

BOLTON PLANNING & ZONING COMMISSION
REGULAR MEETING
7:30 PM, WEDNESDAY, JUNE 11, 2025
BOLTON TOWN HALL, 222 BOLTON CENTER ROAD
In-Person and Via Zoom
MINUTES

PZC Members Present In-Person: Chairman Tom Manning, Marilee Manning, Alternate Tom Crockett

PZC Members Present Via Zoom: Vice-Chair James Cropley, Arlene Fiano, Alternate Kawan Gordon

PZC Members Absent: Steven Clark, Jeremy Flick, Thomas Robbins, Alternate Diane DeNunzio

Staff Present Via Zoom: Patrice Carson, AICP, Consulting Director of Community Development, Michael D'Amato, Zoning Enforcement Officer, Kacie Cannon, Recording Secretary

1. Call to Order: T. Manning called the meeting to order at 7:30 p.m. T. Crockett was seated for J. Flick, and K. Gordon was seated for S. Clark.

2. Approval of Minutes: May 14, 2025

T. Crockett MOVED to approve the minutes as written. K. Gordon SECONDED. MOTION CARRIED 5:0:1 (J. Cropley Abstained).

3. Residents' Forum: None

4. Staff Reports: P. Carson reported that the Capitol Region Council of Governments (CRCOG) is conducting a housing suitability analysis for potential housing development sites, and staff has been working on submitting the Cider Mill property and the drive-in property, both consisting of 20 acres, for consideration. She added that CRCOG will evaluate submissions from towns in their region with a focus on properties that lack sewer infrastructure. P. Carson explained that the selected site will undergo a comprehensive assessment to determine suitability for multi-family housing including a review of site conditions such as wetlands and available utilities, the feasibility of development, and potential housing uses. The assessment will also determine whether potential changes could be made such as zoning changes, land value adjustments, tax abatements, or infrastructure investments. P. Carson explained that the process would provide the owner of the selected site with a viable project proposal and conceptual rendering that could be presented to developers.

T. Crockett raised concerns regarding potential unit restrictions on the drive-in property. A. Fiano clarified that the restriction was based on the sewers limited capacity to serve a large number of homes as well as the number of Equivalent Dwelling Units (EDUs) that the Water Pollution Control Authority (BLRWPCA) is willing to provide. P. Carson noted that she is unsure if CRCOG would consider housing that is on a septic system. T. Manning pointed out the difficulty of installing septic systems on either property as they are both situated on a stratified drift aquifer. P. Carson agreed and noted that the issue would be addressed during the review process and would potentially include an analysis of whether a sewer system could be used.

A. Fiano stated that both of the potential housing sites also serve as the largest commercial opportunities. P. Carson stated that the issue with using the drive in property for commercial is that it is hidden from street view. She added that the privacy of that location makes it more suitable for residential use.

P. Carson reported that the housing bill is on the Governor's desk, and the Connecticut Conference of Municipalities (CCM) and the Connecticut Council of Small Towns (COST) have asked the Governor to veto the bill. She explained that the Governor has 15 days to decide whether to veto the bill, send it back for a special session, or approve it with certain conditions.

P. Carson noted that an application for a house within 50 feet of the lake will be coming to the PZC in July, if approved by the Inland Wetlands Commission, that is on the same street as two other applications she mentioned at last month's meeting.

M. D'Amato reported that CRCOG has received funding from the State through the American Rescue Plan Act (ARPA) to work with towns to standardize the parcel layer that is used in the regional Geographic Information System (GIS). He stated that he and P. Carson have been working with CRCOG and a vendor to conduct an analysis of the current parcel map, which has not been updated since 2016, with the goal of providing an updated map by the end of the year. P. Carson added that she is hopeful that a maintenance contract will be subsequently implemented to keep the parcels updated on a regular basis. She also noted that the tax map needs to be updated, maintained, and digitized and expects those improvements would be part of the maintenance contract.

J. Cropley asked whether the Dollar General store has removed the dead plants from their property to comply with the bond release request and inspection. M. D'Amato explained that staff decided to provide the company with another growing season since it was difficult to determine at the time which plants were dormant and which plants needed to be removed. J. Cropley noted that the side of the property is currently overgrown with weeds, and it is difficult to determine if anything has been planted. M. D'Amato stated that it is likely that the company has not come forward for the bond release because they are aware that the property is not in compliance. He added that residents have requested that a barrier be planted to shield their elevated view of the property.

5. Old Business

a. **Other:** There was no old business.

6. New Business

a. **Other:** There was no old business.

7. ONGOING DISCUSSION: Bolton Subdivision and Zoning Regulations

T. Manning stated that he reviewed the CRCOG staff analysis of House Bill 5002 and noted that it includes a Priority Housing Affordability Plan that offers priority for funding. He added that Bolton is required to submit a plan and recommended that the PZC discuss how they will comply with the mandate. T. Manning explained that the mandate was implemented because of the lack of affordable housing in Bolton and added that the plan must include an inventory of vacant and developable land. J. Cropley asked if some of the zoning regulations could be changed to accommodate the request. T. Manning replied that zoning changes

would be made based on the POCD. He also raised concerns about the mandate to accept up to 12 housing units in a business zone. P. Carson added that no funding is provided to meet any of the mandates.

T. Manning suggested taking advantage of an opt-in for transit-oriented development and noted that high density requirements must be met. He added that CRCOG also provides funding for transit improvements. He also highlighted the Priority Housing Development Zone outlined in the bill and noted that the Town applied for an incentive housing zone overlay in 2008; however, it was not funded due to the financial collapse during that time. P. Carson asked if the zone included a mixed-use requirement. T. Manning replied that it did but noted that the Incentive Housing Zone (IHZ) was separate. He added that applying for both the Priority Housing Affordability Plan and the Transit-Oriented Complexes would result in priority consideration for infrastructure funding that could help with correcting the intersection of Routes 6 and 44.

T. Crockett raised concerns about the location of a Dunkin Donuts that is being put in near Routes 6 and 44 next to the gas station due to difficulties entering and exiting the location due to heavy traffic. P. Carson stated that it is set up for a Dunkin' Donuts with a drive-thru and proper zoning use, but the company would need to apply for building permits.

M. Manning asked if the data on the potential use of new septic systems has been sent to Thad King to determine the feasibility of their use on challenging properties in Bolton. T. Manning replied that he has not sent the data yet but will submit it to P. Carson for review.

8. Correspondence: There was no correspondence.

9. Adjournment

T. Crockett MOVED to ADJOURN the meeting at 8:07 p.m. J. Cropley SECONDED. MOTION CARRIED 6:0:0.

Respectfully submitted by Kacie Cannon

Kacie Cannon

Please see the minutes of subsequent meetings for the approval of these minutes and any corrections hereto.

**PL-25-4****Planning & Zoning**

Status: Active

Submitted On: 7/1/2025

Primary Location61 VERNON RD
BOLTON, CT 06043**Owner**Bayberry Developers, LLC
Talcottville Road 627 Vernon,
CT 06066**Applicant**

Eric Peterson



860-871-0808



epeterson@gardnerpeterson.com



178 Hartford Turnpike

Tolland, CT 06084

Permit Info**Permit For***

Site Plan Review

Development Title, if any**Occupancy Type**

Residential

New Building or Expansion of Existing Building Size?

