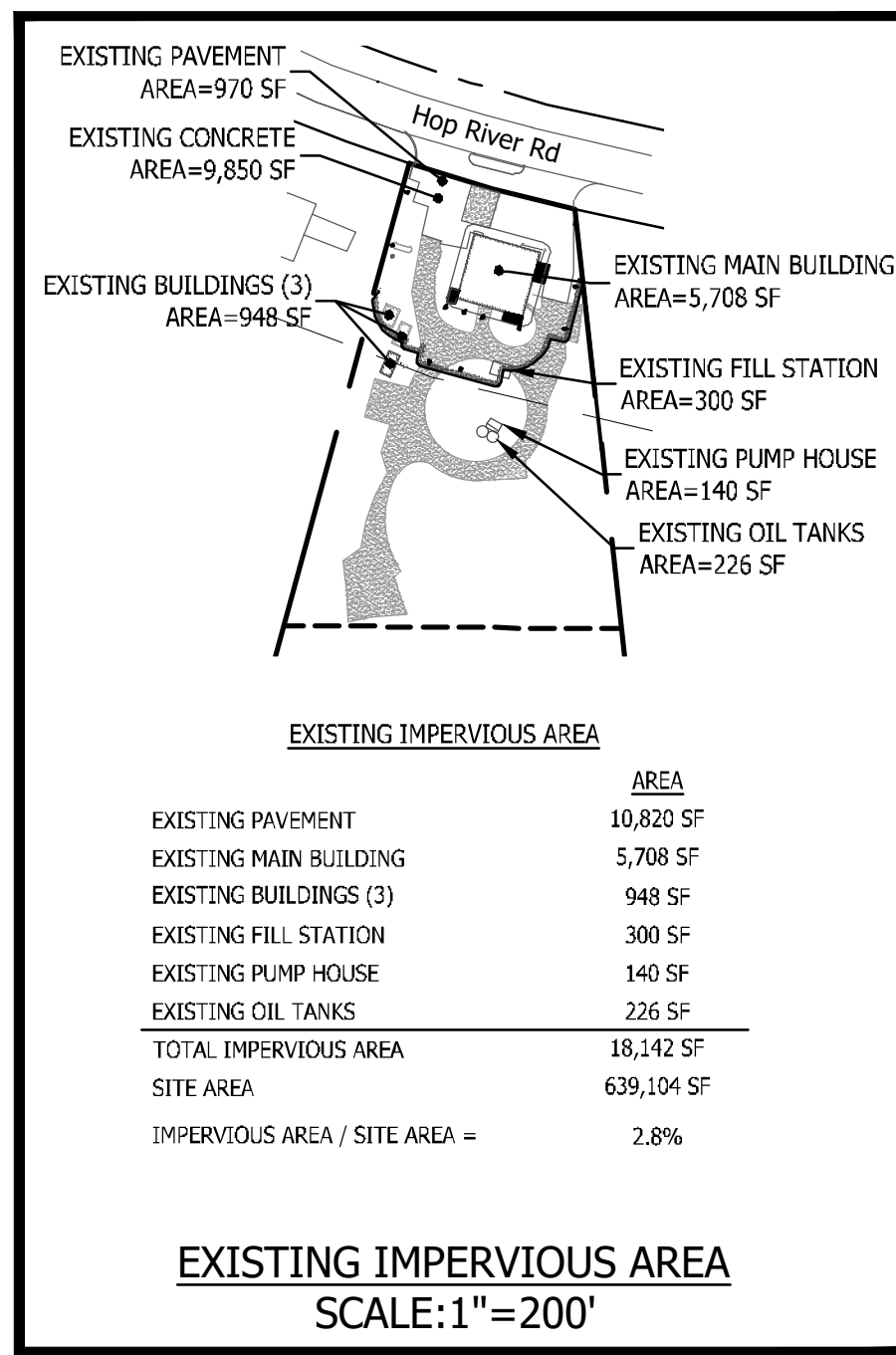
Site Plan

of  
 271 Hop River Road  
 Bolton, Connecticut  
 Prepared For:  
 IMS PETROLEUM, LLC  
 January 3, 2022

DRAWING SCALE: 1" = 20'  
 0 10 20 40

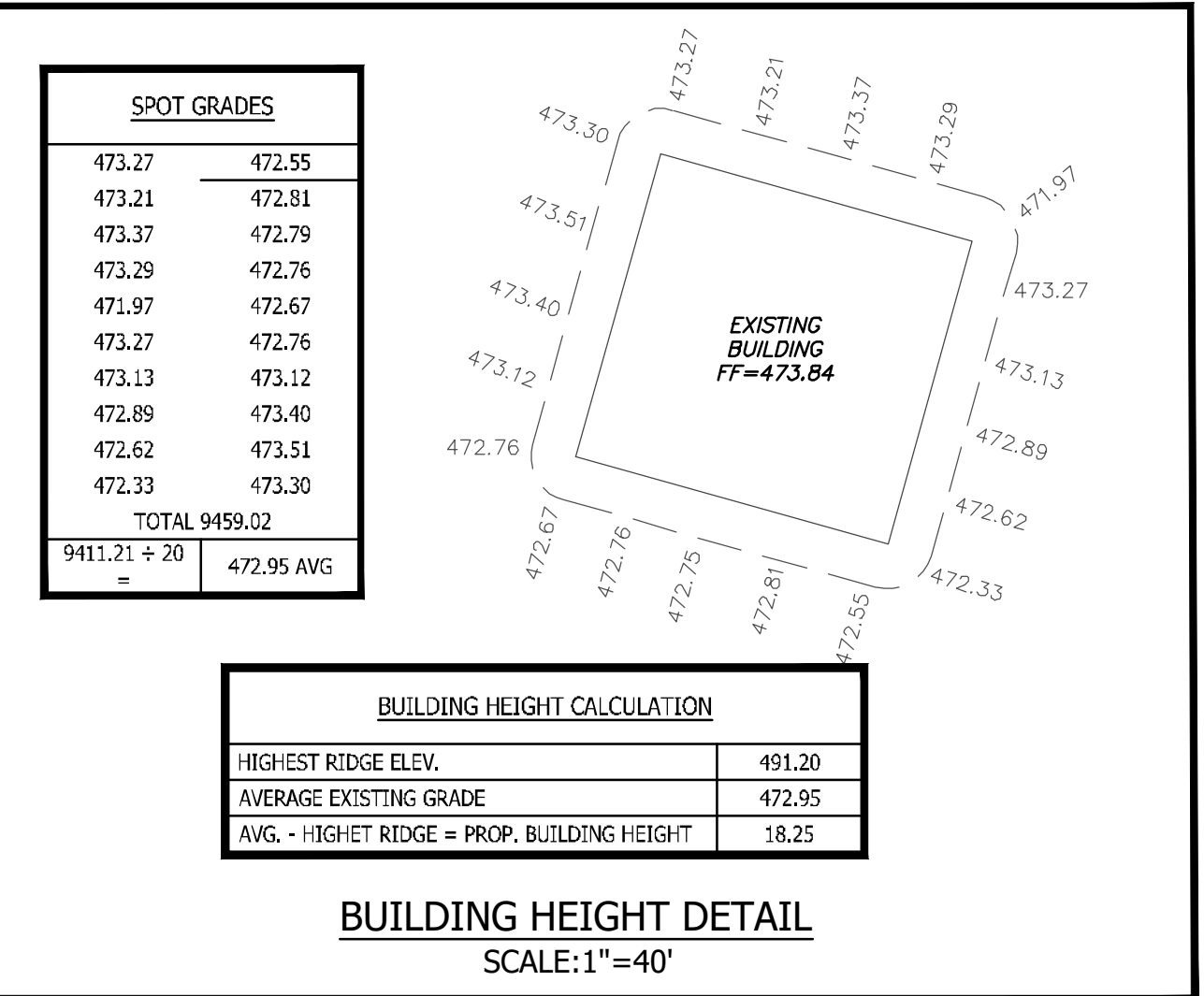
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The following plants are acceptable in the proposed rain garden:

- Trees**  
Red Maple, Acer rubrum  
Shadblow, Amelanchier arborea  
River Birch, Betula nigra  
Gray Birch, Betula populifolia  
Red-Panicked Dogwood, Cornus racemosa  
White Ash, Fraxinus americana  
Green Ash, Fraxinus pennsylvanica  
Witchhazel, Hamamelis virginiana  
Red Cedar, Juniperus virginiana  
American Sweetgum, Liquidambar styraciflua  
Tupelo, Nyssa sylvatica  
American Hop Hornbeam, Ostrya virginiana  
Swamp White Oak, Quercus bicolor  
Pin Oak, Quercus palustris  
Red Oak, Quercus rubra
- Shrubs and Vines**  
Red Chokeberry, Aronia arbutifolia  
Black Chokeberry, Aronia melanocarpa  
Wild Clematis, Clematis virginiana  
Sweet Pepperbush, Clethra alnifolia  
Red Twig Dogwood, Cornus sericea  
Black Huckleberry, Gaylussacia baccata  
Inkberry, Ilex glabra  
American Holly, Ilex opaca  
Winterberry Holly, Ilex verticillata  
Mountain-laurel, Kalmia latifolia  
\*Northern Spicebush, Lindera benzoin  
Trumpet Honeyuckle, Lonicera sempervirens  
Northern Bayberry, Myrica pensylvanica  
Virginia Creeper, Parthenocissus quinquefolia  
Rosebud Azalea, Rhododendron periclymenoides  
\*Great Rhododendron, Rhododendron maximum  
Shining Sumac, Rhus copallinum  
\*Small Pussy-Willow, Salix humilis  
Elderberry, Sambucus canadensis  
American Arborvite, Thuja occidentalis  
Late Lowbush Blueberry, Vaccinium angustifolium  
Highbush Blueberry, Vaccinium corymbosum  
Witcherod, Viburnum cassinoides  
\*Northern Arrowwood, Viburnum dentatum  
Nannyberry, Viburnum lentago
- Perennials and Herbaceous Plants**  
Northern Maidenhair Fern, Adiantum pedatum  
\*Jack-in-the-pulpit, Arisaema triphyllum  
\*Wild Columbine, Aquilegia canadensis  
\*Bushy Aster, Aster dumosus  
\*Heath Aster, Aster ericoides  
New England Aster, Aster novae-angliae  
Dwarf Cornel, Cornus Canadensis  
Glade-fern, Deparia acrostichoides  
Tufted Hair Grass, Deschampsia cespitosa  
Carolina Lovegrass, Eragrostis pectinacea  
\*Sweet Joe-Pye Weed, Eupatorium purpureum  
\*Grass-leaved Goldenrod, Euthamia graminifolia  
and Euthamia tenuifolia  
Wintergreen, Gaultheria procumbens  
Interrupted Fern, Osmunda cloytoniana  
Switchgrass, Panicum virgatum  
\*Torrey's Mountain Mint, Pycnanthemum verticillatum  
\*Virginia Mountain Mint, Pycnanthemum virginianum  
\*Rough Goldenrod, Solidago rugosa  
New York Fern, Thelypteris noveboracensis



