



CITY COUNCIL  
Regular Meeting

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City Councillor Joseph A. DelGrosso  
City Council Chamber – Revere City Hall  
281 Broadway, Revere, Massachusetts 02151

Calendar

Monday, April 25, 2022, 6:00 PM

**5:00PM Appointments Sub-Committee Meeting**

**5:30PM Ways & Means Sub-Committee Meeting**

**Salute to the Flag**

1. **Roll Call of Members**
2. Approval of the Journal of the Regular Meeting of April 11, 2022

**Public Hearings**

3. **22-127** Hearing called as ordered on the application of Karbell, LLC, 355 Middlesex Ave., Wilmington, MA 01887 seeking permission from the Revere City Council to raze the existing non-conforming structures on 25 and 55 American Legion Highway, Revere, MA and construct a new fast food/take-out/drive-in restaurant (coffee shop) with a drive through at 25 American Legion Highway, Revere, MA and a new 6,786 sq. ft. structure consisting of a 5,275 sq. ft. commercial unit (urgent care) and a 1,511 sq. ft. commercial unit (pizza shop) at 55 American Legion Highway, Revere, MA.
4. **22-128** Hearing called as ordered on the application of Revere Dev. LLC, 304 Squire Road, Revere, MA 02151 requesting a special permit from the Revere City Council to enable the appellant to raze the existing structure and construct a new fast-food restaurant with a drive through window at 304 Squire Road, Revere, MA.
5. **22-129** Hearing called as ordered on a petition submitted by National Grid to install new underground electrical service from pole #2024 to the property located at 727 Revere Beach Parkway, Revere, MA 02151.
6. **22-130** Hearing called as ordered on a petition submitted by National Grid to install new underground electric service to a pump station from existing pole #1847 on Rice Avenue, Revere, MA 02151.

**Unfinished Business**

7. **22-062** Proposed amendment to the Revised Ordinances of the City of Revere by the applicant, Enterprise Rent-A-Car Company of Boston, LLC, 50 Tomahawk Drive, Building #49, East Boston, MA 02128 relative to Automotive/Rental Car Facilities in the HB District (Third and Final Reading).
8. **22-100** Motion presented by Councillor Rotondo: That the Mayor be requested to provide the City Council with all demographic data points by census block.

9. **22-101** Motion presented by Councillor Rotondo: That the Mayor request Dr. Barros to provide the City Council with a copy of the REMAP plan and current scope of work to identify those who are traditionally and most marginalized in our community which was discussed at the Human Rights Commission meeting of March 10, 2022. Further, that Dr. Barros be requested to inform the City Council of what can be done through the City Council to meet these goals.
10. **22-102** Motion presented by Councillor Rotondo: That the Mayor request Dr. Barros, Director of Talent and Culture, and City Solicitor Paul Capizzi to hold a hostile work environment seminar.

**Appointments Sub-Committee Report**

11. **22-085** Communication from the Mayor relative to the appointment of Stephen F. Reardon to the Election Commission.
12. **22-094** Communication from the Mayor relative to the Appointment of Deborah Frank to Affordable Housing Trust Fund Board of Trustees
13. **22-112** Communication from the Mayor relative to the Appointment of Molly McGee to the Human Rights Commission
14. **22-115** Communication from the Mayor relative to the Appointment of Soumia Aitelhaj to the Cultural Council
15. **22-116** Communication from the Mayor relative to the Appointment of Chloe Marie Therese Gladu to the Cultural Council
16. **22-117** Communication from the Mayor relative to the Appointment of Samantha Harrington to the Cultural Council
17. **22-118** Communication from the Mayor relative to the Appointment of Lani Stevens to the Cultural Council

**Ways & Means Sub-Committee Report**

18. **22-019** An Ordinance Amending Metered Rates of the Revised Ordinances of the City of Revere Section 1. Section 13.04.130 Meters – Metered Rates of the Revised Ordinances of the City of Revere is hereby amended by inserting the words, “or an owner-occupied residential building comprised of not more than six units” after the word “units” in the first sentence of the definition for “Residential use”. Section 2. Section 13.04.130 Meters – Metered Rates of the Revised Ordinances of the City of Revere is hereby amended by inserting the words, “except for an owner-occupied residential building comprised of not more than six units” after the word “units” in the first sentence of the definition for “Commercial use”. Section 3. Section 13.04.132 Multi-unit facility billing of the Revised Ordinances of the City of Revere is hereby amended by inserting the words, “except for an owner-occupied residential building comprised of not more than six units” after the word “units” in the first sentence.
19. **22-027** Communication from the City Auditor relative to the ARPA Fund Grant Summary.

20. **22-086** Motion presented by Councillor Rotondo: That the Mayor be requested to investigate the feasibility of installing GPS in all city vehicles with the exemption of emergency workers and department heads. As a cost alternative half the fleet.
21. **22-087** Motion presented by Councillor Rotondo: That the Mayor be requested to provide an accounting to the City Council of all city-owned phones and who the phones are assigned to, except for Police and Fire investigators.

**Communications**

22. **22-131** Communication from the Mayor relative to a briefing from the City Planner on the multi-family zoning requirement for MBTA communities.
23. **22-132** Communication from the City Auditor relative to the certification of Free Cash - June 30, 2021.
24. **22-133** Communication from Gina Castiello, 46 Nell Road, Revere, MA relative to the City's Human Rights Commission.

**Motions**

25. **22-134** Motion presented by Councillor Cogliandro: That the Mayor and Chief of Police be requested to look into creating SafeTrade Stations in Revere. SafeTrade Stations are utilized for safe exchanges on internet purchases from private online sales such as Craigslist and Facebook marketplace. There are currently 18 cities within the Commonwealth utilizing SafeTrade Stations. These stations are generally parking spaces on police department property and/or the police station lobby all with 24/7 monitoring.
26. **22-135** Motion presented by Council President Visconti: That the Mayor be requested to provide shredder truck services for residents twice per year to shred personal information documents. One event shall be held in the Beachmont area the other event shall be held at Griswold Park.



**CITY COUNCIL**  
Regular Meeting

City Councillor  
Joseph A. DelGrosso  
City Council Chamber  
Journal  
Monday, April 11, 2022

Regular Meeting of the City Council was called to order at 6:00 PM. President Gerry Visconti presiding.

**Salute to the Flag**

1 Roll Call of Members

Attendee Name	Title	Status	Arrived
Anthony Cogliandro	Councillor	Present	
Al Fiore	Councillor	Present	
Patrick M. Keefe	Councillor	Present	
Joanne McKenna	Councillor	Present	
Steven Morabito	Councillor	Present	
Ira Novoselsky	Councillor	Present	
Dan Rizzo	Councillor	Absent	
George J. Rotondo	Councillor	Absent	
Richard J. Serino	Councillor	Present	
Marc Silvestri	Councillor	Present	
Gerry Visconti	President	Present	

Council President Visconti took a point of personal privilege to address the City Council regarding decorum in the Council Chamber. Councillor members should show respect for one another and consider the residents of the community over politics. Debate will be timed and point of order will no longer be used to interrupt another Councillor.

2 Approval of the Journal of the Regular Meeting of March 28, 2022

Councillor Serino offered an amendment to the meeting minutes at the request of Mary Gandolfo, 619 Washington Avenue, Revere, MA to be recorded as a opponent to the Ordinance Amending Water Rates of the City of Revere.

**RESULT: ACCEPTED AS AMENDED**

- 3 22-104 Motion presented by Councillor Cogliandro: That the City Council award Certificates of Commendation to the Revere 8th grade girls and 7th grade boys travel basketball teams for winning the Metro West North Division Championship.

Councillor Cogliandro awarded Certificates of Commendation to the boys and girls basketball teams.

**RESULT: PLACED ON FILE**

- 4      22-105      Motion presented by Councillor Cogliandro: That the City Council award Certificates of Appreciation to Greg Vendetti, Emelio Fusco, April Feeney, Tyler D'Angelo, and Joe Singer for their work with children through the Revere High School Boxing Program.

**RESULT: PLACED ON FILE**

**Unfinished Business**

- 5      22-057      An Ordinance Amending the Revised Ordinances of the City of Revere relative to Drain Layers (Engrossment and Ordainment).

*Be it ordained by the City of Revere as follows:*

AN ORDINANCE FURTHER AMENDING TITLE 12 OF THE ORDINANCES OF THE CITY OF REVERE RELATIVE TO DRAIN LAYERS.

SECTION 1. Title 12 of the Revised Ordinances of the city of Revere is hereby amended by inserting the following new chapter and sections:

Chapter 12.18 - DRAIN LAYERS

12.18.010 - Definition.

“Drain layer” is a general term applied to a licensed professional, engaged in the business of installing sanitary sewer pipes, water distribution pipes, stormwater pipes, natural gas pipes, electric conduit, including geotechnical subsurface exploration, and any/all underground and subsurface utilities. Such utilities include main line pipes as well as public or private service line pipes, and all related connections and appurtenances.

12.18.020 - Approval; applications; licensing.

A. Consistent with chapter 13.08, all drain layers must be licensed and/or approved by the director of public works and the city engineer prior to commencing any work within the city of Revere. The director of public works and the city engineer may license such drain layers as apply and are found competent. No person other than a licensed drain layer shall construct, repair, otherwise connect to or excavate for such purpose any utility within the City’s right of way nor perform any type of subsurface exploration and/or borings of any kind

B. All applications for the construction, repair, or alteration of utilities for private use within the City’s right of way, and their entrance into common utilities, shall

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be made to the director of public works, and shall be in such form as he/she shall prescribe, and shall be approved by the city engineer. All such utilities for private use within the City's right of way and their entrances into common utility systems shall be constructed, connected, maintained, and kept in repair by a licensed private drain layer hired or employed by the applicant in such manner as the director of public works and/or city engineer may from time to time determine. The cost of any work so constructed, maintained, or repaired shall be paid by the applicant therefor.