Yes

Is this a modification of a previously approved application? (please note the Commission may require a new application if the proposed modification significantly alters the previously approved application)*

No, this is a new application.

 Comments

Deed Reference (Bolton Land Records) (you may obtain this information from the Town Clerk's office or online at <https://recordhub.cottsystems.com>)

Volume*	Page*
192	23

Assessor's Records Reference (you may obtain this information from the Assessor's Office)

Map No. *	Block No. (if known)
2	

Parcel/Lot No. *
18

Subject Property Location

Current Zone*	Acreage*
R3	0.24

Located in Aquifer Protection District?*	Located in FEMA Flood Zone?
No	No

Wetlands Application Required? (if activity is within 100 ft. of wetlands, a wetlands permit may be required. Please check with the Wetlands Agent if you are unsure).*	Is the neighboring town line within 500 ft of the subject property?
Yes	No

Applicant Information

Applicant Type*

Other

Applicant Name*

Eric Peterson

Applicant Address (street, city, state and zip)*

Gardner & Peterson Associates LLC
178 Hartford Turnpike
Tolland, CT 060084

Applicant Phone Number*

860-871-0808

Applicant Email Address

epeterson@gardnerpeterson.com

Owner Name (of subject property)*

Bayberry Developers LLC

Owner Address*

627 Talcottville Road
Vernon, Connecticut 06066

Owner Phone Number*

(860) 798-2103

Owner Email Address

ken@boynton-construction.com

**Name of Official Contact/Representative of
Application***

Eric Peterson

Contact Address (street, city, state and zip)*

Gardner & Peterson Associates LLC
178 Hartford Turnpike
Tolland, CT 060084

Contact Phone Number*

860-871-0808

Contact Email Address

epeterson@gardnerpeterson.com

Project Information**Brief description of proposed use of subject property (provide greater detail in separate written Narrative)***

Remove remains of existing house foundation and construct a new single-family house on property within 50-feet of Lower Bolton Lake

Gross Sq Ft of Existing Structure(s)

—

Gross Sq Ft of Proposed Structure(s)

1350

Existing Parking Spaces

—

Proposed Parking Spaces

2

Total Acreage / Sq Ft

0.24

Linear Feet of Frontage

77.77

List section(s) of Zoning Regulations under which application is made:

450-3.7

Engineer Information

Company Name

Engineer Name

Address (street, city, state and zip)

Phone

Email

Architect Information

Company Name

Architect Name

Address (street, city, state and zip)

Phone

Email

Attorney Info

Name

Address (street, city, state and zip)

Phone

Email

Application Submission and Certification

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.

Applicant's Electronic Signature*

✓ Eric Peterson
Jul 1, 2025

Owner's Electronic Signature*

✓ Kenneth Boynton
Jul 1, 2025

PLEASE BE ADVISED THAT A SEPARATE AUTHORIZATION PAGE CONTAINING THE LIVE SIGNATURES OF THE APPLICANT AND OWNER (IF DIFFERENT THAN APPLICANT) IS REQUIRED TO BE UPLOADED TO THIS APPLICATION. THAT DOCUMENT MAY BE OBTAINED BY CLICKING ON THE LINK BELOW.

[Click Here to download a copy of the required signature page](#)

Internal Use

🔒 Conditions

🔒 Date Application Received

—

🔒 Hearing Not Required

☐

<div><div></div><div>Petition Received?</div></div> <div>—</div>	<div><div></div><div>Date of Newspaper Publication of Planning and Zoning Commission Action</div></div> <div>—</div>
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Summary of Planning and Zoning Commission Action

<div><div></div><div>Legal/Technical Review NOT Required</div></div> <div><input type="checkbox"/></div>	<div><div></div><div>Bond amount if Legal/Technical review required:</div></div> <div>—</div>
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<div><div></div><div>Date of Planning and Zoning Commission Action</div></div> <div>—</div>	<div><div></div><div>Date Application Received by Inland/Wetlands Commission (if applicable)</div></div> <div>—</div>
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Date in Inland/Wetlands Commission Action (if applicable)

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Attachments

P and Z app.pdf

P and Z app.pdf

Uploaded by Eric Peterson on Jul 2, 2025 at 6:51 AM

Signed PZC Application Authorization

PZC_Application_Authorization.pdf

Uploaded by Eric Peterson on Jul 1, 2025 at 5:34 PM

REQUIRED

Site Plan

11183A.pdf

Uploaded by Eric Peterson on Jul 1, 2025 at 5:31 PM



List of Property Owners Located within 500 feet of Property(ies)

Land Owners wi 500 ft.pdf

Uploaded by Danielle Palazzini on Jul 2, 2025 at 10:09 AM



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

BOLTON PLANNING & ZONING COMMISSION APPLICATION AUTHORIZATION

APPLICANT:

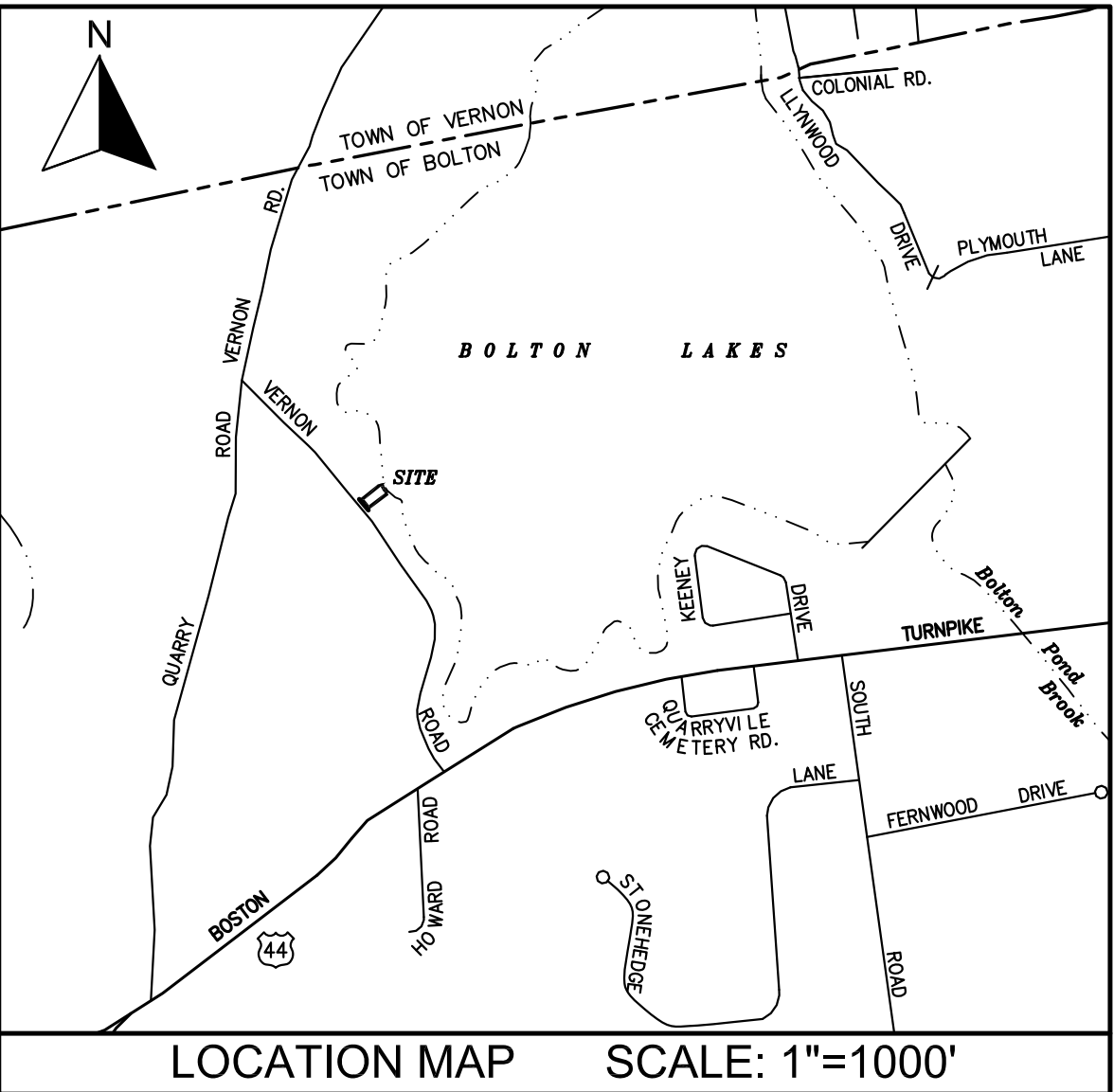
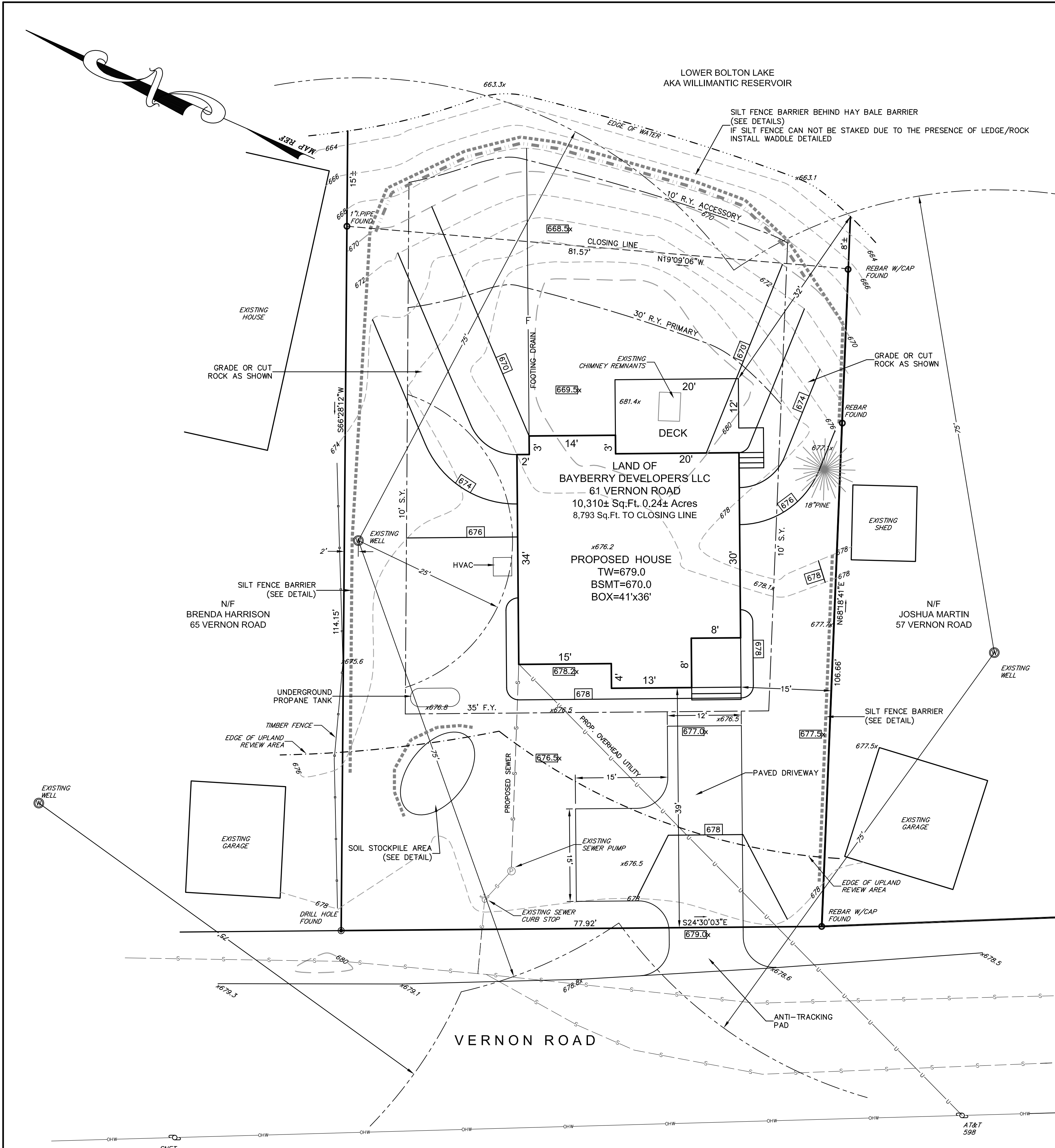
The Applicant, (name) Eric Peterson, certifies that he/she is authorized to submit the attached Application for a (subject/project) Site Plan Review, at (address) 61 Vernon Road, and that the statements made within are true to the best of the Applicant's knowledge, information and belief.

Applicant Signature: Eric R. Peterson

OWNER (IF DIFFERENT THAN APPLICANT):

I, (name) Kenneth Boynton, certify that I am the owner of the property located at (address) 61 Vernon Road; that I authorize (name) Eric Peterson to act as my Agent/Representative; and that I am a willful participant and am fully aware of the contents of the attached Application for a (subject/project) new house within 50 of Lower Bolton Lake

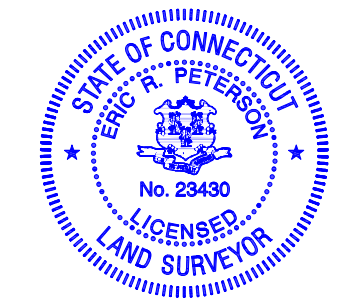
Owner Signature: KJB



LEGEND	
	PROPERTY LINE
	IRON PIN/PIPE FOUND
	DRILL HOLE FOUND
	ZONING SETBACK
	UTILITY POLE
	OVERHEAD WIRES
	EDGE PAVEMENT
	SANITARY SEWER PUMP
	APPROXIMATE SANITARY SEWER
	EXISTING CONTOUR
	EXISTING ELEVATION
	EDGE OF WATER
	EXISTING WELL
	PROPOSED CONTOUR
	PROPOSED ELEVATION
	PROPOSED SILTFENCE
	PROPOSED HAY BALES

- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED AND A FIRST SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
 - MAP REFERENCE:
 - "BOUNDARY SURVEY PREPARED FOR PAMELA A. CONNELLY 57 VERNON ROAD BOLTON, CONNECTICUT" BY MESSIER & ASSOCIATES, INC. DATE: 05/12.
 - "BOLTON LAKES REGIONAL WPCA GRINDER PUMP LOCATION #61 VERNON ROAD BOLTON LAKES SEWER DISTRICT BOLTON, CONNECTICUT FIG. 1" BY FUSS & O'NEIL. DATE: JULY 2011.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED ON THE PLAN REFERENCED IN NOTE 2.A. ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON ELEVATION DEPICTED ON THE MAP REFERENCED IN NOTE 2.B.
 - THIS PARCEL AND ALL ADJUTING PARCELS ARE LOCATED IN THE R-3 ZONE.
 - THIS PARCEL IS SUBJECT TO A GRINDER PUMP EASEMENT DATED APRIL 11, 2011 AND RECORDED IN VOLUME 151 PAGE 840, CORRECTED IN VOLUME 152 PAGE 237 AND RE-RECORDED IN VOLUME 153 PAGE 213 OF THE BOLTON LAND RECORDS.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - WASTE FROM ANY DRINKING WATER TREATMENT SYSTEM SHALL DISCHARGE TO THE SANITARY SEWER.

ZONING TABLE:			
R-3 ZONE	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	22,500 SQ.FT.	10,310 SQ.FT.	--
MINIMUM LOT FRONTAGE	150 FEET	77.77 FEET	--
MINIMUM FRONT YARD	35 FEET	--	39'
MINIMUM SIDE YARD	10 FEET	--	15'
MINIMUM REAR YARD	30 FEET	--	32'
BUILDING HEIGHT	2 1/2 STORIES/30 FEET	--	<2 1/2 STORIES/30 FEET
MAXIMUM LOT COVERAGE	15%	--	1350 SQ.FT. or 13.1%
MAXIMUM IMPERVIOUS	20%	--	2054 SQ.FT. or 19.9%



I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.

IMPROVEMENT LOCATION SURVEY

PERMIT PLAN

LAND OF

BAYBERRY DEVELOPERS LLC

61 VERNON ROAD

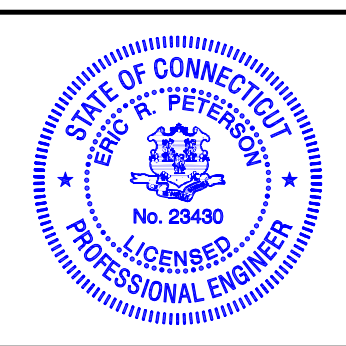
BOLTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

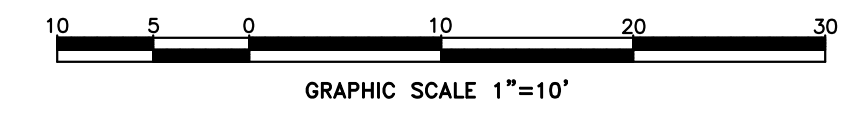
178 HARTFORD TURNPIKE

TOLLAND, CONNECTICUT

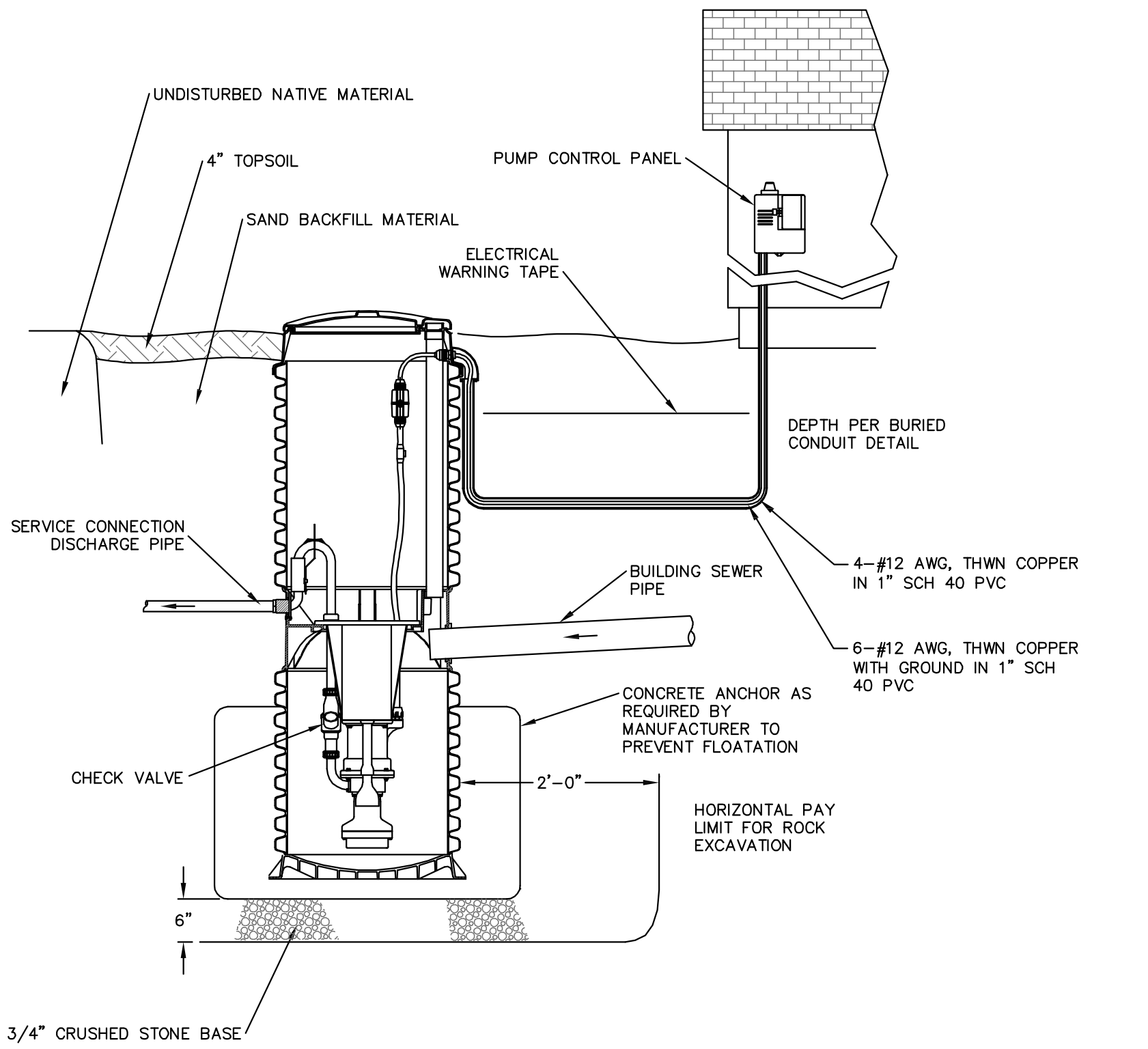
REVISIONS		PROFESSIONAL ENGINEERS		LAND SURVEYORS	
BY	SCALE	DATE	SHEET NO.	MAP NO.	
E.R.P.	1"=10'	05-14-2025	1 OF 2	11183A	