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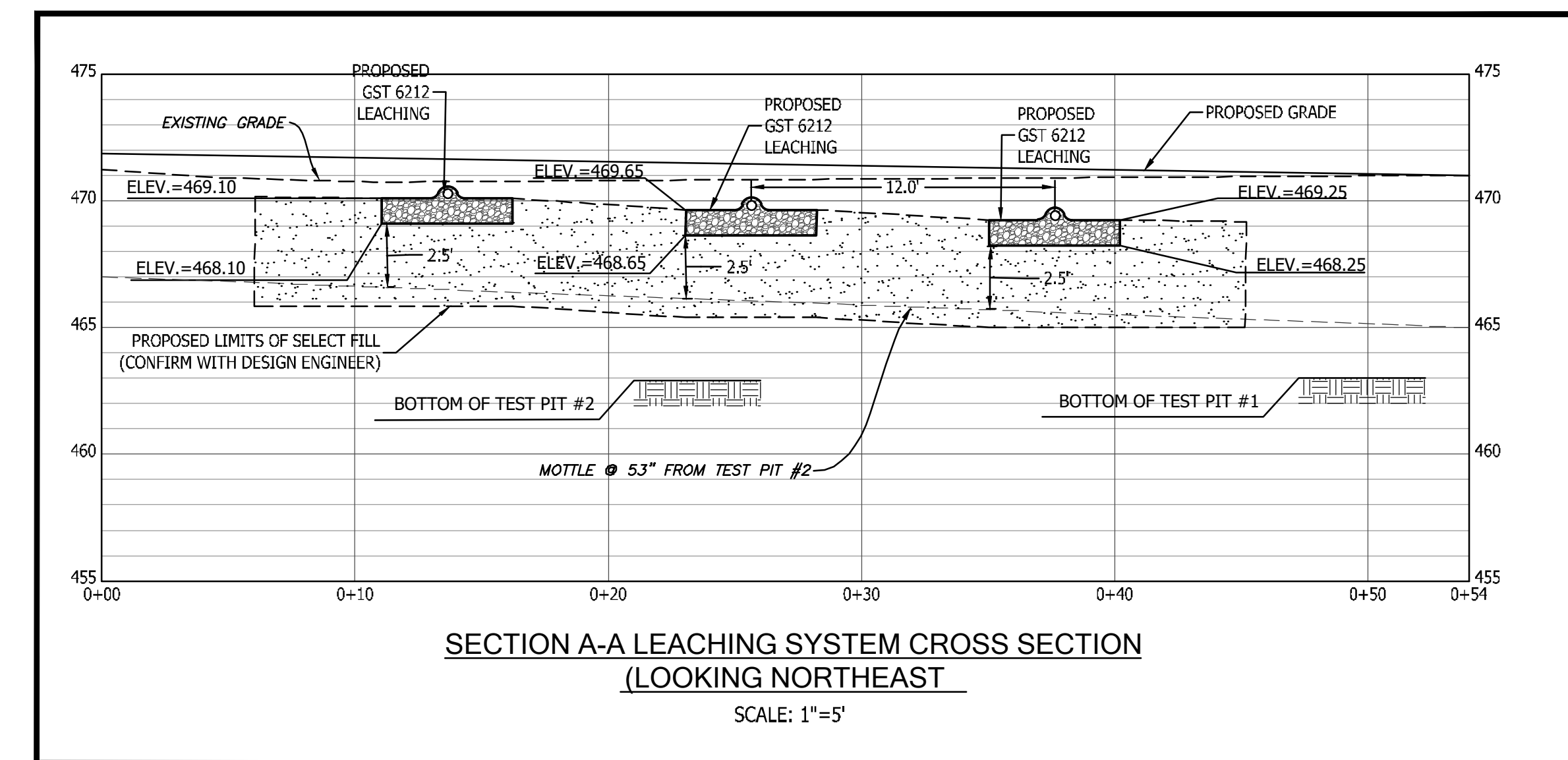
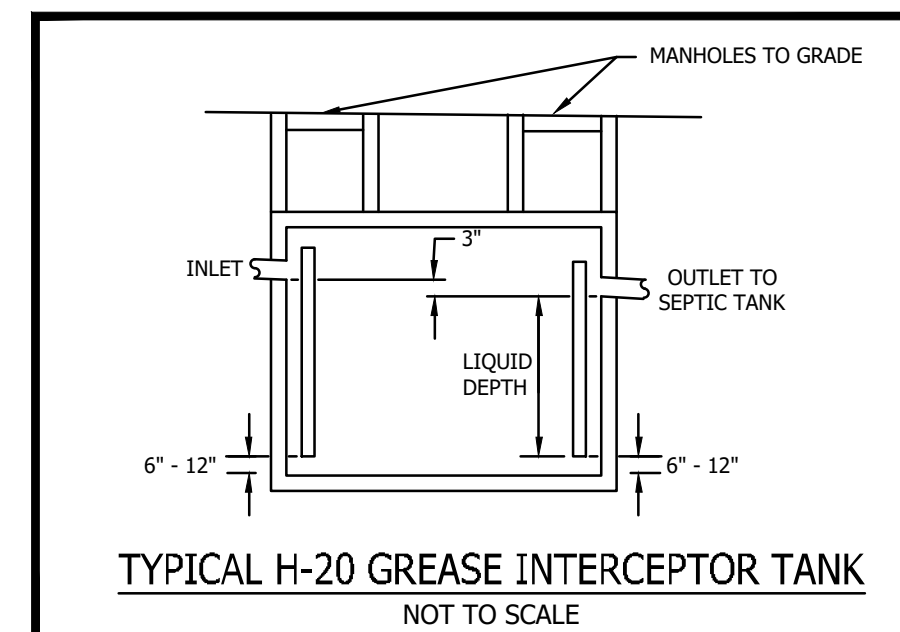
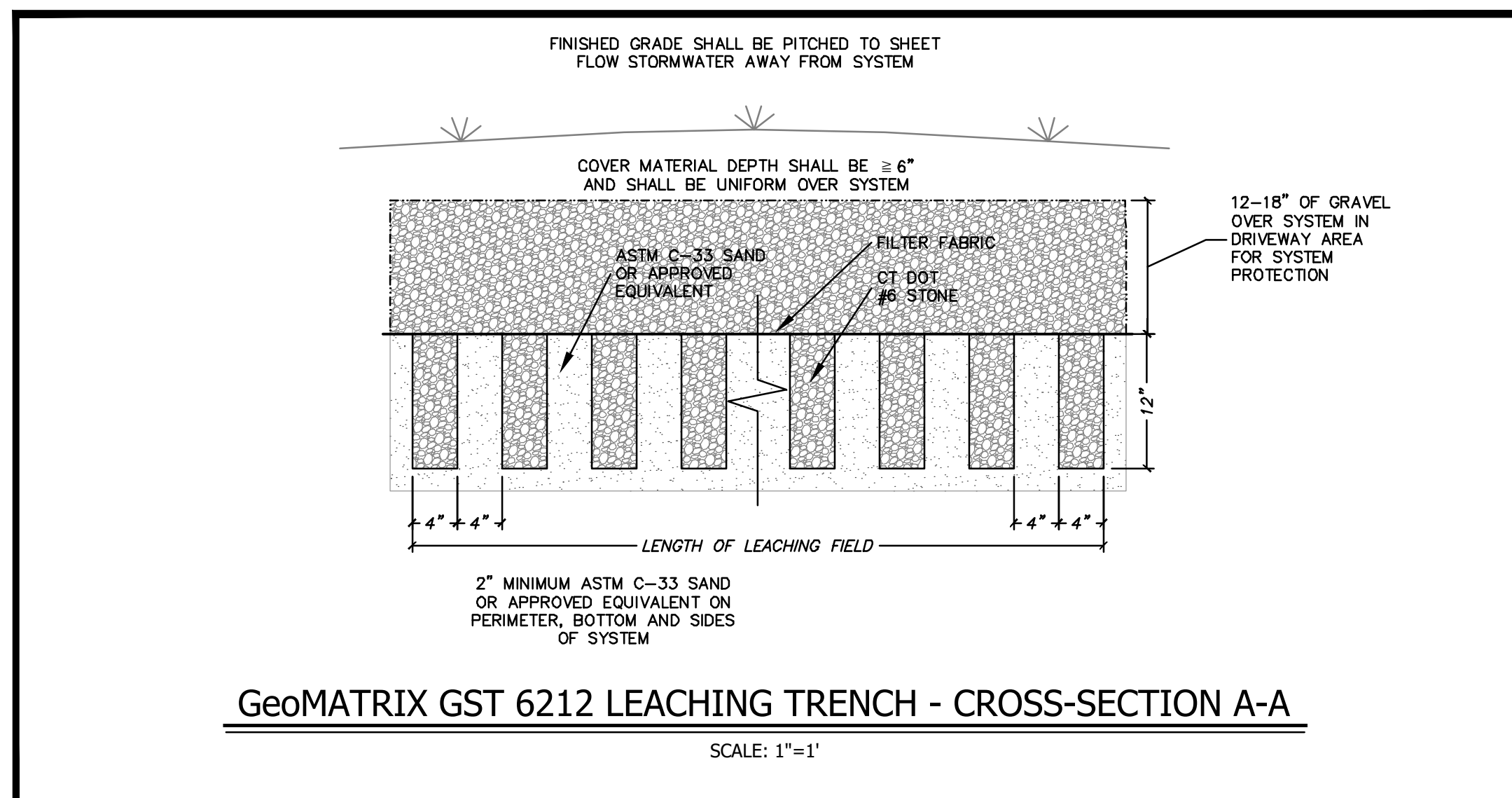
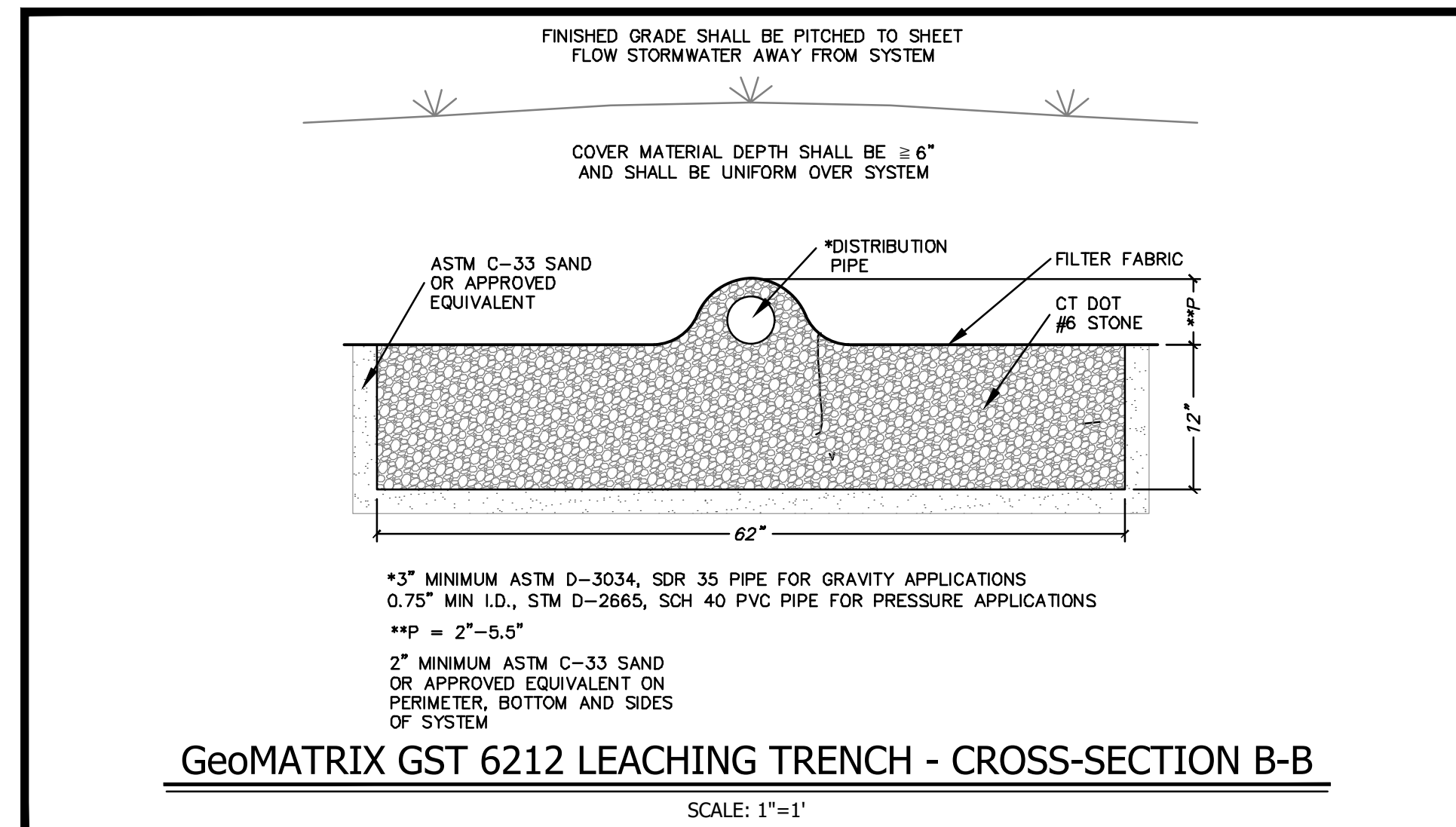
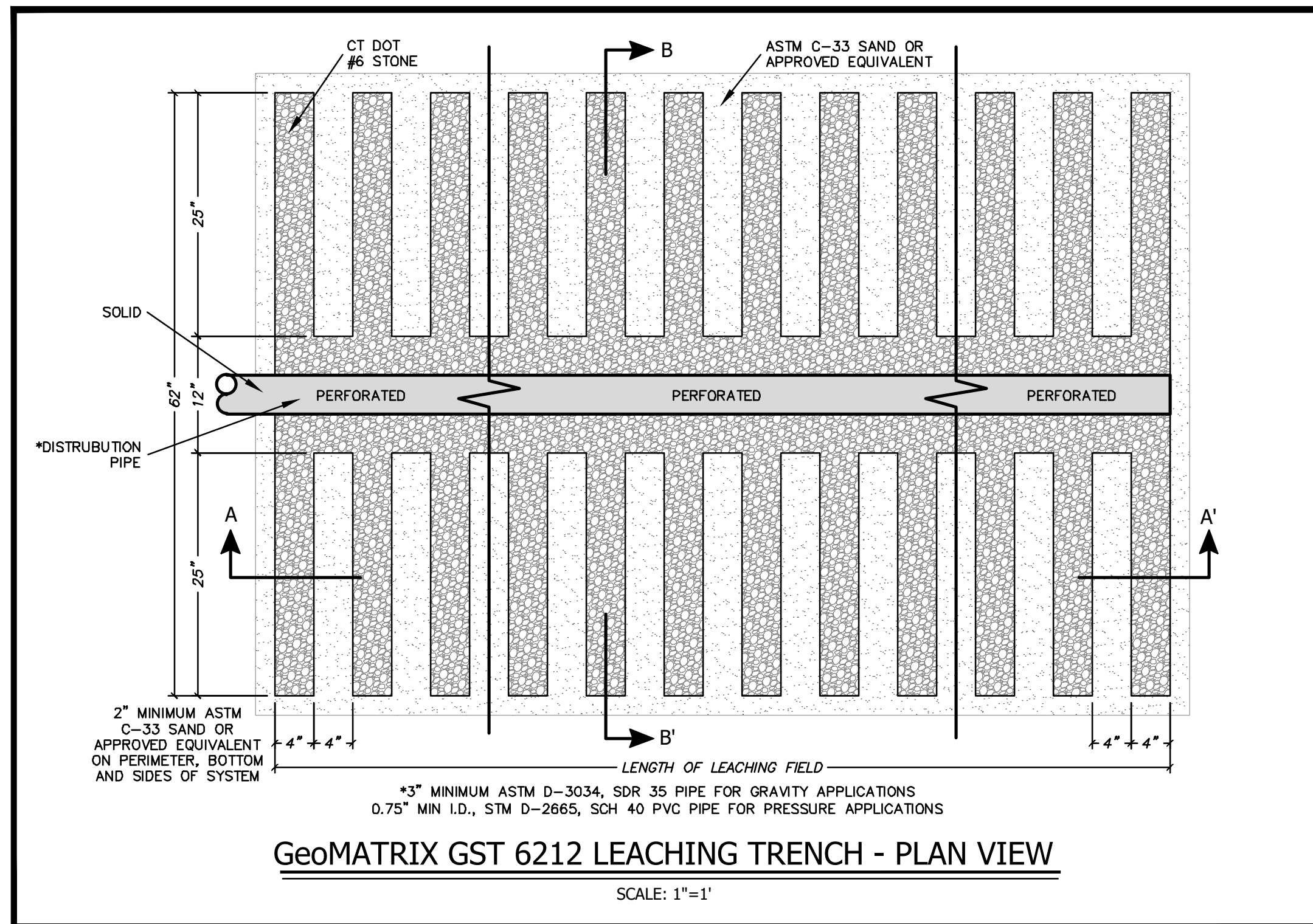
Detail Sheet  
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Prepared For:  
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January 3, 2022

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SHEET NO. 3 OF 4 JOB NO. 21-000985 DRAWN BY: CAC





**NOTES - SEPTIC SYSTEM**

- PROPOSED CONSTRUCTION TO CONFORM TO THE LATEST REVISION OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE.
- ELEVATIONS BASED ON INFORMATION GATHERED BY LICENSED SURVEYOR.
- ENGINEERS AND SANITARIAN WILL BE CONTACTED IF SOIL CONDITIONS OTHER THAN THOSE SHOWN ON PLAN ARE ENCOUNTERED AND WORK WILL BE HALTED PENDING REVIEW OF THOSE CONDITIONS.
- ELEVATIONS SHOWN REFER TO THE INVERT (FLOW LINE) OF THE PROPOSED LEACHING SYSTEM UNLESS NOTED OTHERWISE.
- SEPTIC TANK CONSTRUCTION JOINTS SHALL BE SEALED WITH ASPHALT CEMENT. ALL PIPE CONNECTIONS TO THE SEPTIC TANK AND DISTRIBUTION BOXES SHALL BE SEALED WITH A POLYETHYLENE GASKET ("POLYLOK" OR APPROVED EQUAL).
- SEPTIC TANK Baffles SHALL CONFORM TO TECHNICAL STANDARDS OF THE PUBLIC HEALTH CODE.
- SEPTIC TANKS SHALL HAVE AN APPROVED NON-BYPASS EFFLUENT FILTER AT THE OUTLET.
- SEPTIC TANK SHALL BE TWO COMPARTMENT TANK WITH HEAVY DUTY STEEL HANDLES FOR MANHOLE ACCESS COVERS AND GAS Baffles INSTALLED AT OUTLET PIPING. TANKS TO BE WATER TIGHT.
- ALL PIPES DOWNSTREAM OF THE SEPTIC TANK SHALL BE 4" DIAMETER SCH 40 ASTM D1785 OR D2665. ALL PIPES UPSTREAM OF THE SEPTIC TANK SHALL BE 4" DIAMETER SCH 40 ASTM D1785 OR D2665.
- NO DEVIATIONS FROM THE APPROVED DESIGN PLAN SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER AND SANITARIAN.
- EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO FIELD MODIFICATION AS REQUIRED BY THE DESIGN ENGINEER OR TOWN OFFICIALS TO INCREASE EROSION AND SEDIMENT CONTROL MEASURES.
- ALL FILTER FABRIC SHALL BE 1.5 OZ./YD. (ASTM D-5261), PERMEABILITY OF 1.0 SEC. (ASTM D-4491) AND A TRAPEZOID TEAR OF 15 LBS. (ASTM D-4533) OR EQUAL.
- ALL DISTURBED AREAS SHALL BE TOPSOILED AND TURF ESTABLISHED.
- BASED ON AVAILABLE RECORDS AT THE TOWN OF EAST HADDAM HEALTH DEPARTMENT, NO SEPARATING DISTANCE CONFLICTS ARE PRESENT WITH WELLS, SEPTIC SYSTEMS AND HOUSES ON ADJACENT LOTS.
- BUILDINGS HAVE NO GARBAGE GRINDERS, OR LARGE TUBS OVER 100 GALLONS.
- NO FOOTING DRAINS SHALL BE INSTALLED WITHIN 25' OF PROPOSED SEPTIC SYSTEM.
- LICENSED SURVEYOR TO STAKE SYSTEM. LICENSED SEPTIC INSTALLER TO DO SITE PREPARATION WORK. BENCH MARK TO BE SET IN FIELD.
- NO WORK (OTHER THAN TREE CLEARING) SHALL COMMENCE IN THE SYSTEM AREA UNTIL A SEPTIC PERMIT HAS BEEN TAKEN OUT BY THE LICENSED INSTALLER.
- STRIP INSPECTIONS SHALL BE DONE BY BOTH THE ENGINEER AND SANITARIAN.
- TEN FOOT SEPARATION FROM WATER LINE TO SYSTEM TO BE VERIFIED IN FIELD.
- SYSTEM AREA SHOULD BE RE-STRIPPED AND REFILLED PRIOR TO START OF CONSTRUCTION TO PREVENT HEAVY EQUIPMENT COMPACTION FROM DRIVEWAY.

**INSTALLATION NOTES**

- LAYOUT SYSTEM.
- PREPARE SITE AND REMOVE ANY TREES WITH A DRIP LINE FALLING WITHIN 10 FEET OF THE LEACHING SYSTEM.
- EXCAVATE TRENCH TO A DEPTH THAT IS AT LEAST 2" BELOW THE BASE ELEVATION OF THE GST TO ACCOMMODATE A MINIMUM OF 2" OF SAND. TRENCH WIDTH SHOULD BE A MINIMUM OF 45" FOR THE GST 37 SERIES AND 70" FOR GST 62 SERIES.
- RAKE/SCARIFY SIDEWALLS AND BOTTOM OF TRENCH TO ADDRESS ANY SMEARING OF FINES, AND THEN DO NOT WALK IN TRENCH BOTTOM.
- PLACE A MINIMUM OF 2" OF ASTM C-33 SAND OR APPROVED EQUIVALENT (SAND) IN THE BOTTOM OF THE EXCAVATION TO SERVE AS BASE FOR GST, RAKE AND LEVEL AND UNIFORMLY COMPACT. IF A 2" LIFT OF SAND IS PRESENT SIMPLY WALKING ON IT SHOULD PROVIDE SUFFICIENT COMPACTION.
- SET THE GST FORMS IN CENTER OF TRENCH.
- PLACE COVERS OVER ENTIRE CENTER STONE CHANNEL AND ALTERNATING STONE FINGER COMPARTMENTS.
- PLACE SAND INTO VOID SPACE BETWEEN TRENCH SIDEWALL AND GST FORM. ALSO FILL THE SAND FINGER VOIDS IN THE FORMS AND UNIFORMLY COMPACT.
- REMOVE ALL COVERS FROM OVER ENTIRE CENTER STONE CHANNEL AND STONE FINGER COMPARTMENTS.
- PLACE CLEAN CT DOT #6 (3/4") STONE INTO THE INTERIOR OF THE GST FORM.
- PULL FIRST GST FORM AND "LEAP FROG" FORM AHEAD OF THE LAST GST FORM.
- REPEAT SEQUENCE UNTIL DESIRED TRENCH LENGTH IS INSTALLED.
- ENSURE THAT SAND AND BACKFILL MATERIALS ARE COMPACTED TO PREVENT SETTLEMENT.
- INSTALL APPROVED DISTRIBUTION PIPING ON TOP OF THE 12" CENTRAL STONE CHANNEL.
- PLACE STONE AROUND THE DISTRIBUTION PIPE.
- PUT APPROVED FILTER FABRIC OVER THE SYSTEM.
- BACKFILL SYSTEM TO ENSURE THAT UNIFORM COVER AND COMPACTION EXISTS OVER THE TOP OF THE SYSTEM (A MINIMUM OF 6" OF COVER IS REQUIRED). WHEN GST IS INSTALLED BELOW AREAS SUBJECT TO H-20 LOADING, SEE NOTE BELOW.
- FINISH GRADE OVER THE SYSTEM SHOULD ENSURE THAT STORM WATER SHEET FLOW IS DIVERTED AWAY FROM THE LEACHING SYSTEM, TANK(S) AND PUMP TANK(S) IF PRESENT.
- SEED AND MOW DISTURBED AREA. THE USE OF WOOD CHIPS AS COVER MATERIAL IS NOT RECOMMENDED.
- MAINTAIN THE AREA TO PREVENT TREE ROOTS FROM IMPACTING THE SYSTEM.
- PROPERLY SERVICE THE SEPTIC TANK EVERY 3-5 YEARS; OR AS ADVISED BY THE REGULATORY AGENCY OR YOUR SERVICE PROVIDER.

**SELECT FILL SPECIFICATIONS:**

SELECT FILL PLACED WITHIN AND ADJACENT TO LEACHING SYSTEM AREAS SHALL BE A CLEAN MATERIAL COMPRISED OF SAND, OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY THE DESIGN ENGINEER. SELECT FILL EXCEEDING 6 PERCENT PASSING THE #200 SIEVE BASED ON A WET SIEVE TEST CANNOT BE APPROVED BY THE DESIGN ENGINEER.

- THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIZE.
- UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED (GRAVEL PORTION) ON THE #4 SIEVE.
- THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
- THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100	100
#10	70 - 100	70 - 100
#40	10 - 50*	10 - 75
#100	0 - 20	0 - 5
#200	0 - 5	0 - 2.5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75 IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10 AND THE #200 SIEVE DOES NOT EXCEED 5.

SELECT FILL THAT DOES NOT MEET THE DRY SIEVE GRADATION CRITERIA BUT MEETS THE WET SIEVE GRADATION CRITERIA IS ACCEPTABLE. SIEVE TESTING OF SELECT FILL IS REQUIRED FOR LARGE (2,000 GPD OR GREATER) SYSTEMS WHENEVER THE LEACHING SYSTEM IS LOCATED TOTALLY IN SELECT FILL. THE LOCAL DIRECTOR OF HEALTH MAY REQUIRE SIEVE TESTING OF SELECT FILL ON SMALL SDDS IN ACCORDANCE WITH PHC SECTION 19-13-B103E (D) (6).

THE LICENSED INSTALLER IS RESPONSIBLE FOR PREPARING THE LEACHING AREA WITH NECESSARY SELECT FILL. TOPSOIL IN THE LEACHING SYSTEM AREA SHALL BE REMOVED AND THE SUBSOIL SCARIFIED PRIOR TO SELECT FILL PLACEMENT, UNLESS OTHERWISE DIRECTED BY THE DESIGN ENGINEER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING RECEIVING SOIL FROM OVER COMPACTION/DAMAGE. THE INSTALLER IS RESPONSIBLE FOR PROPERLY COMPACTING SELECT FILL TO FACILITATE CONSTRUCTION AND TO PREVENT SETTLEMENT. SELECT FILL SHALL EXTEND A MINIMUM OF 5 FEET LATERALLY IN ALL DIRECTIONS BEYOND THE OUTER PERIMETER OF THE LEACHING SYSTEM.