II. AN ORDINANCE FURTHER AMENDING TITLE 13 OF THE ORDINANCES OF THE CITY OF REVERE.

SECTION 1. Title 13, Chapter 13.08, Section 13.08.270 of the Revised Ordinances of the city of Revere is hereby amended by deleting this section in its entirety and inserting in place thereof the following:

13.08.270 - Sewer layer; drain layer.

See 12.18.010.

SECTION 3. Title 13, Chapter 13.08, Section 13.08.300 of the Revised Ordinances of the city of Revere is hereby amended by deleting this section in its entirety and inserting in place thereof the following:

13.08.300 - Director of public works.

“Director of public works” refers to the head of the public works department of the city or his or her authorized agent, deputy or representative.

SECTION 3. Title 13, Chapter 13.08, Section 13.08.355 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words in the first sentence “by the city engineer,” and inserting in place thereof “by the director of public works and the city engineer.”

SECTION 4. Title 13, Chapter 13.08, Section 13.08.360 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” throughout and inserting in place thereof the words “director of public works.”

SECTION 5. Title 13, Chapter 13.08, Section 13.08.360 of the Revised Ordinances of the city of Revere is hereby amended by deleting the first word “Applications” and inserting in place thereof the words “Consistent with section 12.18.020, applications.”

SECTION 6. Title 13, Chapter 13.08, Section 13.08.365 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “sewer layer” throughout and inserting in place thereof the words “drain layer.”

SECTION 7. Title 13, Chapter 13.08, Section 13.08.365 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” and inserting in place thereof the words “director of public works and/or the city engineer.”

SECTION 8. Title 13, Chapter 13.08, Section 13.08.375 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “sewer layer” and inserting in place thereof the words “drain layer.”

SECTION 9. Title 13, Chapter 13.08, Section 13.08.380 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” throughout and inserting in place thereof the words “director of public works and/or the city engineer.”

SECTION 10. Title 13, Chapter 13.08, Section 13.08.380 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “sewer layer” and inserting in place thereof the words “drain layer.”

SECTION 11. Title 13, Chapter 13.08, Section 13.08.385 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” and inserting in place thereof the words “director of public works and/or the city engineer.”

SECTION 12. Title 13, Chapter 13.08, Section 13.08.395 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “city engineer” and inserting in place thereof the words “director of public works and/or the city engineer.”

SECTION 13. Title 13, Chapter 13.08, Section 13.08.400 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” throughout and inserting in place thereof the words “director of public works.”

SECTION 14. Title 13, Chapter 13.08, Section 13.08.405 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” and inserting in place thereof the words “director of public works.”

SECTION 15. Title 13, Chapter 13.08, Section 13.08.420 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” throughout and inserting in place thereof the words “director of public works.”

SECTION 16. Title 13, Chapter 13.08, Section 13.08.420 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “sewer layer” and inserting in place thereof the words “drain layer.”

SECTION 17. Title 13, Chapter 13.08, Section 13.08.425 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “sewer layer” throughout and inserting in place thereof the words “drain layer.”

SECTION 18. Title 13, Chapter 13.08, Section 13.08.425 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent of public works” throughout and inserting in place thereof the words “director of public works.”

SECTION 19. Title 13, Chapter 13.08, Section 13.08.430 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “superintendent” and inserting in place thereof the words “director of public works.”

SECTION 20. Title 13, Chapter 13.08, Section 13.08.435 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “city council” and inserting in place thereof the words “director of public works and the city engineer.”

SECTION 21. Title 13, Chapter 13.08, Section 13.08.435 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “sewer layer” throughout and inserting in place thereof the words “drain layer.”

SECTION 22. Title 13, Chapter 13.08, Section 13.08.445 of the Revised Ordinances of the city of Revere is hereby amended by deleting the words “sewer layer” and inserting in place thereof the words “drain layer.”

February 28, 2022      Ordered to a first reading.  
 March 14, 2022      On a second reading, Councillor Fiore objected.  
 March 28, 2022      On a third and final reading, Councillor Fiore objected.  
 April 11, 2022      On Engrossment and Ordainment: Councillor Fiore voting "NO".  
                                  Councillors Rizzo and Rotondo were absent.

<b>RESULT:</b>	<b>ORDERED ENGROSSED AND ORDAINED [8 TO 1]</b>
<b>AYES:</b>	Cogliandro, Keefe, McKenna, Morabito, Novoselsky, Serino, Silvestri, Visconti
<b>NAYS:</b>	Fiore
<b>ABSENT:</b>	Rizzo, Rotondo

6      22-100      Motion presented by Councillor Rotondo: That the Mayor be requested to provide the City Council with all demographic data points by census block.

<b>RESULT:</b>	<b>TABLED - NO ROLL CALL</b>	<b>Next: 4/25/2022 6:00 PM</b>
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7      22-101      Motion presented by Councillor Rotondo: That the Mayor request Dr. Barros to provide the City Council with a copy of the REMAP plan and current scope of work to identify those who are traditionally and most marginalized in our community which was discussed at the Human Rights Commission meeting of March 10, 2022. Further, that Dr. Barros be requested to inform the City Council of what can be done through the City Council to meet these goals.

<b>RESULT:</b>	<b>TABLED - NO ROLL CALL</b>	<b>Next: 4/25/2022 6:00 PM</b>
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8      22-102      Motion presented by Councillor Rotondo: That the Mayor request Dr. Barros, Director of Talent and Culture, and City Solicitor Paul Capizzi to hold a hostile work environment seminar.

<b>RESULT:</b>	<b>TABLED - NO ROLL CALL</b>	<b>Next: 4/25/2022 6:00 PM</b>
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**Legislative Affairs Sub-Committee Report (April 4, 2022)**



The Legislative Affairs Sub-Committee met on Monday, April 4, 2022 at 5:00PM in the City Councillor Joseph A. DelGrosso, City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA. Committee members present were Councillors Keefe, Morabito, Novoselsky, Visconti (ex-officio), and Chairman Fiore. Councillor Rizzo was absent.

There were two items on this evening's agenda:

**22-054** An Act Relative to Term Limits for the Office of Mayor, City Council, and School Committee.

Section 1. Notwithstanding the provisions of section 59 of chapter 43 of the General Laws, no person shall hold the office of city councillor for more than five terms.

Section 2. Notwithstanding the provisions of section 31 of chapter 43 of the General Laws, no person shall hold the office of school committee member for more than five terms.

Section 3. Notwithstanding the provisions of section 17C of chapter 43 of the General Laws, no person shall hold the office of mayor for more than three terms.

Section 4. This act shall not apply to any person holding the office of mayor, city councillor, or school committee member who has exceeded the term limits as provided for in Sections 1 through 3 on the effective date of this act.

Section 5. This act shall take effect upon its passage.

The committee members had a unanimous discussion regarding the proposed special legislation. A law such as what is being proposed would be taking away power from the voters. Though well intended, it should be the voters who decide who can hold office and for how long.

Councillors Keefe, Morabito, Novoselsky, Visconti (ex-officio), and Chairman Fiore voting "NO". Councillor Rizzo was absent. This motion did not receive a favorable recommendation.

**22-106** Motion presented by Councillor Fiore: That the City Council commission the installation of portraits in the City Council Chambers in honor of the first women elected to the Revere City Council: Ward 1 Councillor Rita Singer (1975), Ward 3 Councillor Elvira "Vera" Curcio (1975), and the first at-large Councillor Linda Santos Rosa (1987).

Councillor Keefe indicated that he would support this motion as written.

Councillors Keefe, Morabito, Novoselsky, Visconti (ex-officio), and Chairman Fiore voting "YES". Councillor Rizzo was absent. This motion received a favorable recommendation from the committee.

9            **22-054**            Motion presented by Councillor Silvestri: That the City Council approve the following Home Rule, An Act Relative to Term Limits for the Office of Mayor, City Council, and School Committee. Section 1.

Notwithstanding the provisions of section 59 of chapter 43 of the General Laws, no person shall hold the office of city councillor for more than five terms. Section 2. Notwithstanding the provisions of section 31 of chapter 43 of the General Laws, no person shall hold the office of school committee member for more than five terms. Section 3. Notwithstanding the provisions of section 17C of chapter 43 of the General Laws, no person shall hold the office of mayor for more than three terms. Section 4. This act shall not apply to any person holding the office of mayor, city councillor, or school committee member who has exceeded the term limits as provided for in Sections 1 through 3 on the effective date of this act. Section 5. This act shall take effect upon its passage.

<b>RESULT:</b>	<b>DEFEATED - ROLL CALL [3 TO 6]</b>
<b>AYES:</b>	Cogliandro, Serino, Silvestri
<b>NAYS:</b>	Fiore, Keefe, McKenna, Morabito, Novoselsky, Visconti
<b>ABSENT:</b>	Rizzo, Rotondo

- 10      22-106      Motion presented by Councillor Fiore: That the City Council commission the installation of portraits in the City Council Chambers in honor of the first women elected to the Revere City Council: Ward 1 Councillor Rita Singer (1975), Ward 3 Councillor Elvira "Vera" Curcio (1975), and the first at-large Councillor Linda Santos Rosa (1987).

<b>RESULT:</b>	<b>ORDERED - ROLL CALL [UNANIMOUS]</b>
<b>AYES:</b>	Cogliandro, Fiore, Keefe, McKenna, Morabito, Novoselsky, Serino, Silvestri, Visconti
<b>ABSENT:</b>	Rizzo, Rotondo

### **Public Works Sub-Committee Report (April 4, 2022)**

The Public Works Sub-Committee met on April 4, 2022 at 5:30PM in the City Councillor Joseph A. DelGrosso, City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA. Committee members present were Councillors Cogliandro, Morabito, Rizzo, Visconti (ex-officio), and Chairman Novoselsky. Councillor Rotondo was absent.