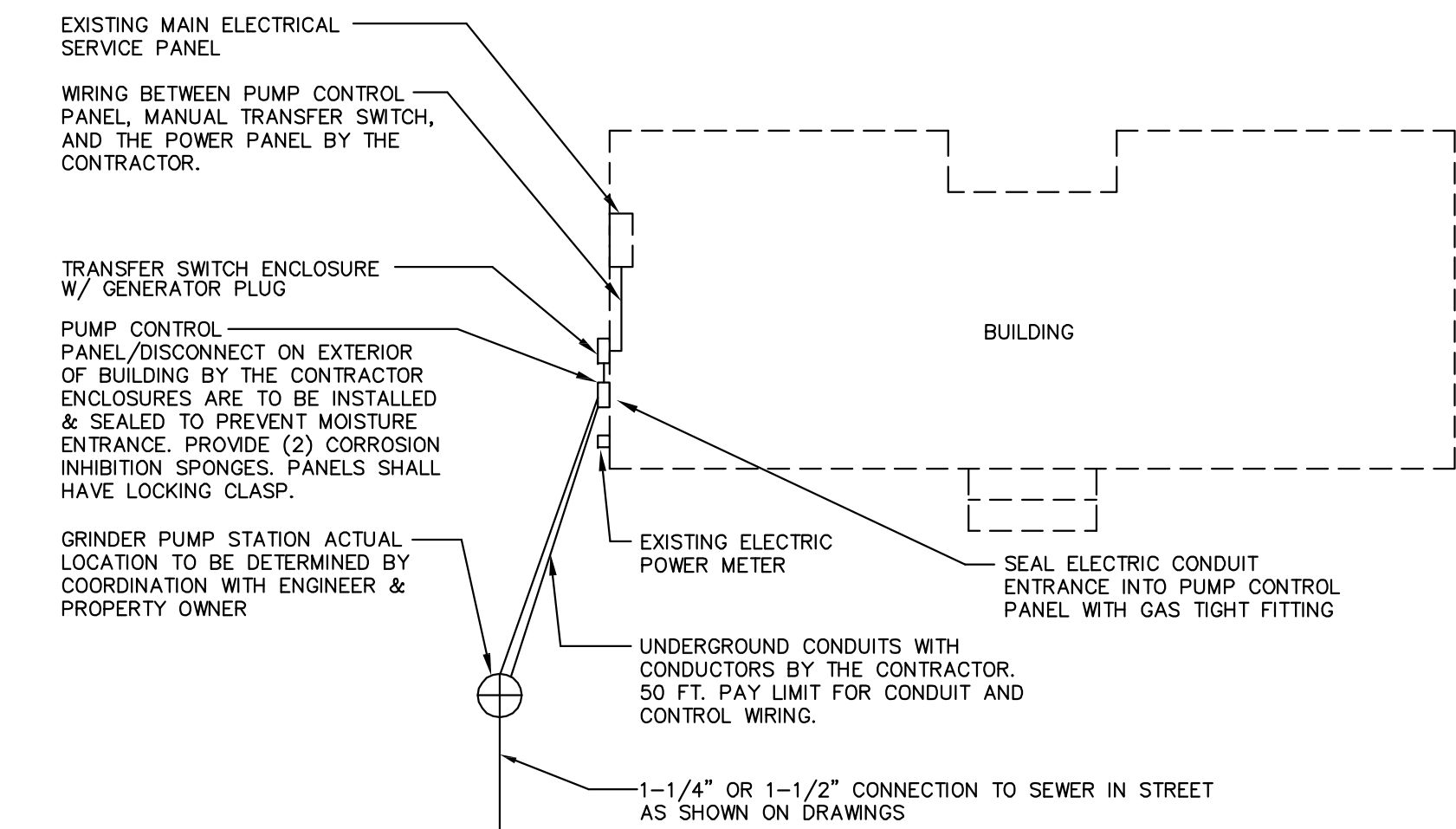
OWNER/APPLICANT:
BAYBERRY DEVELOPERS, LLC
KENNETH BOYNTON
627 TALCOTTVILLE ROAD
VERNON, CONNECTICUT



C:\Users\11183\Documents\11183A.dwg
11183.dwg
11183A.dwg



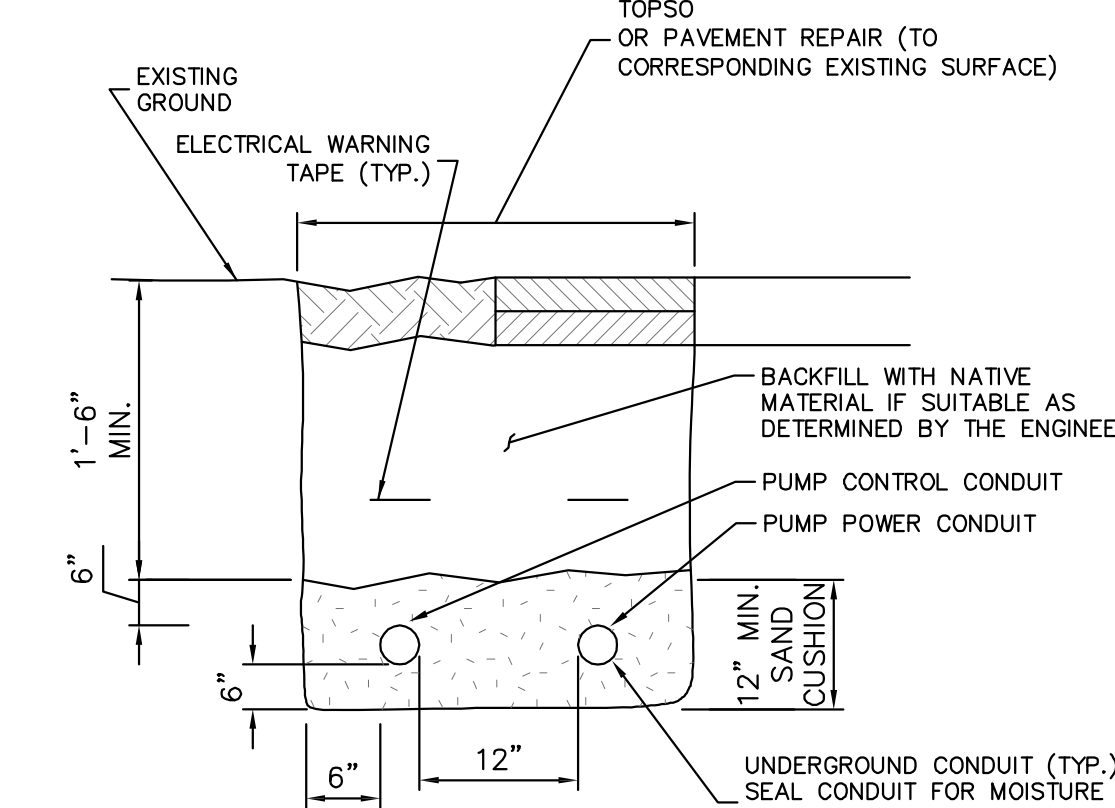
SEWER CONNECTION DETAIL



NOTE:

1. CONTRACTOR SHALL VERIFY THAT CAPACITY OF EXISTING ELECTRIC SERVICE WILL ACCOMODATE NEW LOAD.
2. CONTRACTOR SHALL PROVIDE FOR ADEQUATE CAPACITY IF UPGRADING IS REQUIRED.
3. AN AUTHOMATIC TRANSFER SWITCH SHALL BE PROVIDED TO AUTOMATICALLY SWITCH FROM AC POWER TO GENERATOR POWER DURING A POWER OUTAGE

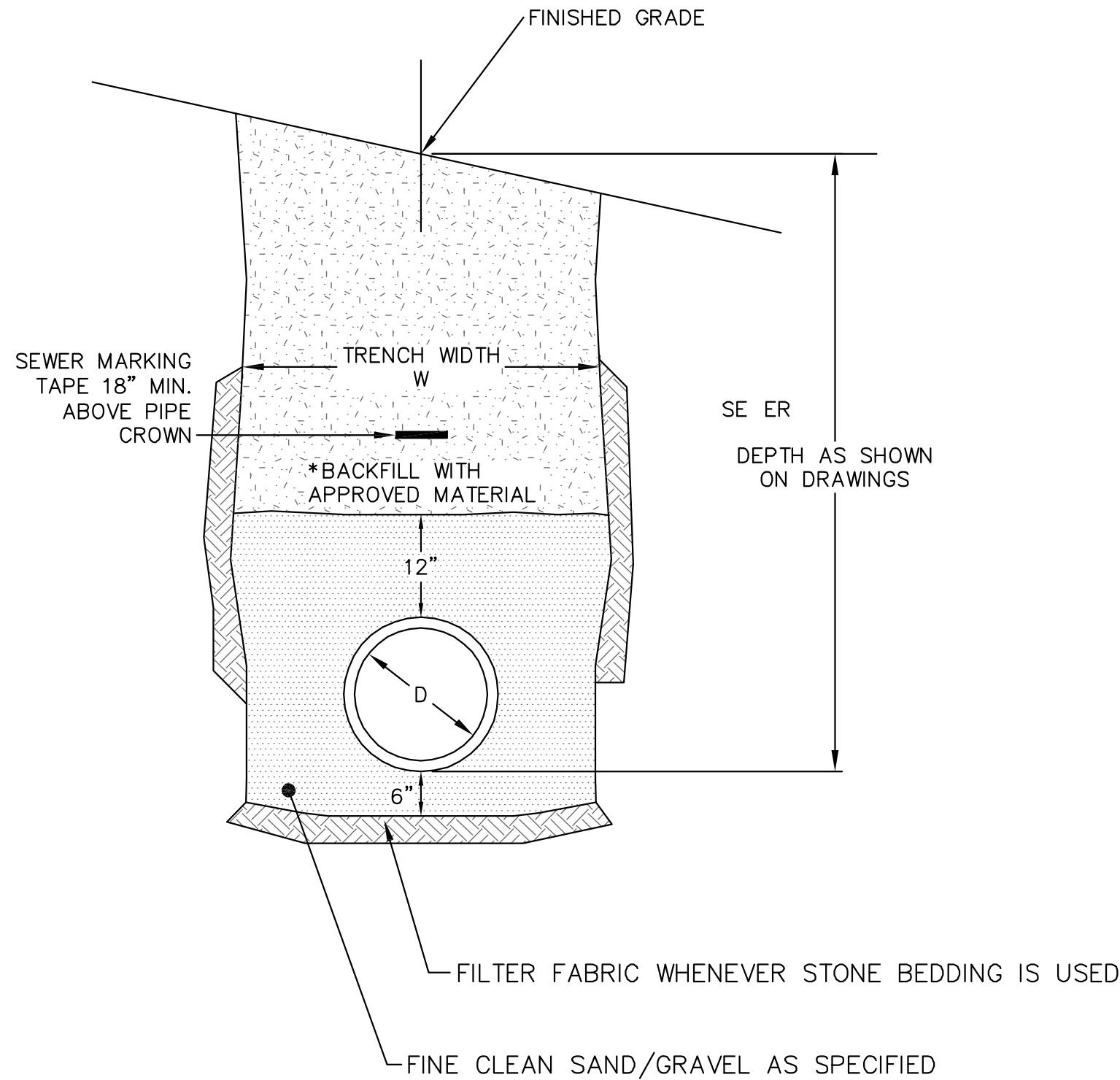
TYPICAL GRINDER PUMP STATION LAYOUT



UNDERGROUND CONDUIT TRENCH NOTES:

- 1.) INSTALL ELECTRICAL MARKING TAPE ABOVE THE ELECTRIC CONDUIT AND BURIED ELECTRIC WIRING.

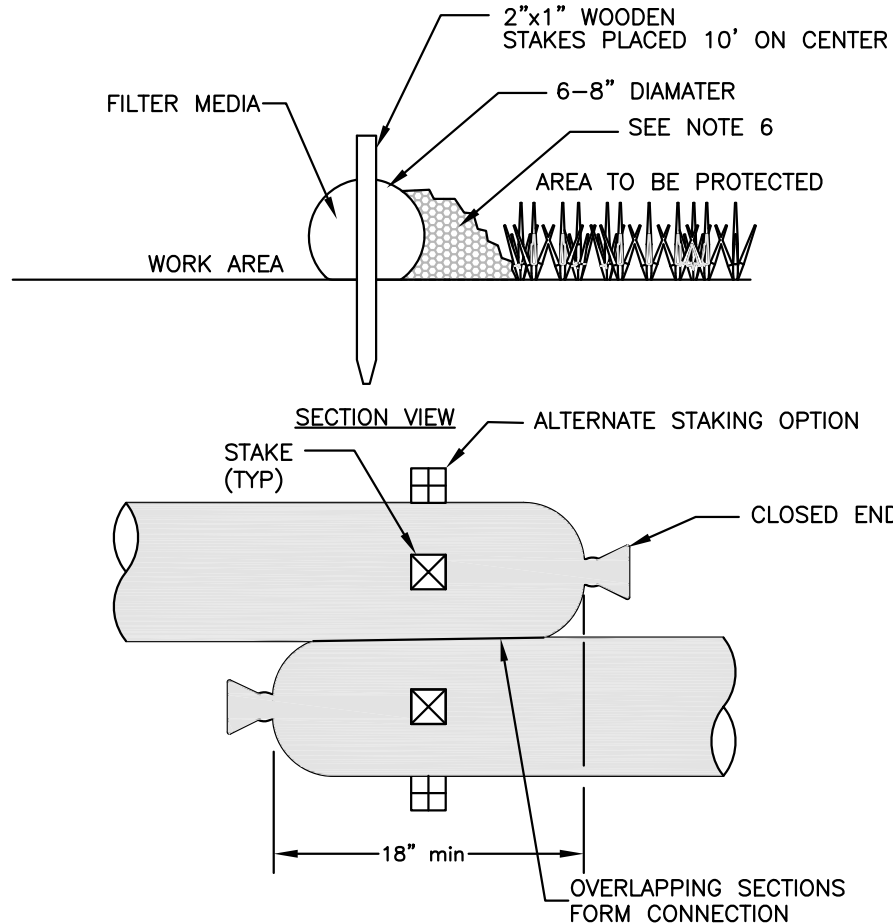
UNDERGROUND CONDUIT TRENCH DETAIL



SEWER TRENCH DETAIL

INSTALLATION INSTRUCTIONS:

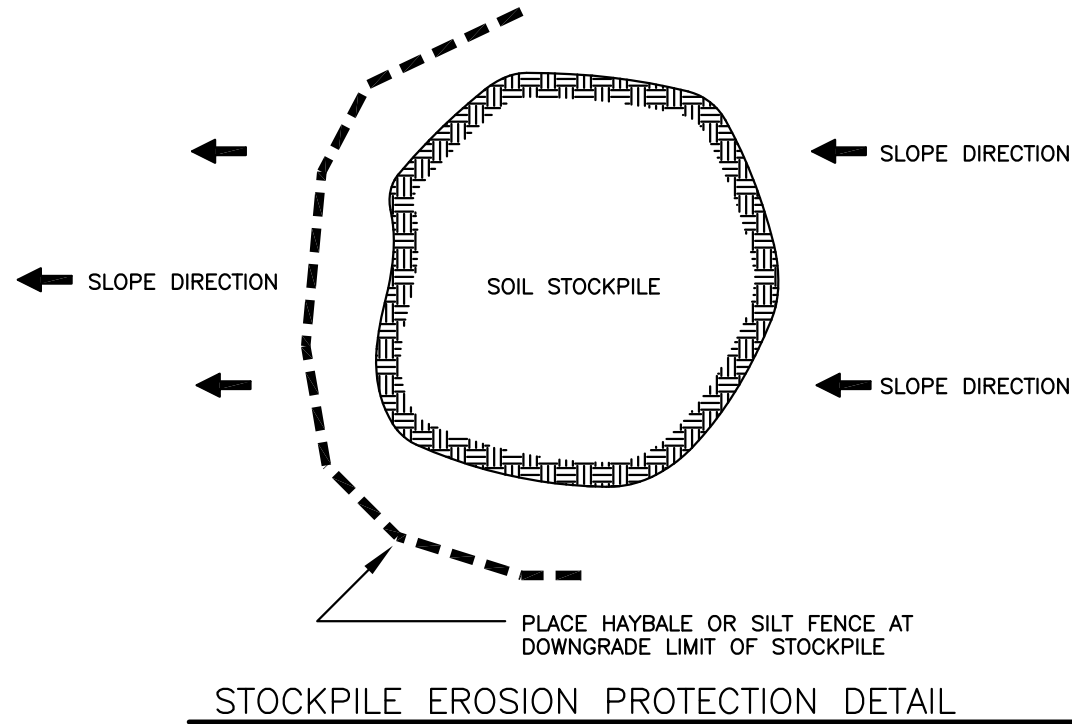
1. CLEAR THE INSTALLATION AREA OF ANY DEBRIS, TREES, ROCKS OR LARGE OBSTRUCTIONS. SOCKS ARE DESIGNED TO COME IN CONTACT WITH THE SOIL, SO ANY STUMPS OR POTENTIAL OBSTRUCTIONS SHOULD BE REMOVED.
2. DIG A SHALLOW TRENCH IN THE LOCATION WHERE THE LOGS NEED TO BE PLACED.
3. PLACE THE LOGS IN THE TRENCH AND BACKFILL WITH SOIL ON THE UPHILL SIDE SO THAT THE LOGS ARE TIGHTLY PACKED AGAINST THE SLOPE. ADJACENT LOGS SHOULD BE EITHER POSITIONED SO THAT THE ENDS FIT TIGHTLY AGAINST EACH OTHER AND ENDS SHOULD BE JOINED/SECURED TOGETHER WITH COIR TWINE OR OTHER SUITABLE TIES OR OVERLAPPED AS DESCRIBED BELOW.
4. FILTER MEDIA TO BE A COARSE COMPOSTED MATERIAL SPECIFICALLY DESIGNED FOR REMOVAL OF SOLIDS AND SOLUBLE POLLUTANTS FROM STORMWATER RUNOFF.
5. 10 L.F. ON EACH END SHALL BE PLACED AT A 30° ANGLE UP-SLOPE TO PREVENT END-AROUND FLOW.
6. WHERE SILT FENCE OR WADDLE CAN NOT BE STAKED DUE TO LEDGE/ROCK, PLACE CRUSHED STONE TO SUPPORT WADDLE AS SHOWN.



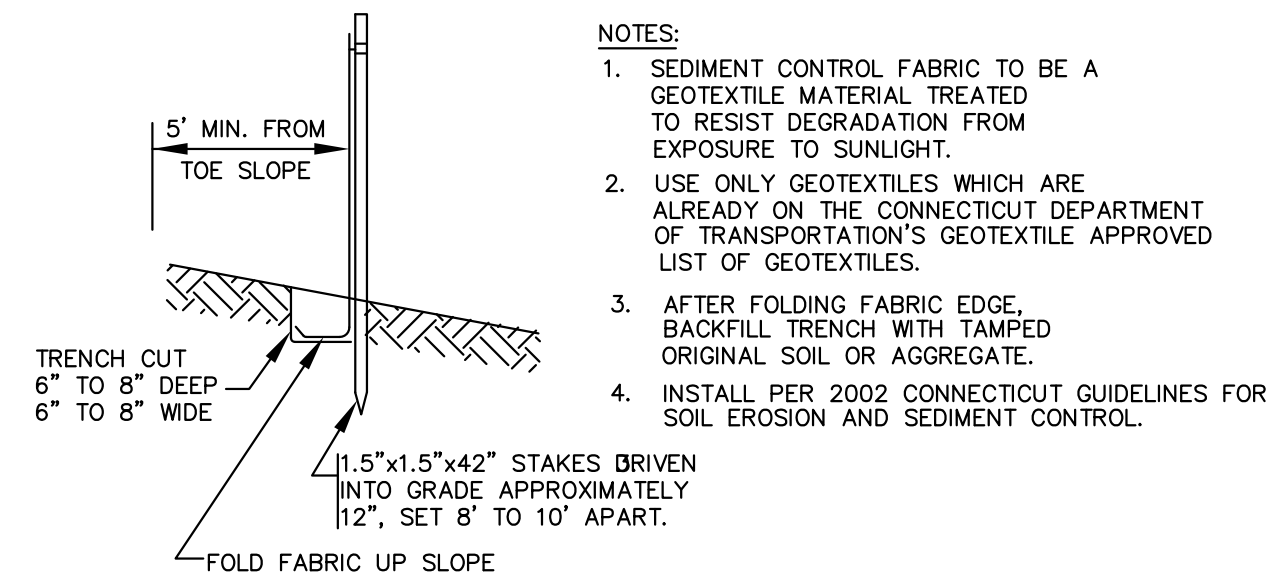
WADDLE SEDIMENT BARRIER DETAIL

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
6. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
7. FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
8. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
9. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
10. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
11. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
12. SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
13. CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
14. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTPACKER TYPE SEEDER, OR HYDROSEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
15. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTPACKER TYPE SEEDER OR HYDROSEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
16. FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
17. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
18. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
19. WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
20. CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