THE COMMISSIONER OF PUBLIC HEALTH SHALL APPROVE MANUFACTURED FILL. ROCK OR OTHER PRODUCT USED TO PRODUCE MANUFACTURED FILL SHALL HAVE A LOSS OF ABRASION OF NOT MORE THAN 50 PERCENT USING ASHTO METHOD T-96, AND WHEN TESTED FOR SOUNDNESS USING ASHTO METHOD T-104 NOT HAVE A LOSS OF MORE THAN 15 PERCENT AT THE END OF 5 CYCLES. SUPPLIERS OF MANUFACTURED FILL SHALL MAKE APPLICATION FOR APPROVAL TO THE COMMISSIONER OF PUBLIC HEALTH. DOCUMENTATION SHALL BE SUBMITTED ON THE MANUFACTURED FILL OPERATION AND PRODUCTION PROCESS. FILL SPECIFICATIONS (GRADATION, PERMEABILITY, ETC.) AND A NARRATIVE OF THE QUALITY CONTROL/QUALITY ASSURANCE PROGRAM SHALL ALSO BE INCLUDED FOR ALL ACTIVE PRODUCTION SITES. APPROVED MANUFACTURED FILL PRODUCERS SHALL PROVIDE ANNUAL PRODUCT REGISTRATIONS TO THE COMMISSIONER OF PUBLIC HEALTH BY JULY 1ST OF EACH YEAR.

\*SELECT FILL\* SHOULD BE PLACED ON THE EDGE OF THE SITE AND SPREAD OVER THE PREPARED AREA WITH A BULLDOZER. NO TRUCKS SHOULD RUN OVER THE FILL UNTIL 12 INCHES OF FILL HAS BEEN PLACED. THE REMAINDER OF THE FILL SHOULD BE PLACED IN LAYERS 8 TO 12 INCHES DEEP AND COMPACTED BY NORMAL BULLDOZING OR OTHER CONSTRUCTION EQUIPMENT. FILLING AND COMPACTION SHOULD BE DISCONTINUED DURING RAIN STORMS AND FOR 24 HOURS THEREAFTER. ALL FILL SHOULD BE PLACED AND COMPACTED BEFORE ANY OF THE LEACHING SYSTEM IS INSTALLED.

**SYSTEM SITE PREPARATION**

- A MINIMUM OF 24 HOURS, BUT PREFERABLY 48 HOURS NOTICE SHALL BE GIVEN BY THE INSTALLER TO THE ENGINEER AND SANITARIAN BEFORE ANY STRIPPING IS DONE FOR THE SYSTEM.
- THE LICENSED INSTALLER SHALL BE ON SITE DURING SYSTEM CONSTRUCTION WORK WILL BE STOPPED BY THE HEALTH DEPARTMENT IF THIS REQUIREMENT IS NOT COMPLIED WITH.
- NO SYSTEM IS TO BE BACKFILLED UNTIL THE SANITARIAN HAS GIVEN THE OK. THE OK WILL NOT BE GIVEN UNTIL THE ENGINEER HAS PROVIDED WRITTEN OR VERBAL COMMUNICATION THAT THE SYSTEM IS INSTALLED IN COMPLIANCE WITH THE HEALTH CODE AND THEIR DESIGN, OR WITH ACCEPTABLE MODIFICATIONS.

NO.	DATE	REVISIONS
1	1/14/2022	GENERAL REVISIONS
2	1/14/2022	GENERAL REVISIONS
3	2/2/2022	GENERAL REVISIONS

Gregg T. Fedus P.E.  
CT. License No. 21231

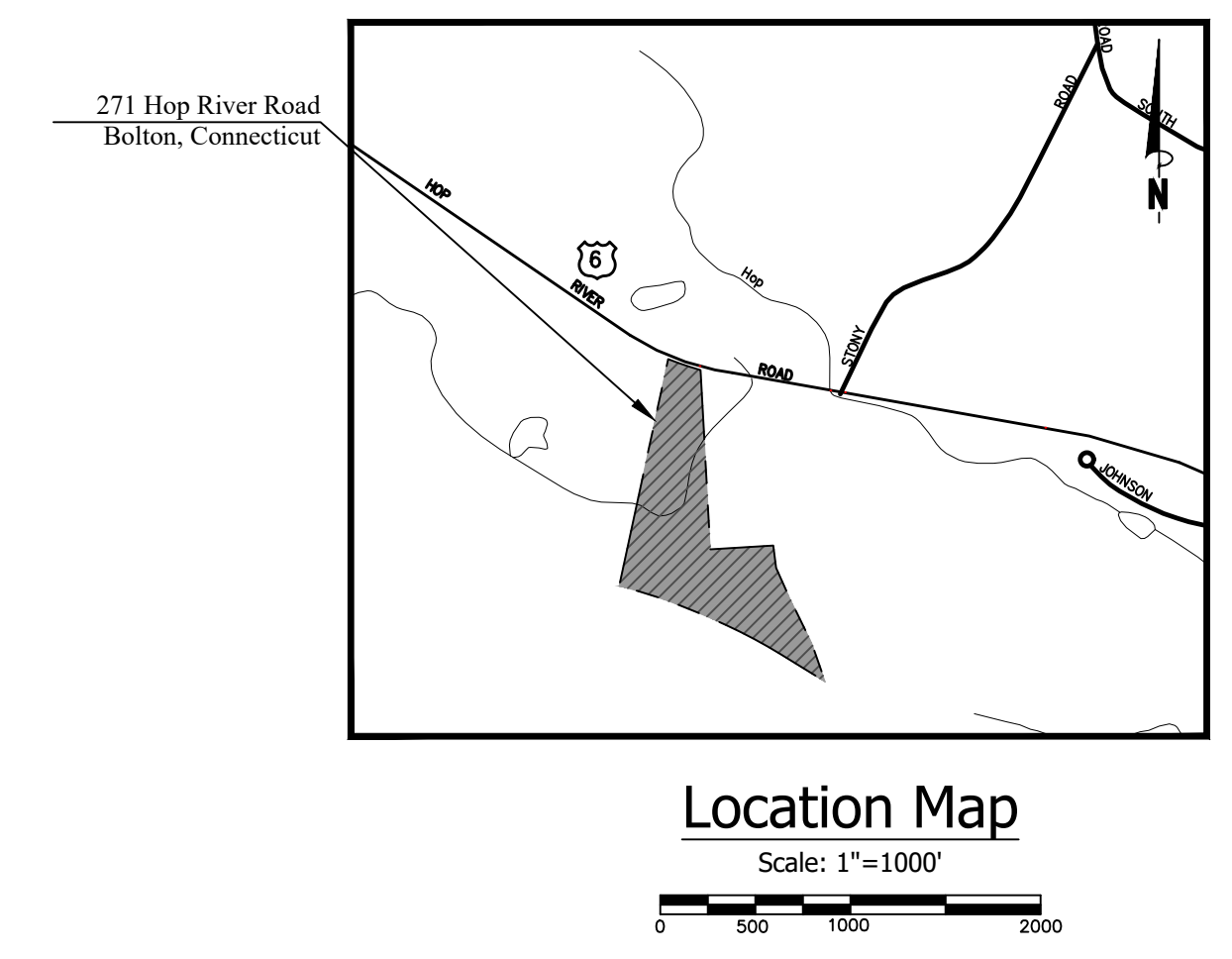


**Detail Sheet**  
of  
**271 Hop River Road**  
**Bolton, Connecticut**  
Prepared For:  
**IMS PETROLEUM, LLC**  
January 3, 2022

DRAWING SCALE: 1"=20'

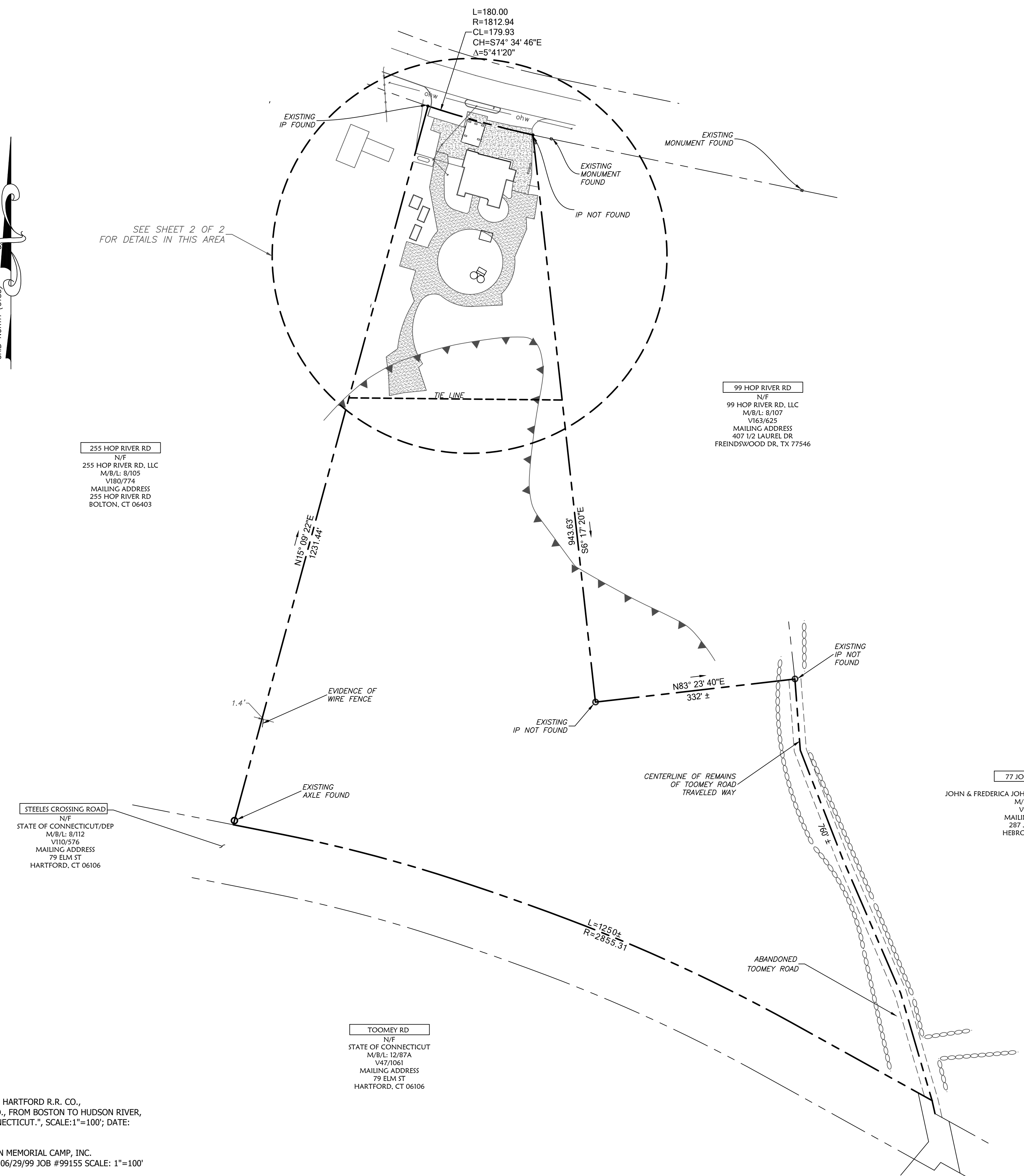
**FEDUS ENGINEERING, LLC**  
CIVIL ENGINEERS  
Mailing Address: 70 Essex Street Mystic, Connecticut 06355  
Office: (860) 536-7390 Fax: (860) 536-1644

SHEET NO. 4 OF 4 JOB NO. 21-000985 DRAWN BY: CAC



GRID NORTH (C783)

SEE SHEET 2 OF 2 FOR DETAILS IN THIS AREA



**255 HOP RIVER RD**  
N/F  
255 HOP RIVER RD, LLC  
M/B/L: 8/105  
V180/774  
MAILING ADDRESS  
255 HOP RIVER RD  
BOLTON, CT 06403

**99 HOP RIVER RD**  
N/F  
99 HOP RIVER RD, LLC  
M/B/L: 8/107  
V163/625  
MAILING ADDRESS  
407 1/2 LAUREL DR  
FREINSDWOOD DR, TX 77546

**STEELES CROSSING ROAD**  
N/F  
STATE OF CONNECTICUT/DEP  
M/B/L: 8/112  
V110/576  
MAILING ADDRESS  
79 ELM ST  
HARTFORD, CT 06106

**TOOMEY RD**  
N/F  
STATE OF CONNECTICUT  
M/B/L: 12/87A  
V47/1061  
MAILING ADDRESS  
79 ELM ST  
HARTFORD, CT 06106

**77 JOHNSON RD**  
N/F  
JOHN & FEDERICA JOHNSON MEMORIAL CAMP, INC.  
M/B/L: 8/110  
V99/1095  
MAILING ADDRESS  
287 JAGGER LN  
HEBRON, CT 06248

**Survey Notes:**

- THIS SURVEY PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
  - TYPE OF SURVEY: PROPERTY SURVEY/EXISTING CONDITIONS SURVEY
  - BOUNDARY DETERMINATION: DEPENDANT RE-SURVEY.
  - THE PORTION OF THIS SURVEY, NORTH OF THE TIE LINE, CONFORMS TO THE STANDARDS AND THE ACCURACY OF CLASS: A-2 HORIZONTAL. THAT PORTION OF THIS SURVEY SOUTH OF THE TIE LINE CONFORMS TO THE STANDARDS OF CLASS D HORIZONTAL. THIS PORTION OF THE SURVEY WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE
  - THE PORTION OF SURVEY NORTH OF THE TIE LINE CONFORMS TO THE STANDARDS AND THE ACCURACY OF CLASS: T-3 VERTICAL.
- BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.
- THE WORD "CERTIFY" AS USED IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR. IT IS A DECLARATORY STATEMENT, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH IT CONSTITUTES NEITHER GUARANTEE NOR WARRANTY, EXPRESSED OR IMPLIED, OF ANY INFORMATION CONTAINED HEREON. NO CERTIFICATION IS EXPRESSED OR IMPLIED ON ANY ORIGINAL OR ANY DUPLICATE OF THIS MAP UNLESS IT BEARS AN ORIGINAL STAMP OR SEAL AND ORIGINAL SIGNATURE OF THE INDIVIDUAL WHOSE REGISTRATION NUMBER APPEARS HEREON.
- THIS MAP IS THE PROPERTY OF FEDUS ENGINEERING, LLC AND HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER OF THIS PROJECT OR PROPERTY. IT IS NOT TO BE DUPLICATED OR USED IN PART OR WHOLE FOR ANY OTHER PURPOSE, PROJECT, LOCATION, OR OWNER WITHOUT THE EXPRESS WRITTEN CONSENT OF FEDUS ENGINEERING, LLC.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND LIMITED FIELD MEASUREMENTS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE OF WHICH ARE UNKNOWN TO FEDUS ENGINEERING, LLC. THE SIZE LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- THE STONEWALLS, TIDAL DITCHES AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED.

**Subject Parcel Information**

OWNER: M&M OIL, LLC  
 PARCEL ADDRESS: 271 HOP RIVER ROAD, BOLTON, CT 06403  
 MAILING ADDRESS: 271 HOP RIVER ROAD, BOLTON, CT 06403  
 MBL: 8/106  
 DEED: VOLUME 99 PAGE 120  
 AREA: 639,104.1± SF = 14.6± AC  
 FLOOD ZONE: ZONE X PER FIRM MAP # 09011C0228G  
 EFFECTIVE DATE: 6/1/1981

**Legend**

SYMBOL	DESCRIPTION
	CONNECTICUT HIGHWAY DEPARTMENT MONUMENT
	EX. IP / REBAR
	DRILL HOLE
	UTILITY POLE W/ LIGHT
	STONEWALL
	FENCE LINE
	WATER VALVE
	OVERHEAD WIRES
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	INDEX CONTOUR
	CONTOUR
	WETLANDS BOUNDARY/FLAG
	MEAN LOW WATER LINE
	MEAN HIGH WATER LINE
	HIGH TIDE LINE
	COASTAL JURISDICTIONAL LINE
	ZONE LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	N/F
	NOW OR FORMERLY CATCH BASIN
	(TYP.) TYPICAL
	.5,B SPOT ELEVATION
	DH DRILL HOLE
	(POB) POINT OF BEGINNING
	(PRM) PER REFERENCE MAP
	TP1 TEST PIT
	P1 PERCOLATION TEST
	UTILITY POLE
	⊙ DRAINAGE MANHOLE
	⊙ SEWER MANHOLE
	⊙ HYDRANT
	⊙ WATER SHUTOFF
	PROPOSED
	○ IRON PIN TO BE SET

**Reference Maps:**

- "RIGHT OF WAY AND TRACK MAP, THE NEW YORK NEW HAVEN AND HARTFORD R.R. CO., OPERATED BY THE NEW YORK NEW HAVEN AND HARTFORD R.R. CO., FROM BOSTON TO HUDSON RIVER, STATION 5230+00 TO STATION 5282+80, TOWN OF BOLTON, CONNECTICUT.", SCALE: 1"=100'; DATE: JUNE 30, 1915.
- COMPILED PLAN PROPERTY OF: JOHN AND FEDERICA JOHNSON MEMORIAL CAMP, INC. JOHNSON RD., BOLTON, CT., SHEET NO. 1 OF 2 AND 2 OF 2 DATED 06/29/99 JOB #99155 SCALE: 1"=100' BY: FUSS AND ONEIL INC.
- "CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF BOLTON, HARTFORD-WILLMANTIC ROAD FROM BOLTON NOTCH SOUTHEASTERLY ABOUT 5,400 FEET. ROUTE NO. 87", SCALE: 1"=40', DATED: JULY 29, 1932, NUMBER 12-01, SHEET NO. 2 OF 2 APPROVED BY JOHN A. MACDONALD.
- "SURVEY MAP PREPARED FOR THE STATE OF CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR PROPERTY OF DAVID C. TOOMEY JR. NORTH OF TOOMEY ROAD LOCATED IN BOLTON, CONNECTICUT", SCALE: 1"=100', DATE: OCTOBER, 2001 PREPARED BY JC SOMMERS ASSOCIATES, INC. VERNON, CONNECTICUT.