Two motions were before the committee for discussion:

- 22-079**      Motion presented by Councillor Rotondo: That the Mayor request the DPW Water and Sewer Department to provide the public with how many water and sewer repairs have been made over the past two years. The purpose of this request is to demonstrate the great work this department has done.

Don Ciaramella, Nick Rystrom, Joe Maglione, and Paul Argenzio were all present at this meeting to address the sub-committee. Don Ciaramella conducted a presentation and provided a work order list which has been received and made part of this record.

- 22-091**      Motion presented by Councillor Fiore: That the Mayor be directed to distribute Chapter 90 Funds equally between each of the six wards.

Don Ciaramella explained to the sub-committee that there are certain criteria used to determine which streets get paved:

Below are the 7 criteria points we try to follow:

- 1.) New gas main replacement by National Grid in lieu of old leaking cast iron gas main.
- 2.) Monetary contribution from National Grid for paving.
- 3.) New water main replacement for water mains that have reached their life expectancy due to their age or water mains that are undersized.
- 4.) New stormwater drainage infrastructure where there is an either none or an obsolete system.
- 5.) New curbing and sidewalk work.
- 6.) Sewer main lining or replacement.
- 7.) Street Scan grading evaluation.

Please keep in mind that gas main and water main replacement required, at the very least, before repaving is considered since those two pieces of infrastructure are the most neglected along with all other infrastructure. In the past, it wasn't very popular for Federal, State or City governments to replace or upgrade infrastructure that was not visible and below the ground, therefore the city's administration has placed a major focus on infrastructure replacement moving forward.

After Mr. Ciaramella's presentation on both motions, the committee did not need to request a recommendation on either motion and suggested that both motions be placed on file.

- 11        22-079        Motion presented by Councillor Rotondo: That the Mayor request the DPW Water and Sewer Department to provide the public with how many water and sewer repairs have been made over the past two years. The purpose of this request is to demonstrate the great work this department has done.

<b>RESULT:</b>	<b>PLACED ON FILE</b>
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- 12        22-091        Motion presented by Councillor Fiore: That the Mayor be directed to distribute Chapter 90 Funds equally between each of the six wards.

<b>RESULT:</b>	<b>PLACED ON FILE</b>
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### Zoning Sub-Committee Report

The Zoning Sub-Committee met on Monday evening, April 11, 2022 at 5:00PM in the City Councillor Joseph A. DelGrosso, City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA. Committee members present were Councillor Fiore, McKenna, Novoselsky, Serino, Visconti (ex-officio), and Chairman Keefe.

Two zoning matters were pending before the committee:

**CZ-22-01/22-062** Enterprise Rent-A-Car Company of Boston, LLC, 50 Tomahawk Drive, Building #49, East Boston, MA 02128 requesting the following amendment to the Revised Ordinances of the City of Revere:

**Section 1.** Section 17.16.040(D) Business Uses and Consumer Services, Generally - Table of Uses of the Revised Ordinances of the City of Revere is hereby amended by allowing Automotive/truck rental office and storage use by Special Permit<sup>^^</sup> in the HB District.

**Section 2.** Section 17.16.040 Generally - Table of Uses of the Revised Ordinances of the City of Revere is hereby amended by inserting the following new footnote <sup>^^</sup>:

1. Allowed vehicles as part of the “Automotive/truck rental office and storage” shall be limited to no more than a GVW 8,000 lb limit.
2. Vehicle capacity shall be limited to up to 50 rental vehicles on site at any one time.
3. There shall be a minimum lot size of 25,000 square feet for any property seeking such a use by Special Permit.
4. No stacking of vehicles will be allowed on site.
5. No repair, maintenance, or body work shall be allowed on site.
6. Applicants must agree to install and provide substantive screening and buffering on site.

Nick Zozula, attorney for the applicant, addressed the committee and provided a brief synopsis of the prior hearings on this zoning ordinance amendment. Attorney Zozula indicated that Enterprise is willing to register three-hundred and fifty (350) vehicles to the City of Revere for excise tax purposed and is also willing to continue the ten-dollar (\$10.00) surcharge once the public safety facility loan has been paid off for an additional ten years, but it may require an amendment to the special legislation. Councillors in favor of the proposed amendment cited the lack of development on Squire Road and would rather see this business be able to operate than have empty commercial space continue to go unused for any longer.

The amendment did not receive a favorable recommendation from the committee. Councillors Fiore, Novoselsky, and Serino voting “YES”. Councillor McKenna, Visconti (ex-officio), and Chairman Keefe voting, “NO”.

**C-22-01/22-063** Broadway Capital CDPM, Inc., 932 Broadway, Unit 1, Chelsea, MA 02150, requesting a special permit from the Revere City Council for the extension and alteration of a nonconforming structure and use to enable the appellant to convert a former nursing home to a 72 unit mixed use development consisting of 71 residential units and 1 office at 133 Salem Street, Revere, MA 02151.

Mikael Vienneau, Broadway Capital addressed the City Council. The following letter offered by Mr. Vienneau was received by the sub-committee and incorporated into the special permit. Mr. Vienneau further asked of the committee to please write a letter of support to the North Suburban Consortium for assistance in offsetting the cost of the affordable housing units requested by the City Council.

Dear Honorable Members of the Revere Council,

Thank you for your feedback and collaboration on the proposed project at 133 Salem Street. The community feedback, combined with the ideas and suggestions from the Council, will make this project better than originally proposed.

Based on the collective feedback, the team at Broadway Capital is pleased to present the following recap of the suggestions and how they have informed the final scope of the project as proposed:

1. **Owner Occupancy:** The development at 133 Salem Street will bring 72 units of condominiums to the City of Revere. These owner occupancy units will include a mix of studio, single- and double-bedroom units. Condominium association documents will govern the property and include a provision that prohibits sub-leasing units to 10% of the total number of units. Additionally, the provision will state that lease agreements must be a minimum of 12-months in length. These provisions ensure that most of the condos will remain occupied by owners.
2. **Affordability:** Broadway Capital is proposing that 7 (seven) units be allocated for affordable housing. The mix we propose includes two units at 60% AMI for Veterans; two units at 60% AMI for senior citizens; two units at 70% AMI; and, one unit at 80% AMI. All the units will be initially available for Revere residents via a lottery (coordinated with the City). We believe what we are proposing will provide the City of Revere a key step towards introducing a city-wide ordinance that requires all residential developments to include a level of affordability and to address critical housing needs. As most know, the city is desirable place to live, and housing costs are continuing to rise. Broadway Capital is committed to supporting the city's strategic initiatives to ensure that those that live here can own and do so affordably.
3. **Waste:** Based on feedback from the city's engineering department, the proposed development at 133 Salem St. may increase the stress put on the area's wastewater technology. To alleviate those pressures, Broadway Capital is committed to allocating \$27,000 towards the acquisition of new technology to upgrade those systems on behalf of the neighborhood. Additionally, Broadway Capital will have onsite trash collection units that will be emptied by a privately hired company. The schedule for pick-up will be dictated by the volume created and Broadway Capital is committed to increasing pick-up volumes, as necessary. Additionally, we will ensure that truck noise and related disruptions are limited to certain times of the day or evening, to address neighborhood concerns over traffic/noise. Lastly, all residents will be required to bring their trash to dumpsters as to avoid the collection of trash within the building, which would cause health concerns.
4. **Traffic/Parking:** Broadway Capital's team hired an outside consultant to review trip counts and traffic concerns in the area. The traffic study (attached here) shows that traffic flow impact will be minimum. To ease the flow of vehicles coming to and from the property, Broadway Capital will limit the two access points on the property in a manner that forces vehicles to enter one way and exit the other. This will prevent backup into and coming from the property. Additionally, Broadway Capital will work with the city to pay for and install relevant signage, crosswalk identifications and other street elements to visually remind drivers of speed limits and other relevant information to inform safe driving. We are also removing trees at the front of the property to clean up site lines onto 133 Salem St. From a parking perspective, there will be an abundance of unit-specific

parking spots that will not be able to be leased or transferred in any manner. This stipulation will be written into the condominium documents.

5. **Environmental:** Broadway Capital will replace the trees that are being removed to alleviate traffic concerns at other points on the property. Additionally, we have created a landscaping plan (see attached) that will enhance the visual elements of the property. We commit to working with site plan experts to ensure the landscaping elements are reviewed and approved by the city. Also, Broadway Capital hired an outside consultant to review shadowing concerns that were brought to our attention by the neighborhood. The study shows that in the warmer months, the shadows are minimal, while during the winter months, are slightly increased. The concern was brought to our attention by a resident who was concerned about shadowing on her pool during summer months. We feel this concern has been addressed by the study. Noise was also an environmental concern, but Broadway Capital's outside consultant found that the noise from heating/cooling units (which will be on the roof), do not create noise above car traffic or other less-noisy devices/items. Additionally, Broadway Capital will construct barriers around the units to further prevent sound distribution.
6. **Financial Contributions:** As previously stated, the project will provide annual tax contribution to the city as well as excise tax on registered vehicles. Additionally, Broadway Capital will donate to the City of Revere's Community Trust Fund and will also pay all related I&I fees. All contributions and fees will be paid upon the approval of the special permit and through the finalization of site plan review. Broadway Capital will work with the city to ensure allocations of funds are appropriated when required and at the total amount requested.
7. **Community Engagement:** Throughout the process, Broadway Capital held two community meetings where over 75 residents and city representatives were able to learn about the project, ask questions and provide ideas to enhance the project. Additionally, we held dozens of one-on-one conversations with residents about owner occupancy in the City of Revere, with overwhelming support. In fact, there are over 60 signatures on a letter of support that is hosted on the Change.org platform: <https://chnge.it/YtC2p7gx> <<https://protect-us.mimecast.com/s/9kgaCZ6NGWFm1nMuzDFxR?domain=chnge.it>>
8. Lastly, if the special permit is approved, Broadway Capital will provide daily, weekly and/or monthly updates to area residents and the city about construction details. We are committed to communicating regularly with the community and addressing any of their concerns during and post-construction to follow through on our commitment to be a good neighbor. We will do so through social media, email, letters, and other forms of communication, as needed.
9. **Property Management:** Broadway Capital will have an onsite property management team and will also have our business office at the site. We are considering moving our headquarters to Revere and are committed to working with the city on supporting their economic and strategic development plans.
10. **Support of Affordable Urban Housing:** Finally, Broadway Capital humbly requests a

letter of support signed by Mayor Arrigo and/or the City Council leadership that will be submitted to the North Suburban Consortium (NSC). The NSC is an eight-community jurisdiction, comprised of the contiguous communities of Malden, Medford, Arlington, Melrose, Chelsea, Everett, Revere and Winthrop that have signed a cooperative agreement to gain access to U.S. Department of Housing & Urban Development (HUD) HOME Program funds - the annual federal block grant that funds the NSC HOME Program and which is dedicated to the rehabilitation, creation, and preservation of affordable housing. The letter of support from the city would be directed towards the need for affordable housing projects like 133 Salem Street and the alleviation of financial stress on residents who want to own a home but can't do so through traditional financing avenues.