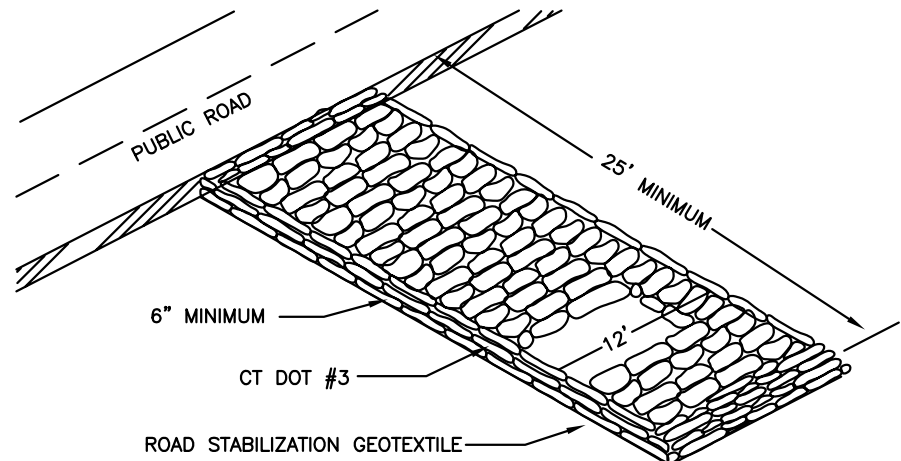


STOCKPILE EROSION PROTECTION DETAIL



SILT FENCE INSTALLATION

NOT TO SCALE



CONSTRUCTION ENTRANCE

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

LOCATION: 61 VERNON ROAD – BOLTON, CT
PROJECT DESCRIPTION: CONSTRUCTION OF SINGLE FAMILY HOME
PARCEL AREA: 0.24+ ACRES

RESPONSIBLE PERSONNEL: JON BOYNTON

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
ESTABLISH CONSTRUCTION ENTRANCE CLEAR TREES AND BRUSH	INSTALL ANTI-TRACKING PAD		
REMOVE STUMPS ROUGH GRADING	INSTALL SILT FENCE		
CONSTRUCT HOUSE AND UTILITIES FINAL GRADE SITE			
FINAL GRADE/PAVE DRIVEWAY	FINAL GRADE AND SEED		
LOAM AND SEED DISTURBED ALL DISTURBED AREAS	REMOVE SILT FENCE WHEN SITE IS STABILIZED		

PROJECT DATES:
DATE OF CONSTRUCTION START JULY 1, 2025
DATE OF CONSTRUCTION COMPLETION JULY 1, 2026

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2024.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

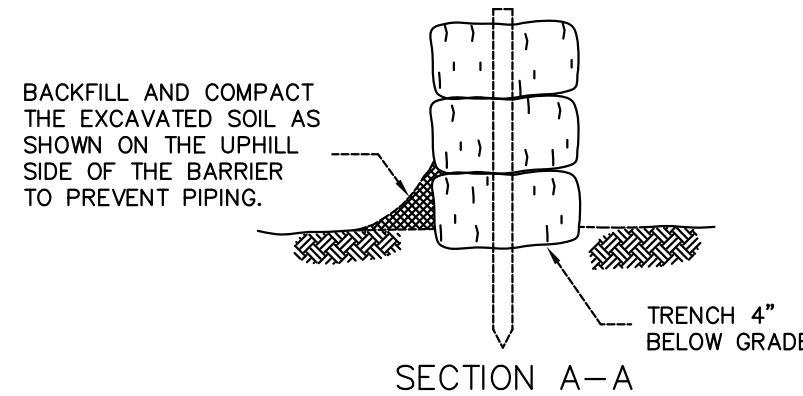
TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	



NOTES:

1. USE WATERPROOF BINDING WIRE OR TWINE.
2. STORE ALL HAYBALES UNDER VINYL OR CANVAS COVERING.
3. USE OF BROKEN OR UNTIED BALES IS NOT PERMITTED.
4. LAYOUT HAYBALE BARRIER AS PER SITE PLAN AND AS MODIFIED BY FIELD INVESTIGATION. INTENT IS TO SLOW SURFACE WATER FLOWS AND TO PERMIT SILT TO SETTLE. PERIODIC REMOVAL OF DEPOSITED SILT AND DEBRIS AND RESETTING OF BALES WILL BE NECESSARY. CHECK BEFORE & AFTER ALL STORMS.

HAY BALE INSTALLATION

DETAIL SHEET
LAND OF
BAYBERRY DEVELOPERS LLC
61 VERNON ROAD
BOLTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	05-14-2025	2 OF 2	11183A

REVISIONS
07/01/2025

Land Owners within 500 ft of 61 Vernon Rd.

KRAVETZ GARY & TUNIE	83 VERNON RD	BOLTON, CT 06043
DEILING CHRISTINE M	69 VERNON RD	BOLTON, CT 06043
HARRISON FAMILY TRUST THE	65 VERNON RD	BOLTON, CT 06043
BAYBERRY DEVELOPERS LLC	627 TALCOTTVILLE RD	VERNON, CT 06066
BODMAN EDITH & DALE	442 GOODWIN ST	EAST HARTFORD, CT 06108
CERRIGIONE JAMES M JR	39 VERNON RD	BOLTON, CT 06043
MARTIN JOSHUA A & ELIZABETH A	11 BETSY LANE	AVON, CT 06001
CARINI GREGORY	PO BOX 9451	BOLTON, CT 06043
PENTORE JANINA E	14 CHATHAM RD	KENSINGTON, CT 06037
SPENCER ANNA D	77 VERNON RD	BOLTON, CT 06043
KOLESKO CONNIE LEE	55 VERNON RD	BOLTON, CT 06043
AAL ONLY LLC	PO BOX 9585	BOLTON, CT 06043
WELCH BRIAN L & KIMBERLY P	51 VERNON RD	BOLTON, CT 06043
VAN DINE C PETER	81 VERNON RD	BOLTON, CT 06043
ODONNELL CHERYL & PETER	73 VERNON RD	BOLTON, CT 06043
AAL ONLY LLC	6134 30 ST NW	WASHINGTON, DC 29912
DELEON FERNAN & LONGANO DANIELLE C	PO BOX 1528	WINTER PARK, CO 80482