NO.	DATE	REVISIONS

**Property Survey**  
 Map Depicting Existing Conditions of  
 271 Hop River Road  
 Bolton, Connecticut  
 Prepared For:  
**ASIF CHOUDRY**  
 APRIL 26, 2021

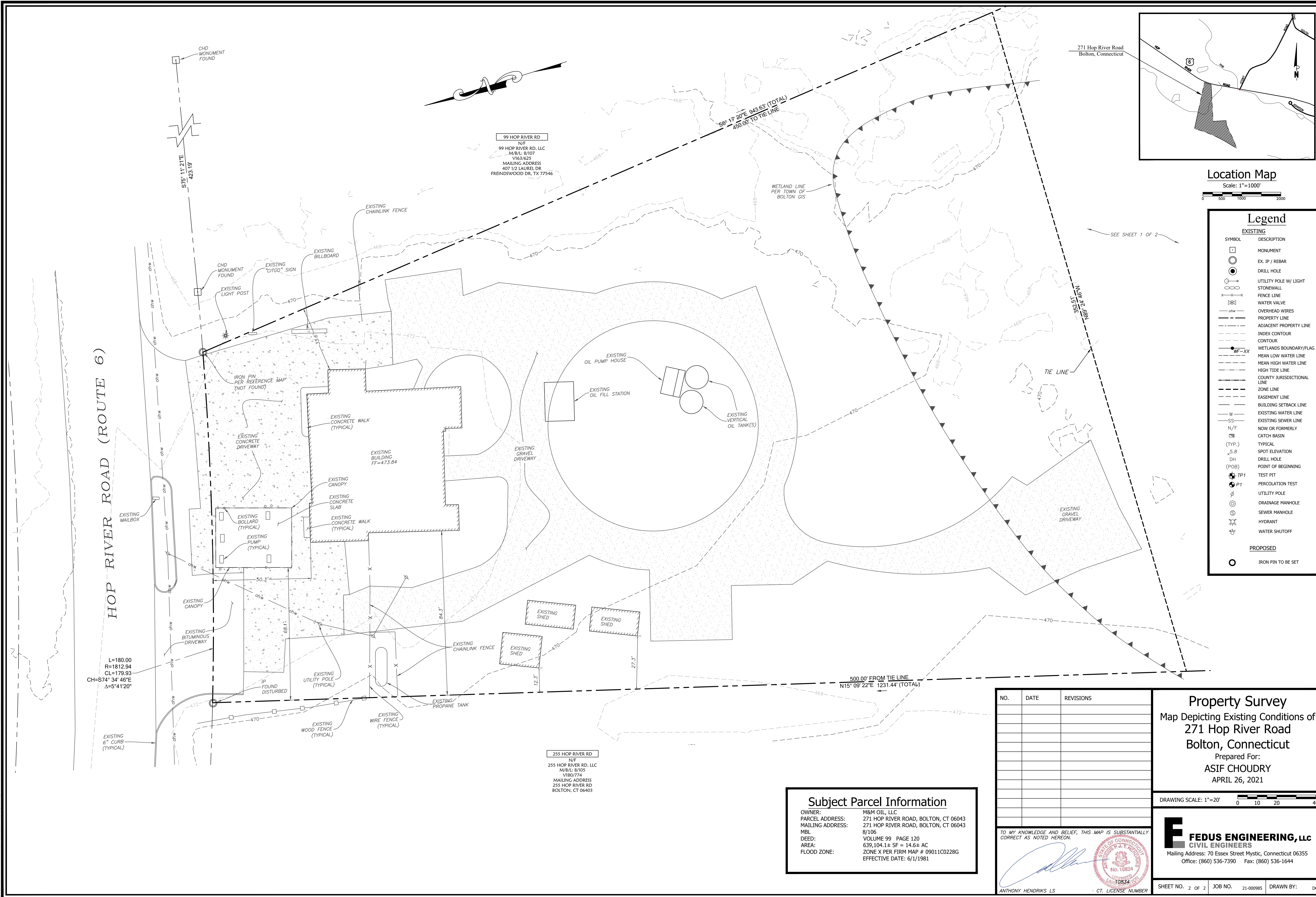
DRAWING SCALE: 1"=20'

**FEDUS ENGINEERING, LLC**  
 CIVIL ENGINEERS  
 Mailing Address: 70 Essex Street Mystic, Connecticut 06355  
 Office: (860) 536-7390 Fax: (860) 536-1644

SHEET NO. 1 OF 2 JOB NO. 2-000985 DRAWN BY: DC

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

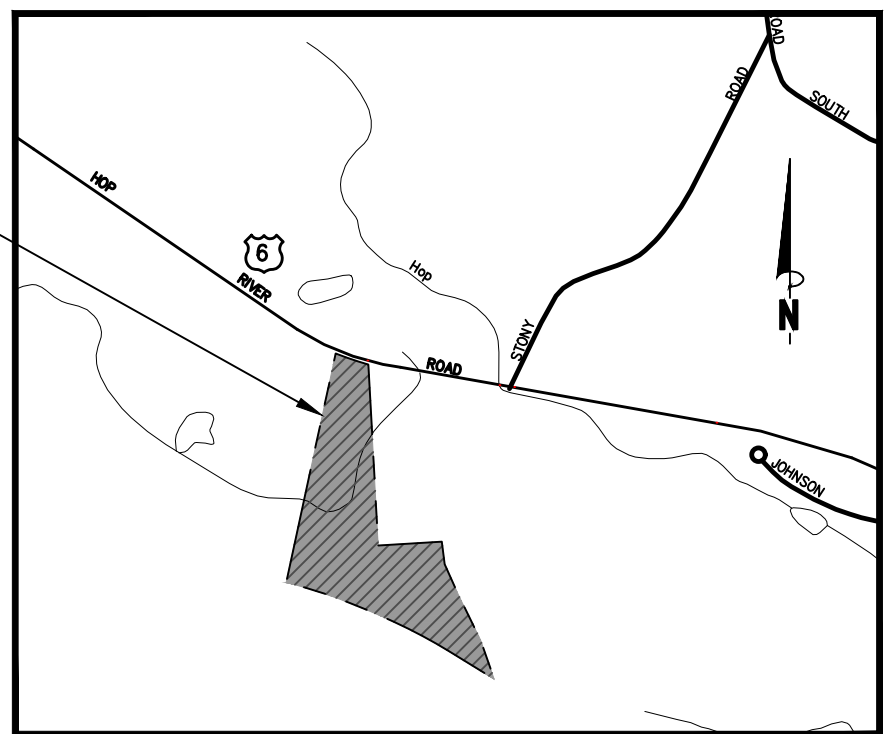
ANTHONY HENDRIKS LS  
 CT. LICENSE NUMBER 10834



99 HOP RIVER RD  
 N/F  
 99 HOP RIVER RD, LLC  
 M/B/L: 8/107  
 V163/625  
 MAILING ADDRESS  
 407 1/2 LAUREL DR  
 FREINDSWOOD DR, TX 77546

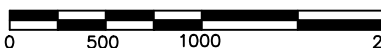
255 HOP RIVER RD  
 N/F  
 255 HOP RIVER RD, LLC  
 M/B/L: 8/105  
 V180/774  
 MAILING ADDRESS  
 255 HOP RIVER RD  
 BOLTON, CT 06403

L=180.00  
 R=1812.94  
 CL=179.93  
 CH=S74°34'46"E  
 Δ=5°41'20"



Location Map

Scale: 1"=1000'



Legend

EXISTING	
SYMBOL	DESCRIPTION
□	MONUMENT
○	EX. TP / REBAR
⊙	DRILL HOLE
—○—	UTILITY POLE W/ LIGHT
—○—	STONEWALL
—X—X—	FENCE LINE
○	WATER VALVE
—OHW—	OVERHEAD WIRES
---	PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
- - -	INDEX CONTOUR
- - -	CONTOUR
---WF---X	WETLANDS BOUNDARY/FLAG
- - -	MEAN LOW WATER LINE
- - -	MEAN HIGH WATER LINE
- - -	COUNTY JURISDICTIONAL LINE
- - -	ZONE LINE
- - -	EASEMENT LINE
---	BUILDING SETBACK LINE
W	EXISTING WATER LINE
SS	EXISTING SEWER LINE
N/F	NOW OR FORMERLY
⊞	CATCH BASIN
(TYP.)	TYPICAL
5.8	SPOT ELEVATION
DH	DRILL HOLE
(POB)	POINT OF BEGINNING
⊞ TP1	TEST PIT
P1	PERCOLATION TEST
⊙	UTILITY POLE
⊙	DRAINAGE MANHOLE
⊙	SEWER MANHOLE
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⊙	WATER SHUTOFF
PROPOSED	
○	IRON PIN TO BE SET

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 AREA: 639,104.1± SF = 14.6± AC  
 FLOOD ZONE: ZONE X PER FIRM MAP # 09011C0228G  
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 ASIF CHOUDRY  
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DRAWING SCALE: 1"=20'



FEDUS ENGINEERING, LLC  
 CIVIL ENGINEERS  
 Mailing Address: 70 Essex Street Mystic, Connecticut 06355  
 Office: (860) 536-7390 Fax: (860) 536-1644

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ANTHONY HENDRIKS LS



STATE OF CONNECTICUT
DEPARTMENT OF PUBLIC HEALTH & DEPARTMENT OF PUBLIC UTILITY CONTROL
APPLICATION FOR A NON-COMMUNITY
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY (CPCN)
Pursuant to CGS Sec. 16-262m

This application process is separated into three phases – Phase I-A, Phase I-B, & Phase II. Only complete one phase at a time. Do not move on to a subsequent phase until the Department of Public Health – Drinking Water Section has formally reviewed the preceding phase and written confirmation has been received to continue the process.

PHASE I-A (Non-Community)

DPH-DWS PROJECT #: 2021-0194 (as assigned by this office)

DPUC DOCKET #: (as assigned by DPUC)

Facility/PWS Name: Bestway Bolton PWSID: CT (if applicable)
(Facility name as on the water company screening application)

The following must be submitted for the Phase I-A Non-Community CPCN review, as required per the letter of determination of water company screening application review (check off each that is included with this submission):

- 1. Copy of the DWS’s letter of determination of water company screening application review
2. Completed ‘Application for Public Water System Well Site Approval’ for each proposed well
3. Evaluation of the quantity of water necessary to provide adequate supply (use Attachment 1 – ADD calculation worksheet)
4. Plan for controlling pollution sources that might affect the well(s)
5. Topographical map showing the relationship and location of the proposed project to the surrounding area
6. Completed ‘TMF Capacity Evaluation’ questionnaire (see Attachment 2)
Attach an additional sheet(s) of paper as necessary to properly and fully answer all questions, referencing question numbers.
7. Description of the groundwater quality as classified by the CT Department of Environmental Protection and subsurface soils as classified by the United States Department of Agriculture – Natural Resources Conservation Service, for the project area
8. Name and certificate number of proposed/existing water system certified operator (if applicable)
9. Provide a detailed letter from the town’s planning department indicating any known probable future building areas within one mile of this property

Signature of Property Owner/Legal Contact: [Signature] Date: 1/20/22

Signature of ESA provider (if applicable): Date:
(If no ESA provider: signature of representative of regulated water company that is to own & operate the proposed water system, if applicable)

ITEM #1

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DWS LETTER OF DETERMINATION – SCREENING APPLICATION REVIEW

# STATE OF CONNECTICUT

## DEPARTMENT OF PUBLIC HEALTH

Manisha Juthani, MD  
Commissioner



Ned Lamont  
Governor  
Susan Bysiewicz  
Lt. Governor

### Drinking Water Section

10/18/21

Mr. Asif Choudry  
96 Route 32  
Franklin, CT 06245

**Public Water System/Applicant:** Bestway Bolton  
**DPH Project #:** 2021-0194  
**Project Location:** 271 Hop River Road, Bolton, CT  
**Date of Project Submission:** 9/29/21

Dear Mr. Choudry:

This Department is in receipt of a completed Public Water Screening (PWS) Screening Form for Bestway, 271 Hop River Road in Bolton, CT. The information provided on the completed form which has been verified by DWS staff indicated that the conversion of this property will result in the creation of a regulated Public Water System (PWS), (classified as a Transient Non-Community (TNC) PWS). Due to the substantial redevelopment of this property the Department requires the property owner to obtain a Certificate of Public Convenience and Necessity (CPCN) for this PWS.

The CPCN process reviews the design of the PWS from the well site location to the piping system that will bring the water to the consumer. One purpose of the "Certificate process" is to ensure that all new public water systems are built to particular specifications and have adequate Technical, Managerial, and Financial capacity to maintain compliance with regulations after the system is put into operation. The entire CPCN application is separated into three phases:

- Phase I-A (site location for source of supply),
- Phase I-B (development of the source of supply),
- Phase II (water distribution, storage, treatment).

The CPCN application forms are available on the DPH – Drinking Water Section website at: <http://portal.ct.gov/DPH/Drinking-Water/DWS/Certificate-of-Public-Convenience-and-Necessity> Please be sure to follow the links for a Non-Community PWS. If you have any questions about how to start this process, please contact someone from the Source Protection Unit at (860) 509-7333.



Phone: (860) 509-7333 • Fax: (860) 509-7359  
Telecommunications Relay Service 7-1-1  
410 Capitol Avenue, P.O. Box 340308  
Hartford, Connecticut 06134-0308  
[www.ct.gov/dph](http://www.ct.gov/dph)

*Affirmative Action/Equal Opportunity Employer*



Sincerely,

A handwritten signature in blue ink, appearing to read "MBSmith".

Mandy B. Smith  
Supervising Sanitary Engineer  
Drinking Water Section

c: Robert Miller, Director of Health, Eastern Highlands Health District  
Eric McPhee, Source Water Assessment and Protection Unit  
Chris Stone, Central WUCC Chair, MDC  
Ryan Goad, Consulting Engineer, CMG Environmental

ITEM #2

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APPLICATION FOR WELL SITE APPROVAL



STATE OF CONNECTICUT DEPARTMENT OF PUBLIC HEALTH  
DRINKING WATER SECTION

APPLICATION FOR A PUBLIC WATER SYSTEM WELL SITE SUITABILITY CERTIFICATION

*PLEASE REFER TO INSTRUCTIONS FOR COMPLETING THE APPLICATION FOR A PUBLIC WATER SYSTEM WELL SITE SUITABILITY CERTIFICATION PRIOR TO FILLING OUT.*

*Application will be returned if it is incomplete*

**Section A. Public Water System and Applicant Information**

PWS Name: Bestway Bolton

Project Name: Bestway Bolton

Project Address: 271 Hop River Road, Bolton CT 06043

PWSID Number: CT \_\_\_\_\_ PWS Type (select one):  Community  NTNC  TNC

Town: Bolton DPH Project Number (if known): 2021-0194

Print Name of PWS Administrative Official: Asif Choudhry

Title: Manager

Address: IMS Petroleum, LLC

96 Route 32

Franklin, CT 06254

Phone Number: (860) 287-7181

Fax Number: \_\_\_\_\_

E-mail Address: asifman500@gmail.com

Name of Consultant C. Ryan Goad

Company Name: CMG Environmental, Inc.

Address: 67 Hall Road

Sturbridge, MA 01566

Phone Number: (774) 241-0901 x105 or (860) 729-4957 [mobile]

Name of Licensed Well Driller (must be licensed in CT): LaFramboise Water Service, Inc.

CT License Number: WWC.0000013-W1

Address: 647 Thompson Road (P.O. Box 303), Thompson CT 06277

Phone Number: (860) 923-9543



APPLICATION FOR A PUBLIC WATER SYSTEM WELL SITE SUITABILITY CERTIFICATION

Section B. Well Information

1. Purpose of proposed well (Check One):

- New Public Water System Source  Replacement Well  Supplemental Well

2. Name of Proposed Well: Well #1

Type:  Bedrock  Gravel Packed  Other \_\_\_\_\_

3. Desired Withdrawal Rate (check one):

- <10 gallons per minute (gpm)  10-50 gpm  >50 gpm

4. Indicate address where well will be located or closest town road or intersection:

271 Hop River Road, Bolton CT 06043 (U.S. Route 6)

5. Latitude and Longitude of proposed well site:

Lat: N 41° 46' 59.10" Long: W 72° 26' 06.81"

6. Is proposed well site staked or marked in the field?  Yes  No

Section C. Well Site Characteristics

1. Is the proposed well site located above the FEMA100-year flood elevation?  Yes  No (See RCSA Section 19-13-

B102(d)(1)(A) and instructions for completing.) Determination by Fedus Engineering for PZC Site Plan Review using FIRM 09011C0228G dated 6/1/1981.

2. Does the public water system have full control (ownership) of the entire sanitary radius of the proposed well? If the public water system does not have control of the sanitary radius, indicate below how control will be obtained. YES

3. Indicate the locations of all nearby existing public and private wells, their corresponding distances to the proposed well and provide a brief description of potential effects the proposed new source of supply may have on these nearby systems.

On-site private supply well to be abandoned and replaced with subject well. Bolton has no municipal public water supply, so all properties in the vicinity use private wells. There are 6 properties with private wells within 500 feet. The low pumping rate of the planned well is unlikely to affect these properties.

Section D. Map Information

Attach a scaled site or street/zoning map certified by a Professional Engineer or Land Surveyor licensed in the State of Connecticut containing the following items:

- Location of proposed well(s) with GPS points noted
- Adjacent public and private active/inactive well(s) that will be tested for interference during the yield test, if applicable (CGS 25-33(b))
- Show the appropriate sanitary radius as listed in Section E Table 2.
- Sanitary Land conservation easement boundary, if applicable
- Existing and potential sources of pollution within 200 feet (see Section E Table 2)
- Topographic contours appropriate for the scale of the map.
- 100-year flood elevation contour, if applicable
- North arrow
- Annual high water mark, wetland delineation, surface water bodies and watercourses (perennial and intermittent)

**APPLICATION FOR A PUBLIC WATER SYSTEM WELL SITE SUITABILITY CERTIFICATION**

**Section E. Sources of Pollution**

1. Are there any known existing contaminated areas, as classified by the CT Department of Environmental Protection within a 1,500-foot radius of the proposed well site?  Yes  No; If yes, then describe below the current condition of the area and indicate separating distances from proposed well site. See attached narrative.

2. Complete the following table:

Pollution Source	Required separation distances (feet) based on well pumping rate			Actual Separation Distance (feet)
	< 10 gpm	10-50 gpm	> 50 gpm	
Subsurface Sewage System (septic tank/leaching fields)	75	150	200	97
Sanitary Sewer-Minimum separating distances may be reduced under specific conditions. Refer to the instructions for details.	75	150	200	N/A
Storm Drain	25	50	50	>75
Foundation, Floor Drain	25	50	50	>75
Dry Well	75	150	200	>75
High Water Mark for Surface Water Body	25	50	50	>75
Liquid Fuel Storage Tank/Piping	75	150	200	145


**Section F. Dioxin, Endothall, Beta Particle and Photon Emitter Assessment**

The purpose of this section is to obtain an assessment to determine if the proposed site of a source of supply/well will be required to be tested for Dioxin, Endothall and /or Beta Particle and Photon Emitters.

1. Complete and attach "Certification Form for Dioxin and Endothall". Required only for Community and Non-Transient Non-Community Water Systems; refer to the instructions for guidance.
2. Complete and Attach "Certification Form for Beta Particle and Photon Emitters". Analyses required only for Community Water Systems, refer to the instructions for guidance

**Section G. Certification Statement**

I certify to the best of my knowledge that the information provided in this application is complete and correct. I understand that the information I provide will be used by the Department of Public Health, Drinking Water Section to determine if a Well Site Suitability Certification can be granted. I further understand that if an approval is issued, the well must be drilled in the location approved by the Department.