I want to thank the members of the Zoning Board Committee, members of the City Council, Mayor Arrigo, the city's service area experts, neighbors, and the community for making the project better. This is our first project in the city and the experience has been collaborative and educative. We feel 133 Salem Street will be a welcomed addition to that part of the city. We are excited about further investing in Revere, continuing our commitment to being a good neighbor, and want to thank you all again for your professionalism during this process. Thank you for the consideration.

Additionally, the City Council accepted the following conditions recommend by Frank Stringi, Site Plan Review:

1. That the special permit stipulate that the conversion of this property be restricted to the creation of 71 residential condominium units with one office unit and that no apartment use shall be allowed on the site.
2. In accordance with Chapter 17.47, the Capital Improvement Trust Fund is applicable to this project. Under the Community Improvement Trust Fund, the developer must contribute 3% of the construction cost above and beyond what is allowed as of right towards the fund. In the case of this project, 3% of the construction cost shall be based on the construction cost related to the creation of the 71 residential condominium units and one office unit which are being proposed under this special permit.
3. The sewer, water and stormwater drainage plans shall be reviewed and approved by the City Engineer including the requirements for installing new water and sewer service lines to the property if the current services are deemed to be inadequate.
4. The improvements shall conform to all fire safety codes and shall be approved by the Fire Dept.
5. New concrete sidewalks shall be installed along the full frontage of the property.
6. The plans shall be reviewed and approved by the Site Plan Review Committee prior to the issuance of a building permit and shall be subject to additional conditions required by the Site Plan Review Committee with respect to landscaping and final design.

The Zoning Sub-Committee offered the following additional conditions for the special permit:

1. There shall be a minimum of one (1) electric vehicle charging station installed on site.
2. Construction shall not start until 7:30am Monday through Friday and shall not take place

on Saturday or Sunday.

Residents Tony Chianca, 13 Clifton Street, Revere, MA and Anthony T. Zambuto, 87 High Street, Revere, MA addressed the committee and spoke in favor of the project.

The committee voted to favorably recommend the special permit subject to the findings and conditions of Site Plan Review and the Zoning Sub-Committee. Councillors McKenna, Novoselsky, Serino, Visconti (ex-officio), and Chairman Keefe voting “YES”. Councillor Fiore voting “NO”.

- 13      22-062      Proposed amendment to the Revised Ordinances of the City of Revere by the applicant, Enterprise Rent-A-Car Company of Boston, LLC, 50 Tomahawk Drive, Building #49, East Boston, MA 02128 relative to Automotive/Rental Car Facilities in the HB District.

Upon Councillor Keefe issuing his Zoning Sub-Committee report indicating that the proposed zoning amendment did not receive a favorable recommendation, Councillor Novoselsky, in his capacity as a voting member of the Zoning Sub-Committee, offered the following minority report for consideration:

Minority Report by Councillor Novoselsky:

That the City Council amend Chairman Keefe's Zoning Sub-Committee recommendation from an unfavorable recommendation to a favorable recommendation: Councillors Cogliandro, Fiore, Morabito, Novoselsky, Serino, and Silvestri voting "YES". Councillors Keefe, McKenna, and Council President Visconti voting "NO". Councillors Rizzo and Rotondo were absent.

Councillor Novoselsky's Minority Report for the Zoning Sub-Committee on the proposed zoning amendment has been adopted.

The proposed amendment to the Revised Ordinances of the City of Revere relative to automotive/rental car facilities in the HB District is now before the City Council on a second reading.

Councillors Cogliandro and Fiore objected on the second reading.

Councillor Fiore cited that he requires some additional information on the proposed amendment as reasoning for objecting at this time in response to Councillor Keefe's inquiry.

<b>RESULT:</b>	<b>TABLED - OBJECTION 2ND READING</b>	<b>Next: 4/25/2022 6:00 PM</b>
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- 14      22-063      Broadway Capital CDPM, Inc., 932 Broadway, Unit 1, Chelsea, MA 02150, requesting a special permit from the Revere City Council for the extension and alteration of a nonconforming structure and use to enable the appellant to convert a former nursing home to a 72 unit mixed use development consisting of 71 residential units and 1 office at 133 Salem Street, Revere, MA 02151.

Minutes Acceptance: Minutes of Apr 11, 2022 6:00 PM (Salute to the Flag)



**“SHALL THE CITY COUNCIL GRANT THE RELIEF REQUESTED BY THE PETITION SUBJECT TO THE FINDINGS AND CONDITIONS OF SITE PLAN REVIEW AND THE ZONING SUB-COMMITTEE?”**

**RESULT:** ORDERED - ROLL CALL [8 TO 1]  
**AYES:** Cogliandro, Keefe, McKenna, Morabito, Novoselsky, Serino, Silvestri, Visconti  
**NAYS:** Fiore  
**ABSENT:** Rizzo, Rotondo

**Communications**

15      22-113      Nicole Palermo - disclosure by municipal employee of a financial interest in a municipal contract as required by MGL c. 268A, s. 20(b).

**RESULT:** ORDERED - ROLL CALL [UNANIMOUS]  
**AYES:** Cogliandro, Fiore, Keefe, McKenna, Morabito, Novoselsky, Serino, Silvestri, Visconti  
**ABSENT:** Rizzo, Rotondo

16      22-114      Michael Micciche - disclosure by municipal employee of a financial interest in a municipal contract as required by MGL c. 268A, s. 20(b).

**RESULT:** ORDERED - ROLL CALL [UNANIMOUS]  
**AYES:** Cogliandro, Fiore, Keefe, McKenna, Morabito, Novoselsky, Serino, Silvestri, Visconti  
**ABSENT:** Rizzo, Rotondo

17      22-115      Communication from the Mayor relative to the Appointment of Soumia Aitelhaj to the Cultural Council

**RESULT:** REFERRED TO APPOINTMENTS      Next: 4/25/2022 6:00 PM

18      22-116      Communication from the Mayor relative to the Appointment of Chloe Marie Therese Gladu to the Cultural Council

**RESULT:** REFERRED TO APPOINTMENTS      Next: 4/25/2022 6:00 PM

19      22-117      Communication from the Mayor relative to the Appointment of Samantha Harrington to the Cultural Council

**RESULT:** REFERRED TO APPOINTMENTS      Next: 4/25/2022 6:00 PM

20      22-118      Communication from the Mayor relative to the Appointment of Lani Stevens to the Cultural Council

<b>RESULT:</b>	<b>REFERRED TO APPOINTMENTS</b>	<b>Next: 4/25/2022 6:00 PM</b>
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### Motions

- 21      22-119      Motion presented by Councillor Morabito: That the Mayor be requested to investigate the feasibility of launching a pilot program to identify locations to add EV chargers to public areas in the City. This program aims to add access to EV charging stations, particularly for residents without driveways.

<b>RESULT:</b>	<b>ORDERED - VOICE VOTE</b>
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- 22      22-120      Motion presented by Council President Visconti, Councillor McKenna: That the Mayor request the Board of Health and the Public Health Division to develop biosafety level regulations for the City of Revere. Further, that the City Solicitor, City Planner, and Planning Board be requested to draft a zoning ordinance to provide for, up to and including, biosafety level 2 research and development facilities including life science manufacturing.

Councillor Novoselsky requested that the City Planner be added to the motion.

Residents Wayne Rose, 19 Thorndike Street, Revere, MA and Gina Castiello, 46 Nell Road, Revere, MA addressed the City Council on this motion.

<b>RESULT:</b>	<b>REFERRED TO LEGISLATIVE AFFAIRS</b>
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- 23      22-121      Motion presented by Council President Visconti, Councillor McKenna: That the Mayor request the City Solicitor to draft special legislation applicable to the City of Revere prohibiting testing on sentient creatures for cosmetic purposes.

<b>RESULT:</b>	<b>REFERRED TO LEGISLATIVE AFFAIRS</b>
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- 24      22-122      Motion presented by Councillor Serino: That the Traffic Commission amend Schedule VIII of Title 10 to prohibit parking on Malden Street on the even side of the street from Aurellia Sylvia Drive to Hall's Corner. Lately, there has been an increase of people parking at the bend on Malden Street, causing a serious hazard for vehicles traveling toward Newhall Street.

**RESULT: REFERRED TO TRAFFIC COMMISSION**

- 25      22-123      Motion presented by Councillor McKenna: That the Mayor be requested to create a memorial headstone in remembrance of all Revere residents who passed away from Covid-19 to be installed at an appropriate location.

**RESULT: ORDERED - VOICE VOTE**

- 26      22-124      Motion presented by Councillor Fiore: That the Mayor be directed provide an update to the City Council on grants and funding relative to the construction of a sea wall along Mills Avenue in the Riverside area.