  
 \_\_\_\_\_  
 Signature of Applicant

1/20/22  
 \_\_\_\_\_  
 Date

Asif Choudhry, Manager, IMS Petroleum, LLC  
 \_\_\_\_\_  
 Name of Applicant (print or type)

Manager  
 \_\_\_\_\_  
 Title (if applicable)

**APPLICATION FOR A PUBLIC WATER SYSTEM WELL SITE SUITABILITY CERTIFICATION**

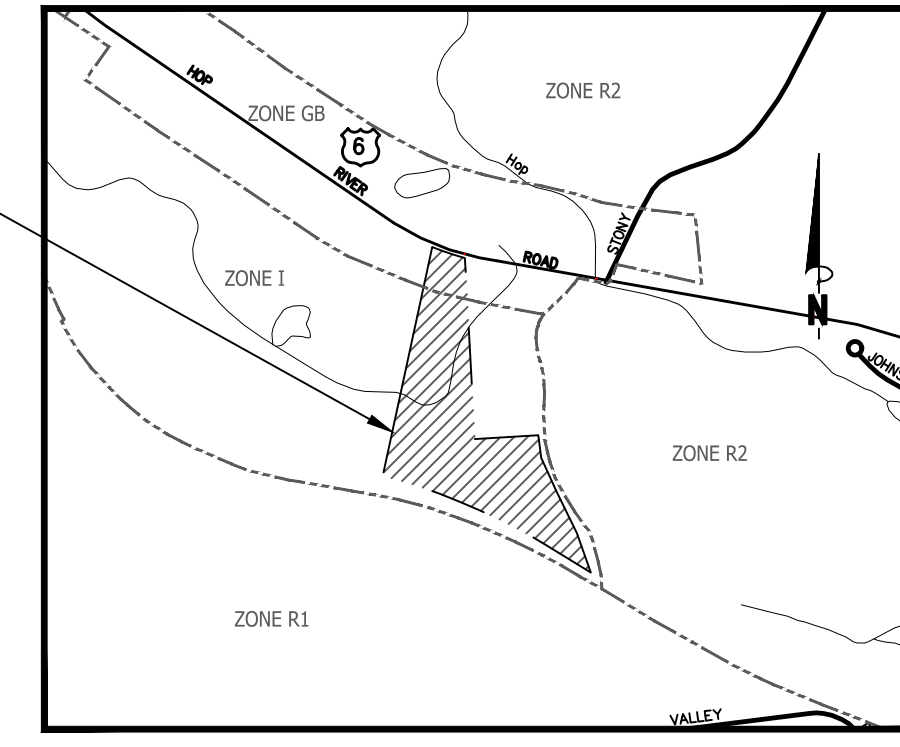
This application along with additional information on the public water system well approval process is located on the DPH Drinking Water Section's web page: [www.ct.gov/dph](http://www.ct.gov/dph) click on "Programs and Services" then "Drinking Water"

<b>Drinking Water Section Use Only</b>	
Date Stamped: _____	Project No: _____
Assigned Staff Person: _____	

GB ZONING REQUIREMENTS TABLE				
SECTION	REGULATION	REQUIREMENTS	EXISTING	PROPOSED
11C	MINIMUM LOT SIZE	40,000 SF	639,104 SF	639,104 SF
11C	MINIMUM LOT FRONTAGE	200'	180'*	180'*
11C	MINIMUM FRONT YARD	35'	50.3'	50.3'
11C	MINIMUM SIDE YARD	*	33.8' (E), 76.7' (W)	40.8' (E), 84.2' (W)
11C	MINIMUM REAR YARD	*	1,088.7'	1,088.7'
11C	MAXIMUM BUILDING HEIGHT	40'	< 45'	18.25'
11C	MINIMUM FLOOR AREA	600 SF	5,674 SF	5,024 SF
11C	MAXIMUM LOT COVERAGE	25%	1.1%	0.8%
11C	MAXIMUM IMPERVIOUS COVERAGE	65%	2.8%	4.9%
11J	MINIMUM LANDSCAPING IN GB	25% OF LOT	-	-

\* THE MINIMUM SIDE AND REAR YARD IN THE INDUSTRIAL ZONE SHALL BE 50 FEET WHERE ABUTTING A RESIDENTIAL ZONE (SEE § 11.1C)  
 \*\*EXISTING NON-CONFORMING CONDITION

PARKING REQUIREMENTS				
SECTION	REGULATION	MAXIMUM REQ.	MINIMUM REQ.	PROPOSED
15-O	FREE STANDING RETAIL	5 PER 1,000 SF GROSS FLOOR AREA 5,024 SF x 5 PER 1,000 = 25.1	2 PER 1,000 SF GROSS FLOOR AREA 5,024 SF x 2 PER 1,000 = 10.1	22 SPACES

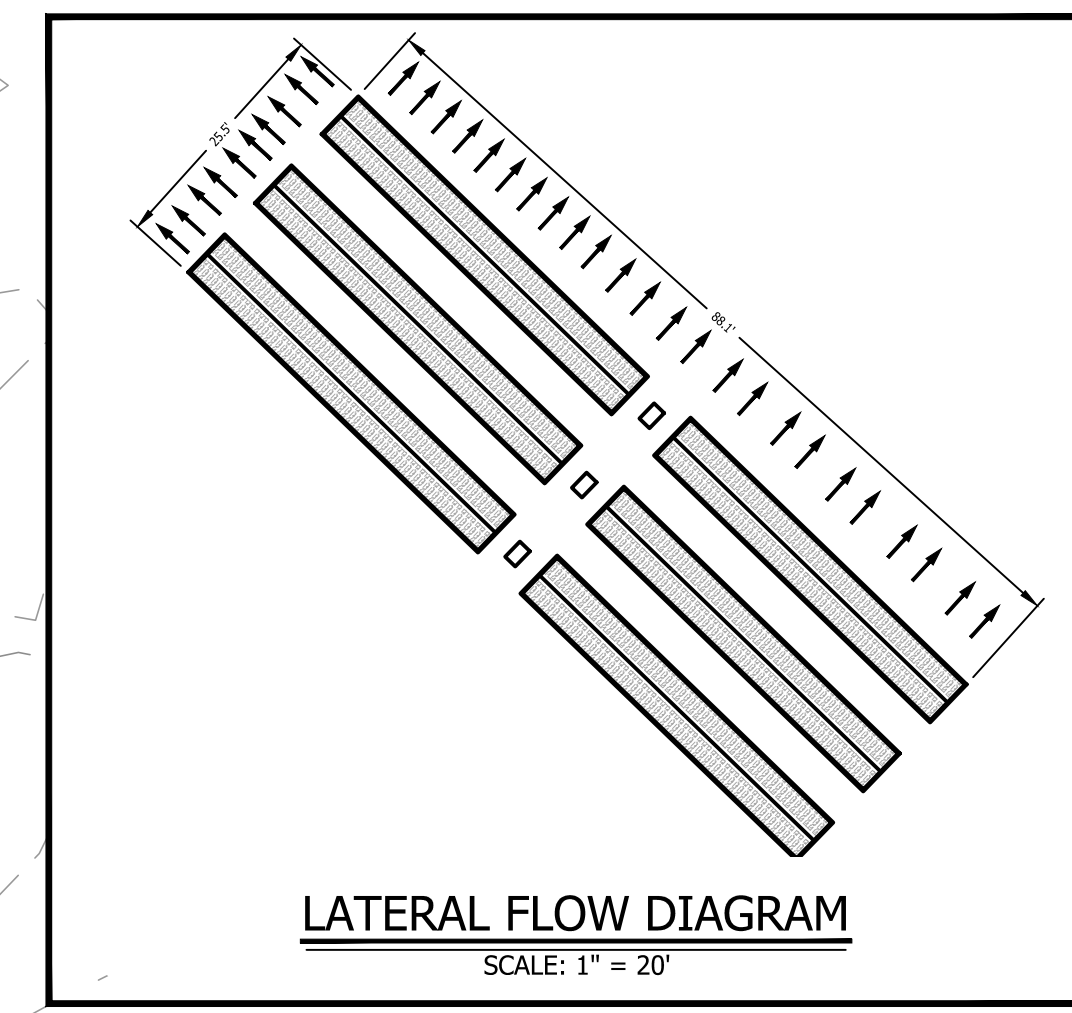


Location Map  
Scale: 1"=1000'

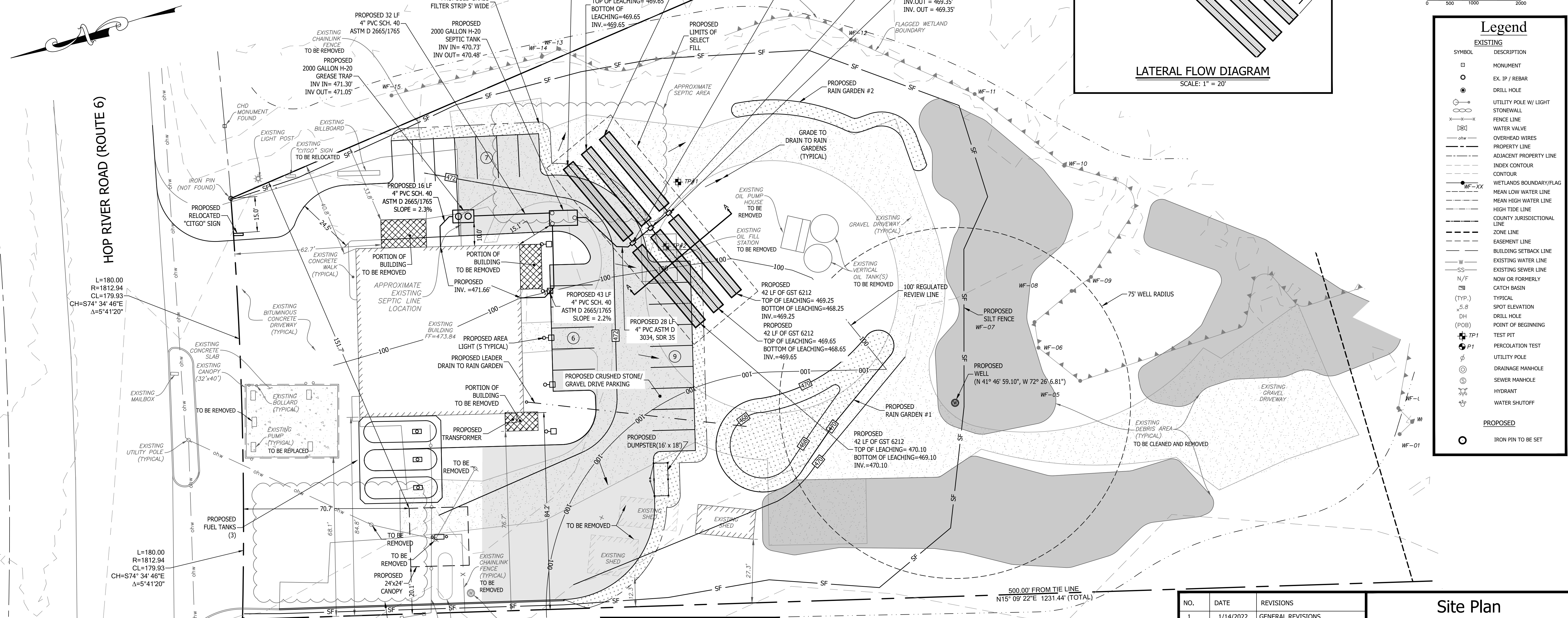
0 500 1000 2000

Legend

EXISTING	
SYMBOL	DESCRIPTION
□	MONUMENT
○	EX. IP / REBAR
●	DRILL HOLE
○	UTILITY POLE W/ LIGHT
—	STONEWALL
—	FENCE LINE
—	WATER VALVE
—	PROPERTY LINE
—	ADJACENT PROPERTY LINE
—	INDEX CONTOUR
—	CONTOUR
—	WETLANDS BOUNDARY/FLAG
—	MEAN LOW WATER LINE
—	MEAN HIGH WATER LINE
—	HIGH TIDE LINE
—	COUNTY JURISDICTIONAL LINE
—	ZONE LINE
—	EASEMENT LINE
—	BUILDING SETBACK LINE
—	EXISTING WATER LINE
—	EXISTING SEWER LINE
—	NOW OR FORMERLY
—	CATCH BASIN
—	TYPICAL
—	SPOT ELEVATION
—	DRILL HOLE
—	POINT OF BEGINNING
—	TEST PIT
—	PERCOLATION TEST
—	UTILITY POLE
—	DRAINAGE MANHOLE
—	SEWER MANHOLE
—	HYDRANT
—	WATER SHUTOFF
PROPOSED	
○	IRON PIN TO BE SET



LATERAL FLOW DIAGRAM  
SCALE: 1" = 20'



DEEP TEST PIT DATA / SOIL DESCRIPTIONS	
PERFORMED BY: FEDUS ENGINEERING, LLC - GREGG FEDUS, P.E.	
WITNESSED BY: EASTERN HIGHLANDS HEALTH DISTRICT	
DATE: 8-12-21	

TEST PIT: 1	
0'-33"	TOPSOIL FILL
33'-54"	BROWN SANDY LOAM
57'-66"	RED BROWN SAND, WITH GRAVEL
66'-95"	BROWN SILTY SAND
MOTTLES: 66"	
GROUNDWATER: 95"	
LEDGE: NO	
ROOTS: NO	
RESTRICTIVE: 66"	

TEST PIT: 2	
0'-30"	TOPSOIL FILL
30'-39"	ORGANIC TOPSOIL
39'-53"	RED-BROWN SANDY LOAM
53'-96"	GRAVEL/BROWN SILTY LOAM
MOTTLES: 53"	
GROUNDWATER: NO	
LEDGE: NO	
ROOTS: NO	
RESTRICTIVE: NO	

217 HOP RIVER ROAD - SEPTIC DESIGN DATA RETAIL STORE DESIGN	
5,040 SF RETAIL STORE = 5,040 SF x 0.1 GPD/SF = 504 GPD	
DESIGN FLOW = 1,200 GPD	
PERCOLATION TEST - USE LESS THAN 10.1 MIN/INCH	
TABLE 7 PROBLEMATIC SEWAGE	
REQUIRED ELA = DESIGN FLOW/APPLICATION RATE	
1,200 GPD / 0.80 RATE = 1,500 SF	
LEACHING TRENCH GST 6212 = 10.0 SF/LF	
MINIMUM REQUIRED TRENCH = 150.00 LF	
TRENCH PROVIDED = 246	
EFFECTIVE LEACHING PROVIDED = 2,460 SF	
MLSS = HF x FF x PF	RS = 36"
HF = 28.0	HYDRAULIC GRADIENT = (471.19'-467.61')/72' = 4.97%
FF = 4.0	
PF = 1.0	
MLSS = 28 x 4.0 x 1.0 = 112 LF	
PROVIDED 88 + 25 = 113 LF. NEEDED 112 LF OKAY WITH 2 SIDE LATERAL FLOW.	

Subject Parcel Information	
OWNER:	IMS PETROLEUM, LLC
PARCEL ADDRESS:	271 HOP RIVER ROAD, BOLTON, CT 06043
MAILING ADDRESS:	271 HOP RIVER ROAD, BOLTON, CT 06043
MBL:	8/106
DEED:	VOLUME 185 PAGE 947
AREA:	639,104.1± SF = 14.6± AC
FLOOD ZONE:	ZONE X PER FIRM MAP # 09011C0228G
	EFFECTIVE DATE: 6/1/1981

NO.	DATE	REVISIONS
1	1/14/2022	GENERAL REVISIONS

Site Plan  
of  
271 Hop River Road  
Bolton, Connecticut  
Prepared For:  
Asif Choudry  
January 3, 2022

DRAWING SCALE: 1"=20'  
0 10 20 40

**FEDUS ENGINEERING, LLC**  
 CIVIL ENGINEERS  
 Mailing Address: 70 Essex Street Mystic, Connecticut 06355  
 Office: (860) 536-7390 Fax: (860) 536-1644

Gregg T. Fedus P.E.  
 CT. License No. 21231

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SECTION E ADDENDUM  
TO APPLICATION FOR A PUBLIC WATER SYSTEM  
WELLSITE SUITABILITY CERTIFICATION

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**TO:** CT Department of Public Health  
**FROM:** C. Ryan Goad, Hydrogeologist  
**SUBJECT:** Section E. – Sources of Pollution, 271 Hop River Road, Bolton CT  
**DATE:** 1/18/2022

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CMG contracted Environmental Data Resources, Inc. (EDR) of Shelton, Connecticut for a review of state and federal environmental database listings on October 20, 2021. The following summarizes results of that database review for properties within 1,500' of the subject Site.

FEDERAL RECORDS (EPA)

No records of polluted sites (e.g., National Priority List [NPL, a/k/a Superfund] sites. The easterly-adjointing property at 299 Hop River Road is a Superfund Enterprise Management System [SEMS, formerly CERCLIS]) site that underwent federal investigation in the 1980s. However, EPA referred it to the Department of Environmental Protection (DEP<sup>1</sup>) for additional action (i.e., it is not a Superfund site).

STATE RECORDS (DEEP)

EDR identifies a Significant Environmental Hazard notification for the 299 Hop River Road property in 2017. The entry indicated groundwater contaminants present at that property threaten its supply well, and DEEP directed the owners to sample nearby water supply well. The 299 Hop River Road property is on the list of Contaminated and Potentially Contaminated Sites due to a 2015 Form III submittal under the Connecticut Transfer Act (a Form III indicates operations at an 'Establishment' resulted in environmental contamination, but its degree & extent is not fully known at the time of property transfer).

However, publicly-available DEEP files (visit date 12/14/21) contain no information on 299 Hop River Road beyond mid-1980s notices to its former operators (Clark Dewatering, Ltd. & Griffin Dewatering) to submit annual hazardous waste generator reports. There were no readily available files regarding remediation at that property or potential risks to human health and the environment.

The subject 271 Hop River Road property has a number of reported oil and/or chemical spills from the 1990s to present. The majority of those were releases of petroleum due to site activities and did not exceed 50 gallons (the Site operated as a home heating oil distributor for many years, in addition to its operation as a gasoline filling station up until approximately 2015). DEEP lists all spills up to September 2021 as 'Closed.'

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<sup>1</sup> DEP merged with the Department of Public Utility Control in July 2011 to become the Department of Energy and Environmental Protection (DEEP).

## MEMORANDUM

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In September 2021, the current owner removed the former filling station's gasoline and diesel fuel underground storage tanks (USTs) and notified DEEP of a UST release during their closure assessment on 9/28/2021. DEEP assigned case #2021-04234 to identify the release, and assigned Leaking Underground Storage Tank (LUST) identification #61784 to the Site.

CMG was unable to identify any further information regarding this release (which we identified from DEEP's public records search page; the information in the EDR database did not yet include this spill case at the time we ordered it).

CMG notes the former UST area is outside the sanitary radius of the planned supply well (as is the planned UST area).

A copy of the EDR report is attached.