Councillor Fiore was recently informed that the City is moving forward with this project already and subsequently amended his motion to provide for an update on the funding associated with the construction of the Mills Avenue seawall.

Councillor Serino indicated that funding for the seawall was set aside in one of the environment bond bills at the State level and would be able to look into that for Councillor Fiore if he would like.

**RESULT: ORDERED AS AMENDED VOICE VOTE**

- 27      22-125      Motion presented by Councillor Keefe: That the Mayor be requested to invest in necessary upgrades to Ericola Park to include but not limited to new back stops, fencing, turf, and lighting.

**RESULT: ORDERED - VOICE VOTE**

- 28      22-126      Motion presented by Councillor Novoselsky: That the Revere City Council approve the attached Proclamation designating the week of April 15th - April 21st as the "Days of Remembrance of the Victims of the Holocaust."

**RESULT: ORDERED - VOICE VOTE**

### Adjournment

Councillor Silvestri offered a point of personal privilege to recognize and honor Revere native, US Army Air Forces Staff Sgt. Charles G. McMackin whose remains have been recovered and brought home nearly 80 years after being shot down over Romania during World War II. The 26-year-old was the bombardier on a B-24 Liberator that participated in Operation Tidal Wave on Aug. 1, 1943. The bombing mission targeted oil fields and refineries in Romania considered crucial to the Nazi war effort. McMackin's plane crashed as a result of enemy anti-aircraft fire, and his remains were not identified following the war. Fallen American soldiers that could not be identified were buried in a cemetery in Romania and later moved to one in Belgium. The

**City Council – Regular Meeting****April 11, 2022**

remains were exhumed in 2017, and McMackin was eventually identified using dental and anthropological analysis, as well as mitochondrial DNA analysis.

Councillor Serino offered a moment silence for Staff Sgt. McMackin.

Councillor Serino wished residents a Happy Easter!

Councillor Novoselsky also wished residents a Happy Passover!

The City Council now stands adjourned to meet on Monday, April 25, 2022.

Ordered adjourned at 7:25 PM.

Attest:

City Clerk

**Minutes Acceptance: Minutes of Apr 11, 2022 6:00 PM (Salute to the Flag)**

C-22-02

## PUBLIC HEARING

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Sections 17.40.030 and 17.16.190 of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, April 25, 2022 at 6:00 P.M. in the City Councillor Joseph A. DeGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Karbell, LLC, 355 Middlesex Ave., Wilmington, MA 01887 seeking permission from the Revere City Council to raze the existing non-conforming structures on 25 and 55 American Legion Highway, Revere, MA and construct a new fast food/take-out/drive-in restaurant (coffee shop) with a drive through at 25 American Legion Highway, Revere, MA and a new 6,786 sq. ft. structure consisting of a 5,275 sq. ft. commercial unit (urgent care) and a 1,511 sq. ft. commercial unit (pizza shop) at 55 American Legion Highway, Revere, MA.

A copy of the aforementioned proposed plan and application (C-22-02) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:

Ashley E. Melnik  
City Clerk

Revere Journal  
Check attached #1216  
03/30/2022  
04/06/2022

FORM B

APPLICATION NO. C-22-02  
DATE: 3/22/22

**City of Revere, Massachusetts  
Revere City Council  
Application For  
Special Permit**

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the Revere City Council for the following:

- A. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.200 (Revised Ordinances of the City of Revere),
- B. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.16, Section \_\_\_\_\_.
- C. Application for Special Permit for Alteration and Extension of Nonconforming Uses (Revised Ordinances of the City of Revere), Title 17, Chapter 17.40, Section 17.40.020.

1. Applicant submitting this application is:

Name: KARBELL, LLC

Address: 355 Middlesex Ave, Wilmington, MA 01887

Tel. #: 978-857-1891

2. Applicant is:  Tenant  Licensee  Prospective Purchaser  
 Owner  Other (Describe)

\_\_\_\_\_

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

OFFICE CITY CLERK  
REVERE, MASS

MAY 22 PM 2:4

3. The following person is hereby designated to represent the applicant in matters arising hereunder:

Name: Benjamin C. Osgood, Jr., PE

Title: President, Ranger Engineering Group

Address: 13 Red Roof Lane, Suite 203

Tel. #: 978-435-1324

4. The land for which this application is submitted is owned by:

Name: KARBELL, LLC Paul Kneeland, Mgr.

Address: 355 Middlesex Ave. Wilmington, MA 01887

Tel. #: 978-857-1891

5. The land described in this application is recorded in Suffolk County Registry of \_\_\_\_\_,

Book 38946, Page 36. Certificate # (if registered) \_\_\_\_\_,

Book \_\_\_\_\_, Page \_\_\_\_\_.

6. Plans describing and defining the Exception to Use Regulations In Certain Districts, the Special Permit or Special Permit For Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are titled and dated:

Site Improvements plan, 25-55 American Legion Highway, Revere, MA 02151

Lot # Map 16 Block 244 Lot 4B Sq. Ft. 29,784

7. A map describing the land uses of adjacent and nearby properties is included and made a part of this application.

8. A locus map (8½" x 11") copy of City of Revere or USGS topographic sheet with site marked for which permit is requested is included and made a part of this application.

9A. Is the site of this application subject to the Wetland Protection Act (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Sec. 105)?

yes

no

do not know

9B. Is the location of the site of this application within 100 feet of:

\_\_\_\_\_ a coastal beach; \_\_\_\_\_ salt marsh; \_\_\_\_\_ land under the ocean;

\_\_\_\_\_ do not know;  no.

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

55 American Legion Highway (ALH) is 22,441 square foot property with frontage on American Legion Highway (ALH) and Everett Street. The property is improved with a 9,635 square foot building that presently houses a church, a weight lifting gym, a pizza shop, and Enterprise Car Rental. The property contains 22 parking spaces and driveways onto American legion Parkway and Everett Street.

The property is being developed in conjunction with the neighboring property located at 25A ALH. As part of the development the lot line between the two properties will be adjusted to increase the lot size at 55 ALH to 29,784 square feet. The property will have 152 feet of frontage on Everett Street and 178 feet on American legion Highway.

As part of the development the existing building will be razed and a new 5,275 square foot Convenient MD and a 1,511 square foot pizza shop will be constructed. As part of the development the two driveways on ALH will be consolidated to one, and the driveway on Everett Street will be eliminated. The development will include the construction of 40 parking spaces, 45 are required. The drive aisles will be reconfigured and the driveways will be shared by both 25 and 55 AMLH.

The property will be connected to the water and gas lines located in Everett Street, and to a sewer line that extends from Whitmore Road. Power will extend from the poles on Everett Street

11. What is the nature of the exception or special permit requested in this application?

A special permit is required under Section 17.40.030 for the reconstruction of a non conforming structure. The new building will not conform to the required front setback on Everett Street and side setback on the north side. The proposed side setback is 5.3'. The existing building setback is 1'.

Date of denial by Building Inspector and/or Planning Board

March 9, 2022



I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

Paul G. Kurland  
Signature of Applicant

3-22-22  
Date

Paul G. Kurland  
Signature of Owner

3-22-22  
Date

\_\_\_\_\_  
Signature of Designated Representative

\_\_\_\_\_  
Date

Received from above applicant, the sum of \$ \_\_\_\_\_ to apply against administrative and mailing costs.

\_\_\_\_\_

**General Disclosure of Constituent Information  
Relative to Applications Submitted to the Revere City Council  
For Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions, Approvals,  
Modifications and Amendments Which are Subject of Proceedings Before the Revere City Council**

1. Name and residential address of party submitting application:

Name: Karbell, LLC

Address: 355 Middlesex Avenue, Unit 7, Wilmington MA 01887

2. Name and residential address of each landowner on whose property subject matter will be exercised:  
(Attach additional pages, if necessary.)

Name: Karbell, LLC

Address: 355 Middlesex Avenue, Unit 7, Wilmington MA 01887

3. If the party is a partnership, state the name and residential address of all partners within sixty (60) days of this application:

Partner's Name: \_\_\_\_\_

Address: \_\_\_\_\_

4. Name and residential address of each party to whom subject authorization will be issued:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

5. If the party is a trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this application:

Trustee's Name: \_\_\_\_\_

Address: \_\_\_\_\_

The trust documents are on file at \_\_\_\_\_ and will be delivered upon request.

5. If the party is a joint venture, state the name and residential address of each person, form of company that is party to the joint venture within sixty (60) days of the filing of this application.

Joint Venture Name: \_\_\_\_\_

Address: \_\_\_\_\_

A copy of the Joint Venture agreement is on file at \_\_\_\_\_ and will be delivered upon request.

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

Page 2  
General Disclosure Form

7. If the party is a <sup>LLC</sup> corporation, provide the name and residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application:

Officer's Name: \_\_\_\_\_

Address: \_\_\_\_\_

Director's Name: \_\_\_\_\_

Address: \_\_\_\_\_

Shareholder's Name: \_\_\_\_\_  
(50% or more)

Address: \_\_\_\_\_

8. If the party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days of the date of this application.

General Partner's Name: \_\_\_\_\_

Address: \_\_\_\_\_

9. If the party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this application.

General Partner's Name  
of Limited Partnership: \_\_\_\_\_

Address: \_\_\_\_\_

10. If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the certificate require by Mass. General Law, Chapter 110, Section 5, is on file:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The foregoing information is provided under the Pains and Penalty of Perjury.