ITEM #3 [ATTACHMENT #1]

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ATTACHMENT #1 – ADD CALCULATION WORKSHEET

**Non-Community Phase I-A Certificate of Public Convenience and Necessity (CPCN)**

**Average Daily Demand (ADD) Calculation Worksheet for Item #4**

The average daily demand (ADD) in gallons per day (GPD) for a system shall be calculated based on “Design Flows” identified in Section IV of the most recent revision of the “Technical Standards for Subsurface Sewage Disposal Systems”. Documentation from the local building official for the town in which the project is to be constructed with regards to the use of building space may be necessary to determine the design flow. If demonstrated to and approved by the DPH, historic or available water use data for a specific facility times a safety factor of 1.5 may be used in lieu of calculated daily design flows.

The most recent version of the Technical Standards referenced above is 1/1/2004, and are available by using this link: [http://www.ct.gov/dph/lib/dph/environmental\\_health/environmental\\_engineering/pdf/Technical\\_Standards\\_2011Final\\_Master.pdf](http://www.ct.gov/dph/lib/dph/environmental_health/environmental_engineering/pdf/Technical_Standards_2011Final_Master.pdf)

The “# Persons” is the number of pupils, employees, camp spaces, beds, seats, etc. as indicated on the Design Flows table in the Technical Standards. Indicate which category used. If more than one category is used, calculate each category separately and sum.

Is historic or other available water use data being used in lieu of calculated design flows (Y/N)? N  
If yes, submit justification for the use of that data and use the following calculation:

ADD: \_\_\_\_\_ X 1.5 (factor of safety) = \_\_\_\_\_

If using the referenced technical standards, use the following table for calculating the ADD.

<u># Persons</u>	<u>GPD per person (from Tech. Stds.)</u>	<u>Total GPD</u>
Category: <u>Planned septic discharge</u>		
_____ X	_____	= <u>2,000</u>
Category: _____		
_____ X	_____	= _____
Category: _____		
_____ X	_____	= _____
Category: _____		
_____ X	_____	= _____
Category: _____		
_____ X	_____	= _____

**FOR DWS USE ONLY**

DWS Project #: \_\_\_\_\_ DPUC Docket#: \_\_\_\_\_

Review:  Satisfactory  Unsatisfactory

Date of determination: \_\_\_\_\_

Revised: 11/2/05

$$\text{Total projected ADD} = \frac{2,000 \text{ GPD}}{\underline{\hspace{2cm}}}$$

ITEM #4

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PLAN FOR CONTROLLING POLLUTION SOURCES

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PHASE IA, QUESTION #4 ADDENDUM  
TO APPLICATION FOR A NON-COMMUNITY CPCN

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**TO:** CT Department of Public Health  
**FROM:** C. Ryan Goad, Hydrogeologist  
**SUBJECT:** Phase IA, Item #4 (Plan for Controlling Pollution Sources), 271 Hop River Road, Bolton CT [DPH Project #2021-0194]  
**DATE:** 12/1/2021

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1. SITE DESIGN

The planned pumping rate is <10 gpm, which results in a 75' sanitary radius for the planned well. The planned USTs and septic system are outside this sanitary radius. The double-walled USTs and piping will utilize the latest Veeder-Root™ automated inventory control and release detection system, and USTs will comply with all DEEP requirements for release prevention and detection. The supply well casing will be grouted into bedrock to minimize potential migration of overburden groundwater into the bedrock aquifer beyond what is naturally-occurring.

2. INITIAL WATER QUALITY TESTING

Initial supply well water quality analyses will include volatile organic compounds (VOCs) by EPA Method 524.2, polynuclear aromatic hydrocarbons (PAHs) by EPA Method 625 SIM, dissolved lead, extractable total petroleum hydrocarbons (ETPH), and per- and poly-fluoroalkyl substances (PFAS) by EPA Method 537.1 in addition to required analyses for a TNC well. CMG may substitute the Massachusetts VPH/EPH methodology in lieu of ETPH. This will allow identification of and more precise discrimination between gasoline and diesel fuel/fuel oil impacts within the bedrock aquifer. CMG currently has no reason to suspect petroleum impacts to the bedrock aquifer at the Site (based on previous Site bedrock well analyses), but we nonetheless believe these analyses are prudent due to installation of a new supply well and documented petroleum releases to overburden at the property.

In the event initial testing identifies petroleum impacts, CMG will contract installation of a granular activated carbon point-of-entry treatment system to remove such impacts. Any treatment system design will incorporate appropriate treatment methodologies to remove sediment, metals, correct hardness, etc. and will be determined based on water quality results to be determined during the water quantity and quality testing process.

3. HOUSEKEEPING & EMERGENCY RESPONSE

The Site operators will keep it in general and the sanitary radius in particular in a clean and orderly manner to minimize potential impacts to drinking water quality from spills or improper material storage. Any evidence of a potential petroleum release will be investigated immediately, and will include collection of untreated water samples for petroleum constituent analyses. Any evidence of septic system “breakout” will be likewise addressed, and will include drinking water analyses for coliform bacteria and nitrates/nitrites.

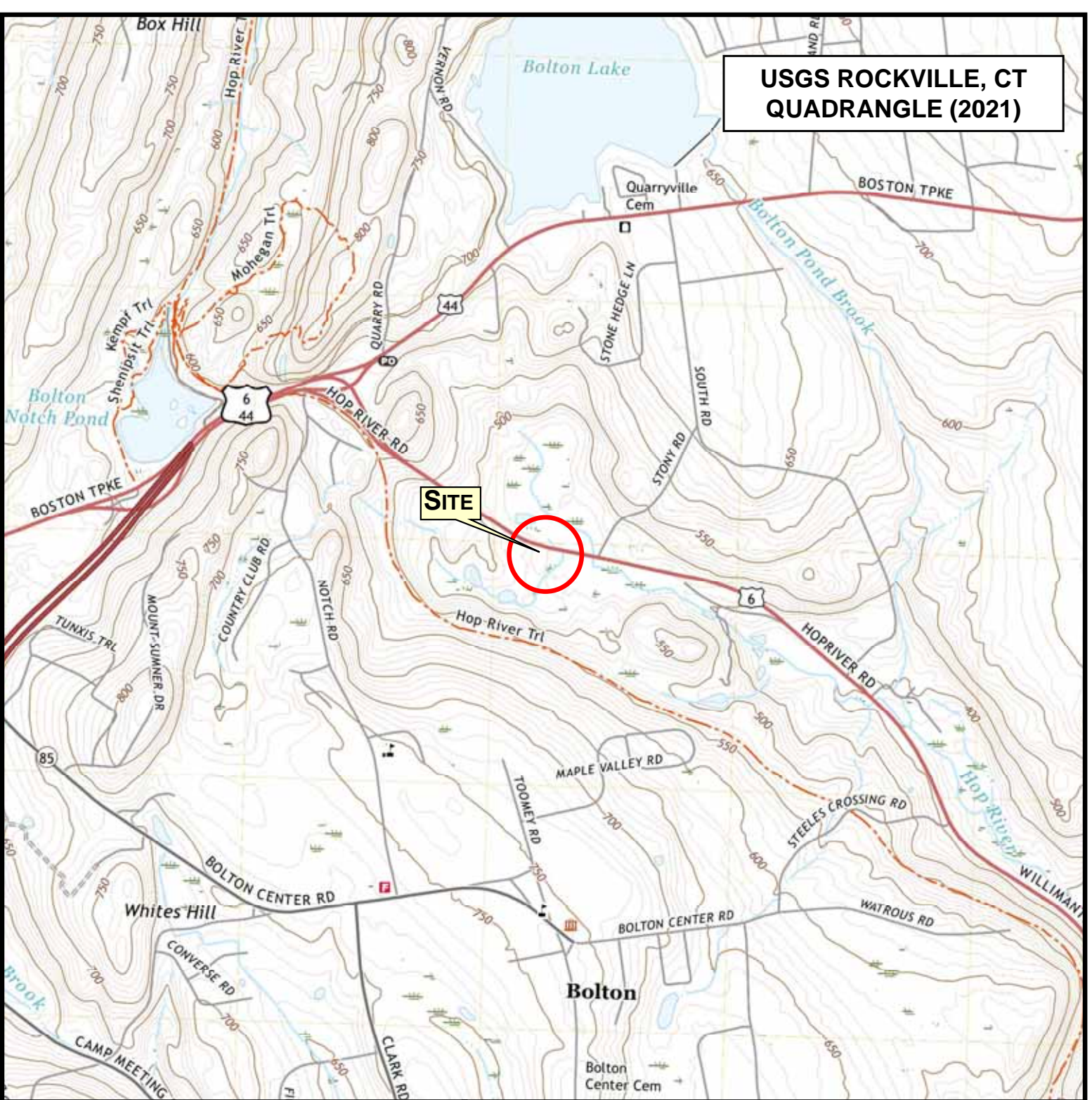
ITEM #5

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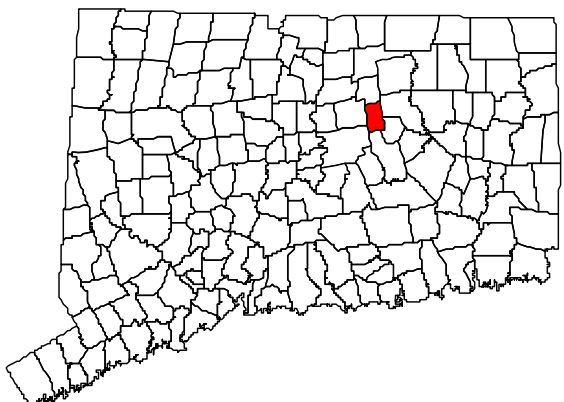
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TOPOGRAPHIC MAP

**USGS ROCKVILLE, CT  
QUADRANGLE (2021)**

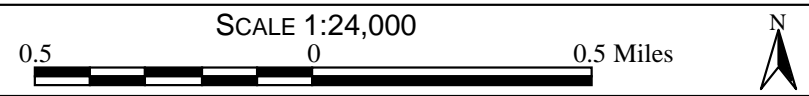


**SITE**



TOWN LOCATION – BOLTON, CT

**SITE LOCATION**  
271 HOP RIVER ROAD  
BOLTON, CONNECTICUT  
CMG ID 2021-179



**ENVIRONMENTAL SERVICES** **CMG** **ENGINEERING SERVICES**  
EST. 2002

67 HALL ROAD, STURBRIDGE MA 01566

ITEM #6 [ATTACHMENT #2]

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ATTACHMENT #2 – TMF CAPACITY EVALUATION



**TECHNICAL, MANAGERIAL, & FINANCIAL (TMF) CAPACITY EVALUATION**

All new public water systems must develop and maintain adequate financial, managerial, and technical capacity to meet the requirements of state and federal regulations. The answers given to the following questions will be used to evaluate the knowledge and awareness of the property owner with the responsibility of owning a public water system.

<b>General Questions (Managerial Capacity)</b>	
1. Do you have any experience with the ownership and/or operation of a business? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. Operation of retail gasoline filling stations with convenience stores (Bestway).	
2. Do you have previous experience with the ownership and/or operation of a public water system? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. Two operating Bestway convenience stores (Bozrah & Franklin CT), one under construction in Montville CT.	
3. Are you familiar with the state and federal regulations regarding public water systems? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Have you read these regulations? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
4. Who will be responsible for management of the water system?IMS Petroleum, LLC, 96 Route 32, Franklin CT 06254	

<b>Proposed Water System Information/Operation (Technical Capacity)</b>	
5. Is the proposed building site suitable for drinking water source development? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
6. How will the drinking water source of supply sanitary radius be protected and adequate sanitary conditions maintained? Site design by Professional Engineer Gregg T. Fedus (PEN.0021231) to meet sanitary radii for PWS well pumping <10 gpm	
7. What local approvals are required (zoning, construction, etc.)? Which, if any, have been obtained? Septic system approval by Eastern Highlands Health District; Town of Bolton Planning & Zoning and Inland Wetlands Commissions approvals. IWC approved, PZC application pending.	
8. Have you contracted with a Professional Engineer or water system professional for the design of the proposed water system? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, who? LaFramboise Water Service, Inc.	
9. What classification of water system will the facility be? (C, NTNC, or TNC)	10. Will this proposed water system require a certified operator? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
11. What are the water quality monitoring requirements for this public water system classification? Quarterly per TNC	

**FOR DWS USE ONLY**

DWS Project #: \_\_\_\_\_

DPUC Docket#: \_\_\_\_\_

requirements.

12. Have you contacted a Connecticut-certified laboratory(ies) regarding water quality monitoring costs?  
 Yes  No  
 What lab(s) and what is estimated cost? Microbac Laboratories, Inc.; Initial testing ~\$1,000; quarterly TNC testing ~\$50-\$100 along with \$20-\$50 annual test.

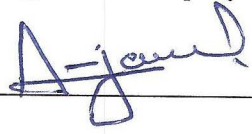
13. What services are the lab(s) you contacted offering to provide? (This may include reporting to the DWS.) Microbac is DPH certified laboratory #PH-0465. They provide a full range of Safe Drinking Water Act analyses suitable for CT public water systems. Drinking water analyses are segregated from other analyses (Clean Water Act & RCRA) to prevent cross-contamination and ensure low reporting limits protective of human health in accordance with 40 CFR Part 141 (National Primary Drinking Water Regulations).

14. Are you aware that future regulations may result in additional monitoring requirements for public water systems?  
 Yes  No

15. Are you aware that the water system may need continuous water treatment, depending on results of water quality tests?  
 Yes  No

<b>Financial Capacity Information</b>			
16. How will construction of the water system be paid for? Owner-financed	17. Name of Lending Institution (if applicable) N/A		
18. What is the cost estimate for the proposed water system? \$50,000	19. If none, when will it be completed?		
20. Are you aware of future costs associated with a public water system? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	21. How will the annual costs be paid for? Operations revenue (fuel, food & gen. merch. sales)		
22. Estimated Annual Monitoring Cost \$1,000	23. Estimated Annual Operating Cost \$1,500	24. Estimated Annual Maintenance Cost \$1,000	
25. How do you plan to handle emergency repair situations? Owner-financed	26. How will emergency costs be paid for? Owner-financed		
27. Do you plan to, or have you, set up a reserve fund for annual/emergency costs? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If so, what type(s)? (e.g. escrow)			

Signature of Property Owner/Legal Contact: Asif Choudhry



1/12/22

Date: \_\_\_\_\_

Print name: Asif Choudhry

**FOR DWS USE ONLY**

DWS Project #: \_\_\_\_\_ DPUC Docket#: \_\_\_\_\_

Evaluation Review:  Satisfactory  Unsatisfactory

Date of determination: \_\_\_\_\_

Revised: 12/6/04<sup>3</sup>

ITEM #7

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DESCRIPTION OF GROUNDWATER QUALITY & SUBSURFACE SOILS

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PHASE IA, QUESTION #7 ADDENDUM  
TO APPLICATION FOR A NON-COMMUNITY CPCN

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**TO:** CT Department of Public Health  
**FROM:** C. Ryan Goad, Hydrogeologist  
**SUBJECT:** Phase IA, Item #7 (Groundwater Class. & Soil Type, 271 Hop River Road, Bolton CT [DPH Project #2021-0194]  
**DATE:** 12/1/2021

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GROUNDWATER QUALITY CLASSIFICATION

DEEP classifies Site & vicinity groundwater as GA-Impaired. This identifies areas of groundwater normally classified GA (which DEEP assigns to all groundwater unless otherwise indicated) but that do not meet GA groundwater quality standards due to documented oil and/or hazardous materials impacts. Source: CTECO Advanced Map Viewer:

<https://cteco.uconn.edu/viewer/index.html?viewer=advanced>

SOIL CLASSIFICATION

The USDA Natural Resources Conservation Service identifies soils within the planned well's sanitary radius as "Udorthents." These consist of human-reworked loamy soils with slow infiltration rates that impede downward movement of water (or soils with moderately fine or fine textures). However, USDA and Environmental Data Resources, Inc. (EDR, of Shelton CT, an environmental records database provider) further identifies these as "well drained" with "moderate" corrosion potential to uncoated steel.

EDR's database report further classifies this type of soil as follows (generally):

- 0-5": loam – fine-grained soils, silts and clays, with saturated hydraulic conductivity (K) between 4 and 14  $\mu\text{m/s}$  (1-4 ft/day);
- 5-21": gravelly loam – coarse-grained soils, sands, sands with fines, silty sand, with saturated K between 0.01 and 703  $\mu\text{m/s}$  (0.003-200 ft/day); and
- 21-79": very gravelly sandy loam – coarse-grained soils, sands, sands with fines, silty sand, with saturated K between 0.01 and 703  $\mu\text{m/s}$  (0.003-200 ft/day).

ITEM #8

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---CERTIFIED OPERATOR NOT REQUIRED FOR TNC SYSTEM---

ITEM #9

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LETTER FROM BOLTON PLANNING DEPARTMENT



# Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

LAND USE DEPARTMENT  
(860) 649-8066 Phone  
(860) 643-0021 Fax

January 19, 2022

State of CT  
Dept. of Public Health  
Dept. of Public Utility Control

Re: 271 Hop River RD  
DPH-DWS Project #2021-0194

Dear Sir/Madam:

The Town of Bolton is in receipt of a request to provide a detailed letter from the Planning Department indicating any known, probable future building areas within one (1) mile of the above-referenced property address. Please be advised that this property, along with several parcels within the designated one (1) mile radius fall within the General Business and Industrial zones, which allow for commercial development subject to Sections 8 & 9 of the Bolton Zoning Regulations. While this department is unable to provide a definitive determination of future building areas and/or development within a one mile radius of the subject property, it can, at this time, identify the following possible and/or probable future project:

**1 Notch Rd (aka 17 Wall St)** - Special Permit issued in May, 2021 for Excavation Business, Equipment Storage & Material Processing Areas.

Please be advised that the Town does not attest to the foregoing, and that the information provided is subject to change. Also, the Coventry town line is slightly located within that one (1) mile radius and the Town of Bolton cannot determine or attest to any possible, future development within that town. Please do not hesitate to contact this department should you have any further questions or need additional information.

Regards,

Patrice Carson  
AICP, Director of Community Development



**GEOSCIENCE TECHNICAL SERVICES INC.**

P.O. Box 1036  
Old Lyme CT 06371  
(860) 434-3144

February 2, 2022

Town of Bolton  
222 Bolton Center Road  
Bolton CT 06043

re: 271 Hop River Road, Bolton

Ladies and Gentlemen:

This letter conveys our plan for removing contaminated soil related to former underground tanks at 271 Hop River Road in Bolton (the Site). The Site is the subject of our Phase I Environmental Assessment documented in a report dated April 13, 2021. Five underground storage tanks were removed by Service Station Equipment from the area west and northwest of the building in late September 2021. The tanks, designated G1 to G5, were removed from locations shown in the attached image. Confirmation soil samples collected in the tank graves indicated the presence of contamination primarily expressed as volatile organic compounds (VOC's) related to gasoline. The contamination was located below and adjacent to the water table which lay at a depth of about 8 feet below the ground surface. Concentrations of VOC's exceeding certain criteria established by the Department of Energy and Environmental Protection (DEEP) were detected in one or more samples collected from the tank G2, G3, G4, and G5 graves.