Signature of each party and landowner:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

### Request for Finding of Fact – Special Permit

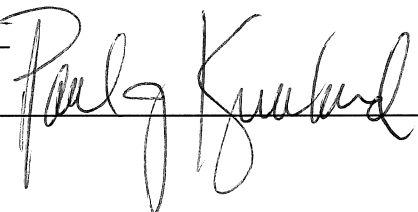
Now comes the applicant KARBELL, LLC  
 who has applied to this Honorable City Council for a special permit for property located at \_\_\_\_\_  
55 American Legion Highway and asks that said Council make the following findings of fact:

1. That the proposed use would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reasons:
  - (a) he use is appropriate for the location and is an allowed use.
  - (b) The redevelopment of the property will improve access and circulation on the site
  - (c) The Convenient MD use will provide a needed service to the community
2. That the specific site is an appropriate location for such use for the following reasons:
  - (a) It is adjacent to high volume roadways with sufficient capacity to serve the proposed use
  - (b) The site is adjacent to public transportation
  - (c)
3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:
  - (a) Sewer service is provided in an existing line that extends to Whitimore Street
  - (b) Water service connects to Everett Street
  - (c)
4. That the use as developed will not adversely affect the neighborhood, for the following reasons:
  - (a) The site is surrounded by commercial properties
  - (b) The site is on a high volume roadway. Traffic entering the site will not travel through residential neighborhoods.
  - (c)

Page 2  
Finding of Fact Form

- 5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using \_\_\_\_\_ for the following reasons:  
(streets)
  - (a) Existing driveways will be reconfigured and moved further from Bell Circle
  - (b) New sidewalks will be constructed on both adjacent roadways and crosswalks will be added on Everett St.
  - (c) Three existing curb cuts on American legion Highway will be consolidated to two.
  
- 6. That adequate and appropriate facilities will be provided for the proper use, for the following reasons:
  - (a) Access driveways will be improved and drive aisles exceed the requirement of the city
  - (b) Adequate parking is provided for the proposed use.
  - (c)

Date: 3-22-22

Respectfully submitted by: 

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

To: George Anzuoni, Director of Finance  
From: Ashley E. Melnik, City Clerk  
Subj: Review of Taxes, Assessments, Betterments and Other Municipal charges Relative to an Application for a City of Revere License and/or Permit.  
Date: \_\_\_\_\_

Requested Return  
Date: \_\_\_\_\_

Hearing  
Date: \_\_\_\_\_

In accordance with the provisions of Section 57(a), of Chapter 40 of the Massachusetts General Laws, and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, I herewith request information relative to the payment of the City of Revere real estate taxes, assessments, betterments and other municipal charges concerning the following persons, corporations or business enterprises who have made application for a City of Revere license or permit or renewal thereof:

Name of Applicant: Karbell, LLC  
(person, corporation or business enterprise applying for license or permit)

Address of Applicant: 355 Middlesex Avenue, Unit 7, Wilmington MA  
(business address of above person, corporation or business enterprise) 01891

Location Address: 55 American Legion Highway, Revere MA  
(location of property for which license or permit is required.)

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

Certification

Pursuant to M.G.L. Chapter 62C, Sec. 49A, I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required by law.

Karbell LLC  
Signature of Individual or  
Corporate Name

by: Paul Kumbel  
Corporate Officer (if applicable)

Certification

Pursuant to M.G.L. Chapter 40, Section 57(a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that I have paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.

Karbell LLC  
Signature of Individual or  
Corporate Name

by: Paul Kumbel  
Corporate Officer (if applicable)

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)



**CALL BEFORE YOU DIG**  
 BEFORE YOU DIG ANYWHERE IN MASSACHUSETTS  
 YOU MUST CALL 800-327-0273  
 THE LAW REQUIRES NOTIFICATION  
 BEFORE ANY EXCAVATION OR DRILLING TO  
 DETERMINE THE LOCATION OF  
 BURIED UTILITIES AND TO  
 LEAST 72 HOURS BEFORE BEGINNING CONSTRUCTION.  
 WWW.STATE.CA

# SITE IMPROVEMENTS PLAN

At

## 25-55 AMERICAN LEGION HIGHWAY

REVERE MASSACHUSETTS, 02151

DATE: MARCH 21, 2022

PREPARED FOR:

## CHANNEL BUILDING COMPANY

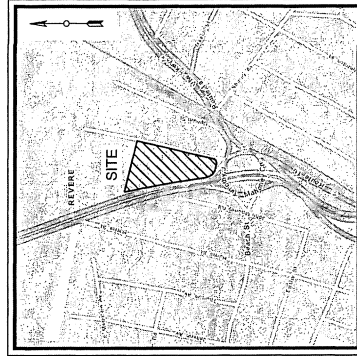
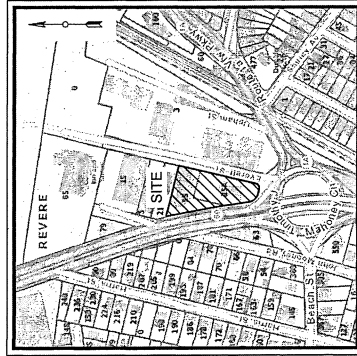
355 MIDDLESEX AVENUE

WILMINGTON, MA 01887

(978)-657-7300

### INDEX OF DRAWINGS

SHEET NO.	DWG NO.	DRAWING TITLE
1.	CS0001	COVER SHEET
2.	CS0002	LEGEND, NOTES, AND ABBREVIATIONS
3.	CS0201	EXISTING CONDITIONS PLAN
4.	CS0501	DEMOLITION PLAN
5.	CS0801	PROPOSED LOT PLAN
6.	CS1001	LAYOUT & MATERIALS PLAN
7.	CS1501	GRADING AND DRAINAGE PLAN
8.	CS1701	UTILITY PLAN
9.	CS2701	TRAFFIC MANAGEMENT PLAN
10.	CS6001	SITE DETAILS
11.	CS6002	DRAINAGE DETAILS
12.	CS6021	UTILITY DETAILS
13.	CS6051	EROSION AND SEDIMENTATION CONTROL PLAN
14.	CS8001	EROSION AND SEDIMENTATION CONTROL NOTES/DETAILS
15.	CS8501	



PREPARED BY:

## RANGER ENGINEERING GROUP, INC.

Ranger Engineering Group, Inc.  
 13 Red Roof Lane, Suite 203  
 Salem NH, 03079  
 Tel: 978-208-1762  
 rangereng.com



PROPERTY OWNER

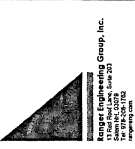
25 AMERICAN LEGION HIGHWAY  
 BELLBOA, LLC  
 355 MIDDLESEX AVE, WILMINGTON MA, 01826  
 55 AMERICAN LEGION HIGHWAY  
 KARRELL, LLC  
 355 MIDDLESEX AVE, WILMINGTON MA, 01826



PROJECT: 16-369  
 DATE: 2022-03-21  
 DRAWING NO.: 11-252  
 DRAWER: CME  
 CHECKER: CME  
 APPROVED BY: [Signature]  
**CS0001**  
 SHEET 1 OF 1

3.a

SITE IMPROVEMENTS PLAN  
 25 AMERICAN LEGION HIGHWAY  
 REVERE, MA 02151  
 ASSESSORS MAP 16 BLOCK 244 LOT 1A & 4B  
 COVER SHEET  
 CHANNEL BUILDING COMPANY  
 355 MIDDLESEX AVENUE  
 WILMINGTON, MASSACHUSETTS 01887

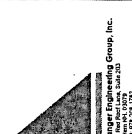




PROJECT	16-369
DATE	2022-03-21
DRAWING SCALE	1"=30'
DRAWN BY	DMR
CHECKED BY	BCD
APPROVED BY	

DATE	NO.	REVISIONS

**SITE IMPROVEMENT PLAN**  
 25-55 AMERICAN LEGION HIGHWAY  
 REVERE, MA 02151  
 ASSESSOR'S MAP 18 BLOCK 24 LOT 1 A & B  
**LEGEND, NOTES, AND ABBREVIATIONS**  
 CHANNEL BUILDING COMPANY  
 585 WOODSIDE AVENUE  
 WILMINGTON, MASSACHUSETTS 01897