*former locations of G1, G2, and G3* In January 2022, two replacement underground tanks were installed in an area enclosed by staging. The enclosed area (Area A), marked in the attached image, encompasses the locations of former tanks G4 and G5 and impinges on the location of G3. Prior to installing the replacement tanks, soil was excavated in Area A from the ground surface to a depth of 13 feet. The soil consisted of gravelly sand which is very permeable. The water table was encountered at a depth of 8 feet. As soil was removed, samples were screened with a photoionization detector (PID) which senses volatiles. Samples from above the water table had very low to background readings on the PID. This soil was placed in a stockpile designated clean and potentially reusable for onsite use. Samples from below the water table had readings above 50 to 100 ppm or more indicating probable contamination above DEEP criteria. This soil was stockpiled separately in a stockpile designated contaminated. The PID readings were higher in the north and center of Area A. This is because the image shows that Area A extends farther south than former tanks G1, G2, and G3. We estimate that the current contaminated soil stockpile has a weight of 250 tons.

Excavation to a depth of 13 feet was necessary to install the replacement tanks. Pumping out ground water intruding into Area A was very difficult because of the permeable soil. It was necessary to mobilize four large frac tanks to the Site to temporarily store pumped water. Dewatering is being performed by Sovereign Consulting who obtained a discharge permit from DEEP. The permit allows treated water to be discharged to the local storm sewer system. A carbon treatment system is temporarily installed inside the Site building.

Later this week, staging will be installed around a smaller area (Area B) to enable installation of the third replacement tank. As shown in the image, this enclosure will extend over the remaining location of former tank G3. We will follow the screening procedure described above when removing soil from Area B: screening soil as removed and adding to the clean and contaminated stockpiles. We anticipate conditions will be similar to Area A: soil clean to just above the water table and contaminated soil below. The plan calls for excavation to a depth of 13 feet with dewatering.

To capture the northward extent of contamination from tanks G3, G4, and G5, excavation will take place in a third excavation (Area C) extending 10 feet north from the north side of Area A. The staging along the north side of Area A will be kept in place but the other sides of Area C will be open. We plan to extend excavation in Area C to the depth of the seasonal low water table which should be about 10 to 11 feet below the ground surface. The rationale for this depth is threefold: 1) petroleum contamination is usually most concentrated in the zone of the seasonally fluctuating water table (petroleum floats), 2) DEEP's most stringent soil criteria at the Site only extends to the seasonal low water table (GA Pollutant Mobility Criteria), and 3) with open boundaries, dewatering would much less effective than inside an area surrounded by staging. The procedure of screening and stockpiling soil will be the same as described above.

*tank G2* The tank removal soil samples indicate that contamination is less severe at the G2 location. An area (Area D) with approximate dimensions of 10 by 16 feet centered on G2 will be excavated to the depth of the seasonal low water table (10 to 11 feet). The rationale for this excavation depth follows that for Area C. Screening and stockpiling procedures will be the same as described above.

*diesel dispenser* During the tank removal, near-surface soil samples from product transfer line and dispenser locations were collected and analyzed. Results showed concentrations of petroleum hydrocarbons exceeding DEEP criteria at the former diesel dispenser. We will excavate at this location (beneath the canopy) following the contamination vertically to clean soil or the water table, whichever is encountered first.

*soil sample analysis* Soil samples collected from the following locations will be subjected to lab analysis for VOC's and petroleum hydrocarbons: two locations on the bottoms of Areas A and B; the three sidewalls of Area C and two locations on the bottom; the four sidewalls of Area D and one location on the bottom; and the bottom of the diesel dispenser excavation.

*soil disposal* Contaminated soil excavated from the former underground tank system will be disposed at the Clean Earth facility in Plainville CT. We have obtained approval from Clean Earth based on chemical characterization of the impacted soil. Transport of soil will be

performed by Service Station Equipment using triaxle trucks (nominal 20-ton capacity). The first nine loads of soil are being delivered to Clean Earth this week.

*reporting* A report will be prepared documenting the tank system removal, analysis of samples collected during the removal, excavation of soil in former tank locations (and the diesel dispenser), and analysis of samples collected in the excavations. The report will be submitted to DEEP and shared with the Town of Bolton.

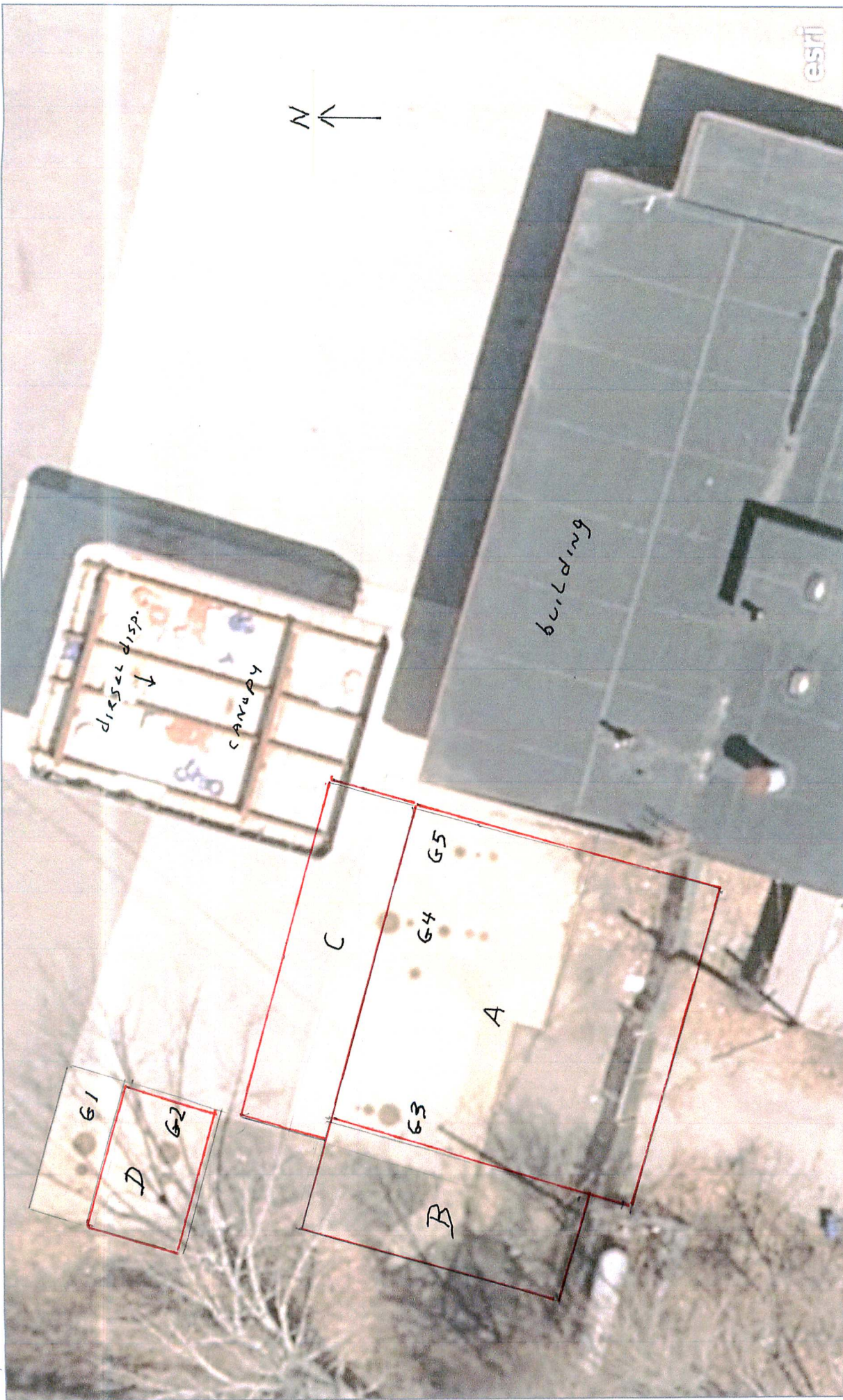
*liaison with DEEP* DEEP is involved with the project through the Underground Storage Tank (UST) unit and more recently through granting the water discharge permit. A DEEP representative observed part of the tank removals and a spill incident was reported by us when contamination was encountered. DEEP issued a letter to the Site owner pointing out his responsibility to perform remediation. We are keeping the supervisor of the UST unit apprised of our remedial activities. Like most remediation projects conducted in Connecticut, operations are being performed independent of DEEP following their protocols and criteria. DEEP will be reviewing review our tank closure report.

Please call me if you have any questions.

Yours truly,

*David O. Cook*

David O. Cook, Ph.D.  
President



18 ft

CRCOG/State of CT, State of Connecticut, Maxar, Microsoft

**GEOSCIENCE TECHNICAL SERVICES INC.**

P.O. Box 1036  
Old Lyme CT 06371  
(860) 434-3144

February 3, 2022

Town of Bolton  
222 Bolton Center Road  
Bolton CT 06043  
attn: Planning and Zoning

re: 271 Hop River Road, Bolton

Ladies and Gentlemen:

This letter summarizes the status of environmental investigation and remediation of property at 271 Hop River Road in Bolton (the Site). The Site was formerly occupied by M&M Plumbing & Heating who sold heating oil and motor fuels, serviced/repaired company and private vehicles, and were a plumbing/heating contractor. Environmental issues being addressed at the Site include removal of motor fuel underground storage tanks (UST's), excavation of petroleum-impacted soil associated with the UST's, cleanup of the building interior, cleanup of the grounds, and removal of two aboveground heating oil storage tanks (AST's).

*removal of UST's* Five UST's containing gasoline (four tanks) and diesel fuel (one tank) were removed in September 2021. The tanks ranged in volume from 5,000 to 7,000 gallons and were located west and northwest of the building. Associated product transfer lines and dispensers were also removed. Soil samples were collected from the tank graves, beneath transfer lines, and beneath dispensers and analyzed for potential contaminants associated with the product in question. Samples from four tank graves and from beneath the diesel dispenser contained contaminants with concentrations exceeding criteria established by the Connecticut Department of Energy & Environmental Protection (DEEP). The tank grave samples showed that the contamination associated with the UST's was located below the water table which was about 8 feet deep.

*excavation of soil associated with the UST's* Soil excavation is underway at the present time in connection with installation of replacement UST's. Three new tanks are being installed. The installation process includes excavation of soil to several feet below the water table. This is enabled by dewatering: pumping of ground water to large frac tanks, treatment of the water, and discharge to the local storm water drainage system. The area of installation coincides with former locations of three leaking tanks. Additional excavation is planned at three locations outside the new tank area: two associated with former UST's and one the former diesel dispenser. The soil is being screened during removal and segregated into clean and contaminated stockpiles. Samples

collected after excavation are being analyzed to document the effectiveness of removal. Stockpiled contaminated soil is being disposed at a licensed facility (Clean Earth, Plainville CT). We anticipate that several hundred tons of soil will be disposed. Also, about twenty-thousand gallons of contaminated ground water will be treated which serves a significant remedial purpose.

One additional UST was discovered recently, a smaller tank that contained heating oil for the building furnace. This tank will be removed and underlying soil excavated if sampling so dictates.

*cleanup of the building interior* M&M departed the Site in January. They left a substantial accumulation of auto-related debris, papers, and miscellaneous items in the building. The cleanup process will include removing debris/miscellaneous items, removal/proper disposal of contents of three oil AST's and smaller containers of waste oil and automotive liquids, removal of inground hydraulic lifts, and checking/remediation of soil associated with the lifts and floor drains. To date, we have segregated and performed some testing of the oil and liquid containers in preparation for disposal. Removal of lifts will take place following completion of UST soil removal. We are soliciting quotes for removal of debris which can be categorized as solid waste.

*cleanup of grounds* Before their departure, M&M removed most of the large quantity of empty tanks, vehicles, and debris behind the building. A few remaining vehicles and two sheds have to be removed. In December, we identified about a dozen areas of oil-stained soil on the ground surface which will be excavated. This can take place after the ground has thawed. Sampling also took place at several areas of concern identified in our Phase I assessment and no further action is required at three.

*heating oil AST's* The two 20,000-gallon heating oil tanks located behind the building are to be removed by the Site tank contractor, Service Station Equipment. Prior to removal, any residual oil will be pumped from the tanks. Removal of the tanks and associated piping and pumps will allow investigation of underlying soil. Preliminary sampling has revealed areas where soil removal will be necessary. We hope to address the heating oil AST's this spring and summer.

*interaction with DEEP* A DEEP inspector visited the site during the UST removals and we filed a spill incident report regarding contaminated soil in the tank graves. DEEP's UST unit is following up on associated remediation and will review our report. We obtained a permit from DEEP for the discharge of treated ground water generated by dewatering. Like most remediation projects in the State, the work is being performed by the Site owner on a voluntary basis following DEEP protocols and guidelines with guidance/approvals as necessary.

In conclusion, 271 Hop River Road is a complicated site with many environmental issues to be addressed. We are addressing the issues methodically as time and resources permit.

Please call me if you have any questions.

Yours truly,

*David O. Cook*

David O. Cook, Ph.D.  
President

ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip
08-106	271 HOP RIVER ROAD	IMS PETROLEUM, LLC	271 HOP RIVER ROAD	BOLTON	CT	6043
08-110	77 JOHNSON ROAD	JOHN & FEDERICA JOHNSON MEMORIAL CAMP INC.	287 JAGER LANE	HEBRON	CT	6248
08-107	299 HOP RIVER ROAD	299 HOP RIVER ROAD LLC	407 1/2 LAREL DRIVE	FRIENDWOOD	TX	77546
08-138	254 HOP RIVER ROAD	262 HOP RIVER, LLC	8 WEST STREET EXT	ANDOVER	CT	6232
08-112	TOOMEY ROAD	STATE OF CONNECTICUT	79 ELM STREET	HARTFORD	CT	6106
08-108	71 JOHNSON ROAD	ASPINALL MARGARET	71 JOHNSON ROAD	BOLTON	CT	6043
08-132A	HOP RIVER ROAD	STAVENS BROTHETRS INC.	PO BOX 406	WALLINGTON	CT	6279
08-105	255 HOP RIVER ROAD	255 HOP RIVER ROAD LLC	255 HOP RIVER ROAD	BOLTON	CT	6043
08-104	239 HOP RIVER ROAD	GOUCHOE BERNARD	239 HOP RIVER ROAD	BOLTON	CT	6043
08-103	229 HOP RIVER ROAD	TIMOTHY D. & SHELLEY M. ERICSON	229 HOP RIVER ROAD	BOLTON	CT	6043
08-136	310 HOP RIVER ROAD	MICHAEL R. MARTIN LLC	25 WATROUS ROAD	BOLTON	CT	6044
08-137	HOP RIVER ROAD	TOWN OF BOLTON	222 BOLTON CENTER RD	BOLTON	CT	6045



**IRS** DEPARTMENT OF THE TREASURY  
INTERNAL REVENUE SERVICE  
PHILADELPHIA PA 19255-0023

Date of this notice: 04-19-2021

Employer Identification Number:  
86-3242509

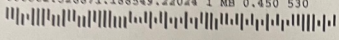
Form: SS-4

Number of this notice: CP 575 G

For assistance you may call us at:  
1-800-829-4933

**IF YOU WRITE, ATTACH THE  
STUB OF THIS NOTICE.**

000562.328871.188549.22024 1 MB 0.450 530



IMS PETROLEUM LLC  
ASIF CHOUDHRY SOLE MBR  
96 ROUTE 32  
N FRANKLIN CT 06254

**WE ASSIGNED YOU AN EMPLOYER IDENTIFICATION NUMBER**

Thank you for applying for an Employer Identification Number (EIN). We assigned you EIN 86-3242509. This EIN will identify you, your business accounts, tax returns, and documents, even if you have no employees. Please keep this notice in your permanent records.

When filing tax documents, payments, and related correspondence, it is very important that you use your EIN and complete name and address exactly as shown above. Any variation may cause a delay in processing, result in incorrect information in your account, or even cause you to be assigned more than one EIN. If the information is not correct as shown above, please make the correction using the attached tear-off stub and return it to us.

A limited liability company (LLC) may file Form 8832, Entity Classification Election, and elect to be classified as an association taxable as a corporation. If the LLC is eligible to be treated as a corporation that meets certain tests and it will be electing S corporation status, it must timely file Form 2553, Election by a Small Business Corporation. The LLC will be treated as a corporation as of the effective date of the S corporation election and does not need to file Form 8832.

**IMPORTANT REMINDERS:**

- \* Keep a copy of this notice in your permanent records. This notice is issued only one time and IRS will not be able to generate a duplicate copy for you. You may give a copy of this document to anyone asking for proof of your EIN.
- \* Use this EIN and your name exactly as they appear at the top of this notice on all your federal tax forms.
- \* Refer to this EIN on your tax-related correspondence and documents.
- \* Provide future officers of your organization with a copy of this notice.

Your name control associated with this EIN is IMSP. You will need to provide this information, along with your EIN, if you file your returns electronically.

If you have questions about your EIN, you can contact us at the phone number or address listed at the top of this notice. If you write, please tear off the stub at the bottom of this notice and include it with your letter. Thank you for your cooperation.

000562



Eastern Highlands Health District, CT

**\$134.88 Paid**

**via Credit Card ending in 2208**

Thanks for using the Online Service Center

Nathaniel Fleming  
 Septic Plan Review #SPR-22-19  
 February 2, 2022

Permit Fee	\$130.00
Processing Fee	\$4.88
<b>Total Paid</b>	<b>\$134.88</b>



Powered by the ViewPoint Cloud platform

Receipt number #6437



# PL-22-1

Planning Permit

**Status:** Active

**Date Created:** Jan 13, 2022

## Applicant

Krissy Sullivan  
fastsigns.396@fastsigns.com  
101 Hale Rd.  
Manchester, CT 06042  
8606445700

## Location

1212 BOSTON TPKE  
BOLTON, CT 06043

## Owner:

Emilio Polce  
1212 Boston Turnpike BOLTON, CT 06043

## Permit Info

### Permit For

Special Permit Application

### Building Type

Business

### Development Title

--

### Occupancy Type

Commercial

### Project Cost

2,111.4

## Project Description

Installation of a Post and Panel sign. The panel is mounted to 4x4 pressure-treated posts covered in vinyl sleeves direct buried below the frost line.

### Is this a modification of a previously approved application?

No, this is a new application.