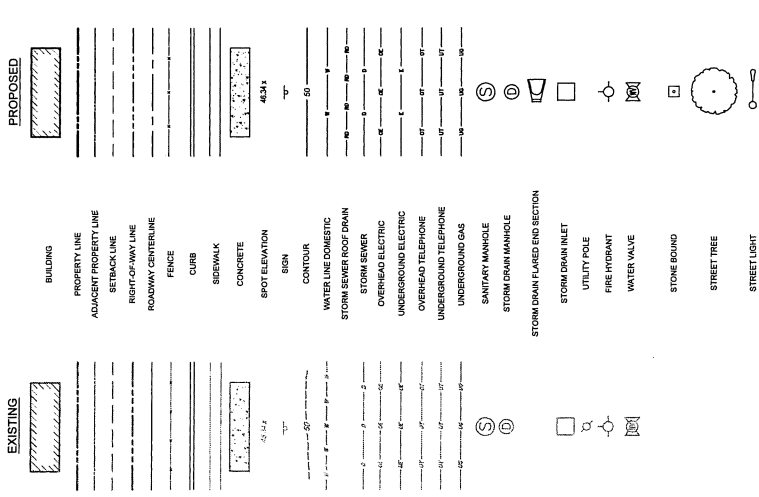


- GENERAL NOTES:**
1. THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN SHALL BE LOCATED IN ACCORDANCE WITH THE 1999 MASSACHUSETTS PLUMBING AND GAS BOARD REGULATIONS AND THE 2015 MASSACHUSETTS PLUMBING AND GAS BOARD REGULATIONS.
  2. ELEVATIONS ARE REFERENCED TO A BENCHMARK SENSER MANHOLE (M) IN EVERETT STREET ELEV. = 41.66 (NGVD 1988)
  3. EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM PLANS SUPPLIED BY SURVEYOR OF RECORD.
  4. DEED REFERENCE BOOK 1989 PAGE 300, BOOK 3849 PAGE 38 SUFFOLK COUNTY DISTRICT REGISTRY OF DEEDS
  5. THE PROPERTY IS LOCATED IN ZONE X AREA OF NO FLOODING AS SHOWN ON FIRM MAP NO. 2022020173, SUFFOLK COUNTY, MASSACHUSETTS, EFFECTIVE DATE MARCH 10, 2018.
  6. THERE ARE NO WETLANDS RESOURCE AREAS LOCATED ON THIS PROPERTY.
  7. NO PORTION OF THE SITE IS LOCATED ON AN AREA OF PRIORITY OR ESTIMATED HABITAT AS MAPPED BY THE NHESP. 41TH EDITION NATURAL HERITAGE ATLAS EFFECTIVE DATE AUGUST 1, 2017.
- CONSTRUCTION NOTES:**
1. **EXISTING CONDITIONS INFORMATION**  
 A. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.  
 B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THIS PLAN.
  2. **DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER. DEMOLITION MATERIALS SHALL NOT BE BURIED ON SITE.**  
 A. EXISTING TORSION AND SUBSOIL SHALL BE REMOVED FROM PROPOSED ROADWAY AREAS AND STOCKPILED. FILL MATERIAL USED IN PROPOSED ROADWAY AREAS SHALL BE OBTAINED FROM A QUALIFIED SOURCE. FILL MATERIAL SHALL NOT EXCEED 60 FEET IN DEPTH AND SHALL BE RECOMPACTED TO A MINIMUM DRY DENSITY AS DETERMINED BY A STANDARD PROCTOR TEST.  
 B. **MATERIALS**  
 ALL NECESSARY INSPECTIONS AND/OR CERTIFICATION REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.  
 ALL CURBS ON STATE RIGHT OF WAY SHALL BE VERTICAL GRANITE CURB (VGC) WITH A 6 INCH VERTICAL REVEAL, UNLESS OTHERWISE NOTED.  
 ALL CURBS ON SITE SHALL BE PRECAST CONCRETE CURB (PCC) WITH A 6 INCH VERTICAL REVEAL, UNLESS OTHERWISE NOTED.  
 C. **BITUMINOUS CONCRETE PAVEMENT:**  
 ROADWAY: 1 1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE H WEARING COURSE  
 BINDER COURSE: 1 1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE H WEARING COURSE  
 GRAVEL BASE COURSE: 4 INCHES COMPACTED DENSE GRADED CRUSHED STONE FOR SUB-BASE (M 2.07.7)  
 8 INCHES COMPACTED SUB-BASE, M1.00 TYPE C  
 DRIVEWAY: 1 1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE H WEARING COURSE  
 SUB-BASE COURSE: 4 INCHES COMPACTED DENSE GRADED CRUSHED STONE FOR SUB-BASE (M 2.07.7)  
 GRAVEL BASE COURSE: 4 INCHES COMPACTED SUB-BASE, M1.00 TYPE C  
 SIDEWALK: 1 1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE H WEARING COURSE  
 BINDER COURSE: 1 1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE H WEARING COURSE  
 GRAVEL BASE COURSE: 4 INCHES SELECT COMPACTED SUB-BASE, M1.00 TYPE C  
 SURFACE COURSE: 4 INCHES SELECT COMPACTED SUB-BASE, M1.00 TYPE C  
 D. ALL EXISTING TREES NOT COVERED BY STRUCTURES OR PAVEMENT AND NOT OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN SHALL RECEIVE 6 INCHES OF TOPSOIL. THESE AREAS ARE TO BE SEEDED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.  
 E. ALL EXISTING AND PROPOSED PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)  
 F. ALL CONFORMANCE: ALL NEWLY INSTALLED MANHOLES AND SERVICES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS. UNLESS OTHERWISE SPECIFICALLY NOTED, ALL NEWLY INSTALLED MANHOLES AND SERVICES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS.  
 G. **UTILITIES:**  
 ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS. UNLESS OTHERWISE SPECIFICALLY NOTED, ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS.  
 H. **PRELIMINARY UTILITIES:**  
 PRELIMINARY UTILITIES SHALL BE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF PRELIMINARY UTILITIES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF PRELIMINARY UTILITIES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF PRELIMINARY UTILITIES AS SHOWN ON THIS PLAN.  
 I. **CONSTRUCTION ON EXISTING:**  
 CONSTRUCTION ON EXISTING STRUCTURES SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS. UNLESS OTHERWISE SPECIFICALLY NOTED, CONSTRUCTION ON EXISTING STRUCTURES SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS.  
 J. **STRUCTURES:**  
 ALL STRUCTURES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS. UNLESS OTHERWISE SPECIFICALLY NOTED, ALL STRUCTURES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS.  
 K. **SEWER DRAINAGE:**  
 ALL SEWER DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS. UNLESS OTHERWISE SPECIFICALLY NOTED, ALL SEWER DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS.  
 L. **PROPOSED STRUCTURES:**  
 ALL PROPOSED STRUCTURES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS. UNLESS OTHERWISE SPECIFICALLY NOTED, ALL PROPOSED STRUCTURES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ACCESSIBLE TOILET AND CHANGE ROOMS (ATC) REQUIREMENTS.  
 M. **FINAL ELEVATIONS:**  
 ALL FINAL ELEVATIONS SHALL BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF FINAL ELEVATIONS AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF FINAL ELEVATIONS AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF FINAL ELEVATIONS AS SHOWN ON THIS PLAN.

**ABBREVIATIONS**

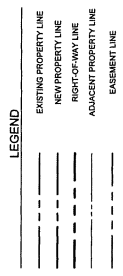
ADU	ADJUST	APPROXIMATE	BT	BITUMINOUS	BOS	BOTTOM OF SLOPE	CB	CATCH BASIN	CBM	CAVE CODE BERM	CDI	CEMENT UNED DUCTILE IRON	C.L.F.	CHAIN LINK FENCE	COND	CONCRETE	CONDUIT	DRILL HOLE	DCB	DOUBLE CATCH BASIN	DMH	DRAIN MANHOLE	DS	DOWN SPOUT	ELEV	ELEVATION	EGG	EDGE OF GRASS	EQ	EQUAL	EROW	ESTIMATED SEASONAL HIGH GROUND WATER	EXISTING	EXISTING	FDM	FOUNDATION	FEB	FLARED END SECTION	FND	FOUND	FP	FIRE PROTECTION SERVICE	FAG	FRAME AND GRATE	FKC	FRAME AND COVER	GF	GARAGE FLOOR	HDPF	HIGH DENSITY POLYETHYLENE PIPE	HVO	HYDRANT	INV	INVERT ELEVATION	IP	IRON PIPE	LA	LANDSCAPE AREA	MAX	MAXIMUM	MIN	MINIMUM	NC	NOT IN CONTRACT	NTS	NOT TO SCALE	OCES	OUTLET STRUCTURE	DWS	OIL WATER SEPARATOR	PCC	PRECAST CONCRETE CURB	PERF	PERFORATED	PROP	PROPOSED	PVC	POLYVINYL CHLORIDE PIPE	PWY	PAVED WATER WAY	RCP	REINFORCED CONCRETE PIPE	REIN	REMOVE	REMO	REMODEL	RETN	RETAIN	R&D	REMOVE AND DISPOSE	R&R	REMOVE AND RESET	R&S	REMOVE AND STACK	SMH	SEWER MANHOLE	STR	STRUCTURE	SW	SIDEWALK	TOS	TOP OF SLOPE	TSMB	TAPPING SLEEVE, VALVE AND BOX	TYP	TYPICAL	UGD	UNDERGROUND DETENTION SYSTEM	UGU	UNDERGROUND UTILITY	VCP	VITRIFIED CLAY PIPE	VGC	VERTICAL GRANITE CURB	WCR	WHEEL CHAIR RAMP	WTF	WATER TANK FEED	WQU	WATER QUALITY UNIT
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**LEGEND**



DIMENSIONAL REQUIREMENTS - TD - TECHNOLOGY ENTERPRISE DISTRICT			
MIN. LOT AREA	REQUIRED	LOT A	LOT B
20,000 SF	20,000 SF	20,000 SF	20,000 SF
MIN. LOT FRONT	150'	150'	175'

- NOTES:**
1. SEE REFERENCE PAGES:  
BOOK 4189 PAGE 306  
BOOK 3888 PAGE 36  
SUFFOLK COUNTY REGISTRY OF DEEDS
  2. SEE REFERENCE PAGES:  
STATE HIGHWAY LAYOUT #0064 OF 1932  
BOOK 4431 PAGE 348  
BOOK 4432 PAGE 348  
BOOK 6175 PAGE 530  
SUFFOLK COUNTY REGISTRY OF DEEDS



**APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED**  
CITY OF REVERE PLANNING BOARD

- WHEREAS IT IS TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FOLLOWING:
1. THESE PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
  2. THE LINES OF STREETS AND WAYS SHOWN ARE EITHER ALREADY ESTABLISHED AND THAT NO NEW LINES FOR NEW WAYS ARE SHOWN.