## Comments

--

## Additional Applicant Info

### Applicant Type

Other

### Application Contact Name

Krissy Sullivan

## Additional Project Info

### Date of Receipt

--

### Hearing Not Required

**Legal Notice Date 1**

--

**Legal Notice Date 2**

--

**Hearings Commencement Deadline**

--

**Hearings Completion Deadline**

--

**Decision Deadline**

--

**Extended**

**Existing Gross Sqft**

--

**Proposed Gross Sqft**

--

**Existing Parking Spaces**

--

**Proposed Parking Spaces**

--

**Total Acreage / Sqft**

--

**Linear Feet of Frontage**

--

**Distance to Town Line**

--

**Internal Use**

**Conditions**

--

**Petition Received?**

--

**Date of Newspaper Publication for Public Hearing**

--

**Date of Newspaper Publication of Planning and Zoning Commission Action**

--

**Summary of Planning and Zoning Commission Action**

--

**Bond Required?**

--

**Legal/Technical Review NOT Required**

**Date of Planning and Zoning Commission Action**

--

**Date Application Received by Inland/Wetlands Commission (if applicable)**

--

**Date in Inland/Wetlands Commission Action (if applicable)**

--

**Construction Progress**

**Construction Progress**

--

**Time Spent (hrs)**

--

---

**Setbacks**

**Front Required**

--

**Front Provided**

--

**Back Required**

--

**Back Provided**

--

**Left Required**

--

**Left Provided**

--

**Right Required**

--

**Right Provided**

--

**Open Space Required**

--

**Open Space Provided**

--

**Lot Coverage Required**

--

**Lot Coverage Provided**

--

---

**Engineer Information**

**Company Name**

--

**Engineer Name**

--

**Address**

--

**City**

--

**State**

--

**Zip**

--

**Phone**

--

**Registration #**

--

**Insurance Expiration**

--

**AOR**

--

**Email**

--

---

**Architect Information**

**Company Name**

--

**Architect Name**

--

**Registration #**

--

**License Expiration**

--

**Address**

--

**City**

--

**State**

**Zip**

--  
**Phone** **Email**  
--  
**AOR**  
--

---

**Attorney Info**

<b>Name</b>	<b>Address</b>
--	--
<b>City</b>	<b>State</b>
--	--
<b>Zip</b>	<b>Phone</b>
--	--
<b>Email</b>	
--	

---

**Zoning Site Plan and Special Permit Checklist**

**All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities**

**Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate**

**Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction**

**Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection**

**Copies of any required applications to other local, state or federal regulatory approvals**

**Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)**

**List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)**

**List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets**

**Digital copy of plans in DXF or DGN format if available**

**Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and**

--

**14 sets of complete stamped and signed site plans measuring 24" x 36**

--

**A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners**

--

**Names of abutting lot owners**

**USDA Soils boundaries and types**

--

--

**Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton**

--

**All plan sheets numbered with the format "sheet x of y"**

--

**Clear legible plans with all lines, symbols and features readily identifiable**

--

**North arrow on each plan including the reference meridian**

--

**Graphic bar scale on each plan sheet, not smaller than 1"= 40' unless otherwise approved by the Commission**

--

**Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1"=40'**

--

**Key map at a scale of 1"= 500' showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500' of site**

--

**Original and revision plan dates and revision explanations shown on the affected plan sheets**

--

**Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan**

--

**Existing and proposed structures and features, their uses and those to be removed, shown on the plan**

--

**HVAC equipment located outside the building(s)**

--

**Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan**

--

**Sight distances from property entrances along public roads shown on plan and on profile if grading is needed**

--

**Soil test locations and soil test results shown on plan**

--

**Existing and proposed sewage disposal systems and design information, shown on plan**

--

**Outside Storage Areas\**tField

--

**Underground / overhead utilities, existing and proposed**

--

**Existing and proposed water supply shown on plan**

--

**Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan**

--

**Existing and proposed footing drains, curtain drains and dry wells, shown on plan**

--

**Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.**

--

**Existing and proposed bridges and culverts on or adjacent to the site, shown on plan**

--

**Existing and proposed signs with dimensions and construction detail drawings, shown on plan**

Included

**Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan**

--

**Zoning district boundaries affecting the site, shown on plan**

--

**Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building**

--

**Table on plan of parking / loading spaces required / provided**

--

**Fire lanes**

--

**New Sidewalks and other pedestrian ways**Field

--

**Off-site traffic improvements**

--

**Limits of wetlands as delineated by a certified soil scientist with the soil scientist’s signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet**

--

**Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan**

--

**Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices**



--

**Existing trees of 6" caliper or greater**

**Significant archaeological sites**

--

--

**Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type**

--

**Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control**

--

**Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional**

--

**Architectural elevation drawings of proposed buildings**

--

**Architectural floor plans of existing and proposed buildings**

--

**Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features**

--

**Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.**

--

**Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events**

--

**Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events**

--

**Statement in drainage report that the after development flows for all storm events do not exceed the before development flows**

--

**Sanitary Waste Disposal Plan (if community sewerage system)**

--

**Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2**

--

**Certified copy of Certificate of Public Convenience and Necessity in connection with a "water company", in accordance with CGS, Section 8-25a**

--

**Existing and proposed Covenants or Restrictions**

--

**Engineer's itemized cost estimate for the installation of all erosion and sediment controls based on published Connecticut DOT unit prices**

--

**Engineer's itemized cost estimate for public improvements based on published Connecticut DOT unit prices as basis for the establishment of a performance bond.**

--

**Engineer's itemized cost estimate in connection with any restoration guarantee required pursuant to Section 12**

--

**Application Submission and Certification**

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.




**Electronic Signature**

Krissy Sullivan  
01/13/2022

**Applicant Name**

Krissy Sullivan



**Attachments**








-  1212BostonTpke.SurveySignLocation.pdf  
Uploaded by Danielle Palazzini on Jan 18, 2022 at 8:56 am
-  9943 Echochoice Termite and Pest Control PROOF.pdf  
Uploaded by Krissy Sullivan on Jan 17, 2022 at 11:59 am
-  Applicant's Letter Request for Sign Approval.pdf  
Uploaded by Danielle Palazzini on Feb 3, 2022 at 9:14 am

**History**

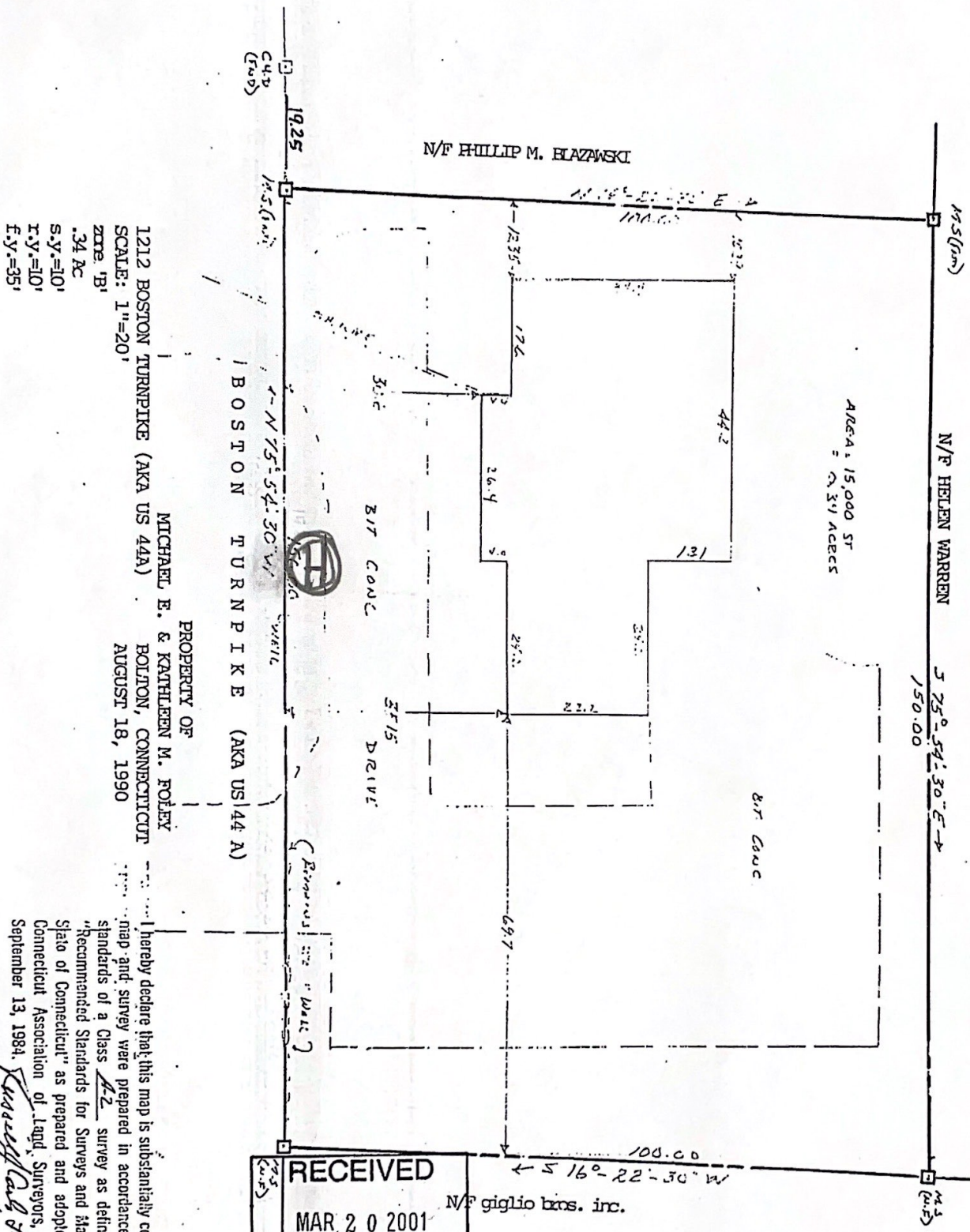
Date	Activity
Jan 13, 2022 at 1:15 pm	Krissy Sullivan started a draft of Record PL-22-1
Jan 13, 2022 at 1:27 pm	Krissy Sullivan submitted Record PL-22-1
Jan 17, 2022 at 11:57 am	completed payment step Permit Fee on Record PL-22-1
Jan 17, 2022 at 11:57 am	approval step Application Review was assigned to Patrice Carson on Record PL-22-1
Jan 18, 2022 at 8:53 am	Danielle Palazzini assigned approval step Application Review to Danielle Palazzini on Record PL-22-1
Jan 18, 2022 at 8:56 am	Danielle Palazzini approved approval step Application Review on Record PL-22-1
Jan 18, 2022 at 8:56 am	approval step Legal/Technical Review was assigned to Patrice Carson on Record PL-22-1
Feb 3, 2022 at 9:14 am	Danielle Palazzini added attachment Applicant's Letter Request for Sign Approval.pdf to Record PL-22-1

**Timeline**

Label	Status	Activated	Completed	Assignee	Due Date
 Permit Fee	Paid	Jan 13, 2022 at 1:27 pm	Jan 17, 2022 at 11:57 am	-	-
 Application Review	Complete	Jan 17, 2022 at 11:57 am	Jan 18, 2022 at 8:56 am	Danielle Palazzini	-

<b>Label</b>	<b>Status</b>	<b>Activated</b>	<b>Completed</b>	<b>Assignee</b>	<b>Due Date</b>
 Legal/Technical Review	Active	Jan 18, 2022 at 8:56 am	-	Patrice Carson	-
 Engineering Approval	Inactive	-	-	-	-
 Fire Marshal Approval	Inactive	-	-	-	-
 Planning Approval	Inactive	-	-	-	-
 Application Approval	Inactive	-	-	-	-
 Bond Received	Inactive	-	-	-	-
 Legal/Technical Review Release	Inactive	-	-	-	-

Map Ref: Map showing property to be conveyed to the American Tel & Tel Co. Scale: 1"=40' Nov. 1939, Perry Close, P.E.  
 2 Plot plan Michael E. & Kathleen M. Foley, 1212 Boston Turnpike, Bolton, Ct. scale 1"=40' 6/20/81, R. A. Heim, L.S.



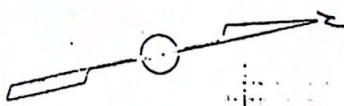
1212 BOSTON TURNPIKE (AKA US 44A)  
 SCALE: 1"=20'  
 ZONE 'B'  
 .34 AC  
 S.Y.=10'  
 T.Y.=10'  
 F.Y.=35'

PROPERTY OF  
 MICHAEL E. & KATHLEEN M. FOLEY  
 BOLTON, CONNECTICUT  
 AUGUST 18, 1990

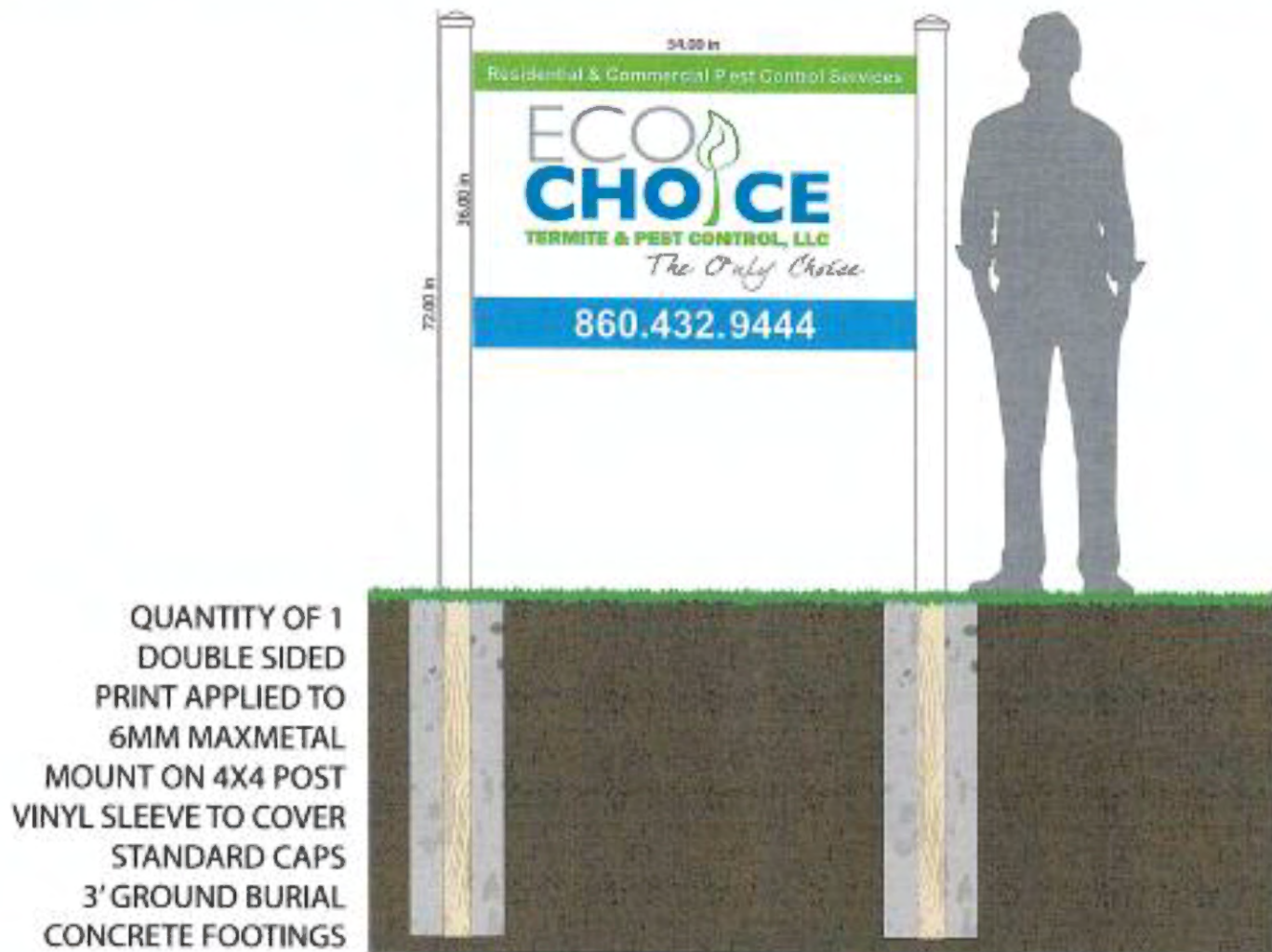
I hereby declare that this map is substantially correct. This map and survey were prepared in accordance with the standards of a Class A2 survey as defined in the "Recommended Standards for Surveys and Maps in the State of Connecticut" as prepared and adopted by the Connecticut Association of Land Surveyors, Inc., on September 13, 1984.

1230 Boston Turnpike

RECEIVED  
 MAR. 20 2001  
 TOWN OF BOLTON  
 LAND USE DEPARTMENT



Orders below \$500 receive one initial proof and a complimentary revision free of charge. Subsequent proofs will be billed at our hourly design rate.



QUANTITY OF 1  
DOUBLE SIDED  
PRINT APPLIED TO  
6MM MAXMETAL  
MOUNT ON 4X4 POST  
VINYL SLEEVE TO COVER  
STANDARD CAPS  
3' GROUND BURIAL  
CONCRETE FOOTINGS

Please check carefully. Work will not proceed until proof is approved by email. Any additional changes after approval is given will result in additional charges. This design is the exclusive property of FASTSIGNS of Manchester CT. It may not be reproduced in any form without our consent.

101 Halo Rd Suite B,  
Manchester, CT 06042  
Phone: (860) 644-5700  
Email: 398@fastsigns.com

**FASTSIGNS** MANCHESTER  
More than fast. More than signs.™

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PAGE 1

February 2, 2022

To Whom It May Concern,

This letter is requesting approval for a sign that will be fabricated and installed by my company, FASTSIGNS of Manchester, for Mr. Emilio Polce , a building and business owner in the town of Bolton.

Mr. Polce recently purchased the building on October 30, 2021 from a long term resident of Bolton who used the space for his commercial furniture showroom which he and his children owned and operated. The building was originally built by AT&T in the late 1800's from what Mr. Polce and I gathered. It has since been the office space for a security company, acupuncturist and the aforementioned furniture company.

Mr. Polce started his company, EcoChoice Pest Control in February 2010. He currently resides down the street from the building in Coventry with his wife and five children. He purchased the building taking into consideration his long term goal of owning a business, the building, and a close commute for his wife who is his Operations Manager, daughter who works as a Sales Representative, and himself. His long term goal is to eventually pass on the business to his children while generating income for his company, himself and the Town of Bolton.

We, the sign company, have provided renderings and applied for a permit to fabricate and install said sign all which comply with the town's regulations identified in Section 18G.1.d.ii. There will be no other business sharing the building with EcoChoice or other tenants and there will be no additional signs being installed on the building. Mr. Polce would simply like a small, 4.5 foot wide by 3 foot high sign on two posts with decorative sleeves to promote his business whose visual solution will help generate revenue.

In closing, on behalf of EcoChoice Pest Control, Mr. Polce, and his family, are asking approval for his sign out in front of his building to help customers identify them. Based on the

guidelines in section 18G.1.d.ii “the Commission may allow one freestanding sign per street frontage, which shall not exceed eighteen square feet...” I also feel we have provided adequate renderings to prove the statement above. We are a well established sign company with years of experience in fabrication and installation. I sincerely hope you take this letter into consideration and grant Mr. Polce, owner of EcoChoice Pest Control, his sign permit.

I appreciate your time and consideration.

Best,

Krissy Sullivan

Center Manager, Sales Representative

FASTSIGNS, Manchester

101 Hale Rd. Manchester, CT

(860) 644-5700