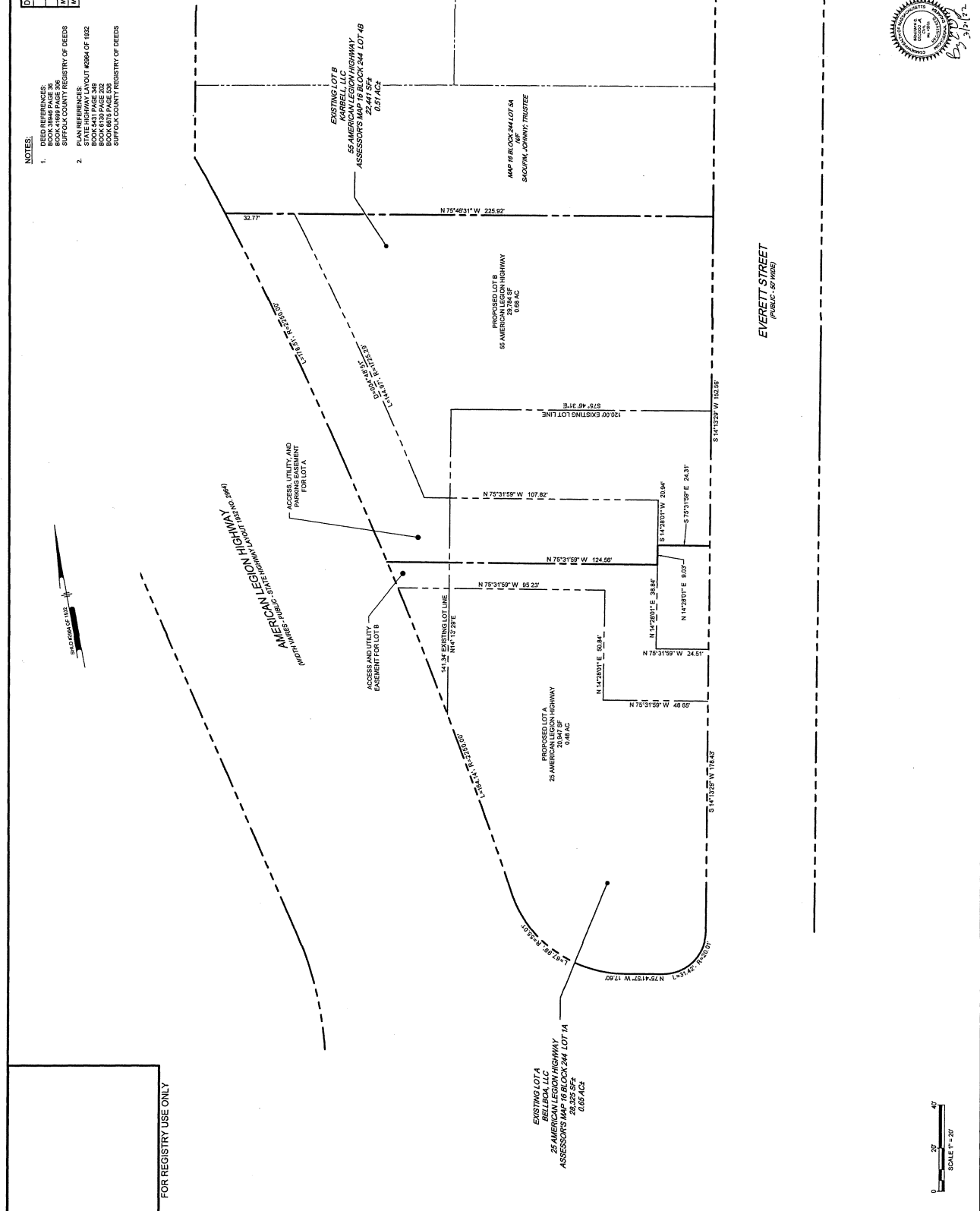
TIMOTHY J. WINNINGS  
DATE

**LOT LINE ADJUSTMENT & EASEMENT PLAN**  
AMERICAN LEGION HWY, REVERE MA

PREPARED FOR:  
AMERICAN LEGION HWY, REVERE MA  
BELLBOA LLC  
C/O BANK OF AMERICA  
350 MIDDLESEX AVENUE  
WILMINGTON, MA 01887  
Frazier Engineering Group, Inc.  
19 Reed Street, Suite 203  
Wilmington, MA 01890  
Tel: 978-208-1182  
www.fraziereng.com



DATE: 1-28-2022 SCALE: 1"=200' SHEET: 5 OF



FOR REGISTRY USE ONLY

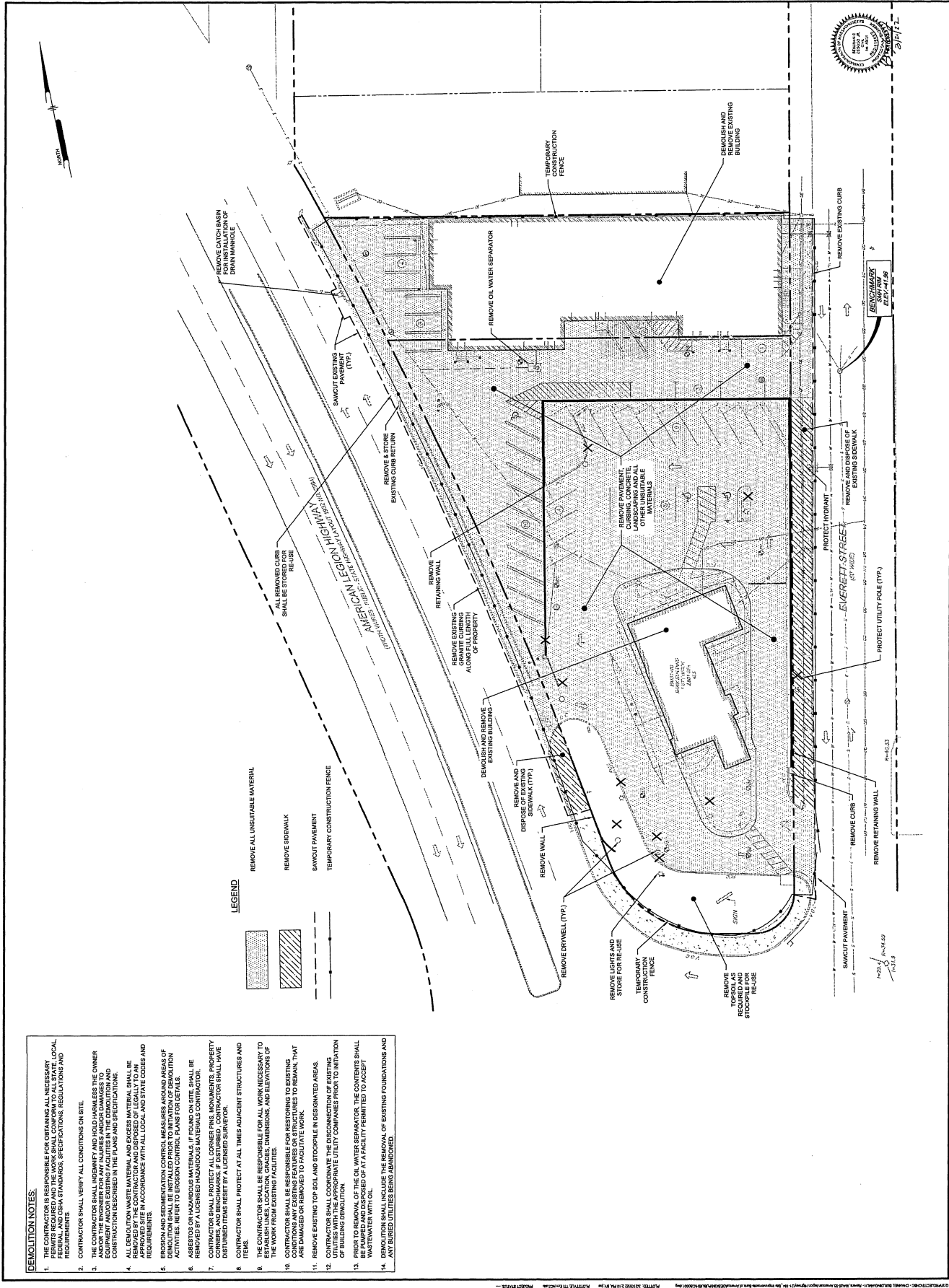


CS0501  
SHEET 4 OF

PROJECT 16-369  
DATE 2023-03-21  
DRAWING DATE 11-20-22  
DRAWN BY QMR  
CHECKED BY BCO  
APPROVED BY

REVISIONS	DATE	NO.	BY

SITE IMPROVEMENTS PLAN  
DEMOLITION PLAN  
CHANNEL BUILDING COMPANY  
365 MIDDLESEX AVENUE  
WILMINGTON, MASSACHUSETTS 01827  
ASSESSORS MAP 15 BLOCK 244 LOT 1A 8.49  
REF: R/EMA 02151  
25-55 AMERICAN LEGION HIGHWAY  
PROJECT #2022-127



**DEMOLITION NOTES:**  
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED AND THE WORK SHALL CONFORM TO ALL STATE, LOCAL, FEDERAL, AND OSHA STANDARDS, SPECIFICATIONS, REGULATIONS AND REQUIREMENTS.  
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS ON SITE.  
3. THE CONTRACTOR SHALL INCORPORATE AND HOLD HARMLESS THE OWNER, ARCHITECT, ENGINEER, AND ALL OTHER INTERESTED PARTIES AND EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.  
4. ALL DEMOLITION MATERIALS AND EXCESS MATERIAL SHALL BE STORED AT THE SITE UNTIL DISPOSED OF AT AN APPROVED SITE IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND REQUIREMENTS.  
5. DEMOLITION SHALL BE UNDER CLOSE SUPERVISOR CONTROL. MEASURES ARISING AS A RESULT OF DEMOLITION SHALL BE CONTROLLED BY THE CONTRACTOR'S ACTIVITIES. REFER TO EROSION CONTROL PLANS FOR DETAILS.  
6. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED ASBESTOS ABatement CONTRACTOR.  
7. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY MARKERS, AND ALL OTHER SURVEY MARKERS. DEMOLITION SHALL NOT DISTURB ITEMS RESET BY A LICENSED SURVEYOR.  
8. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS.  
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO PROTECT ALL ADJACENT UTILITIES, STRUCTURES, DIMENSIONS, AND ELEVATIONS OF THE WORK AREA LOCATION, GRADES, DIMENSIONS, AND ELEVATIONS OF THE WORK AREA.  
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING TO EXISTING CONDITIONS ANY EXISTING FEATURES OR STRUCTURES TO REMAIN, THAT ARE DAMAGED OR REMOVED TO FACILITATE WORK.  
11. REMOVE EXISTING TOP SOIL AND STOCKPILE IN DESIGNATED AREAS.  
12. CONTRACTOR SHALL COORDINATE THE DISCONNECTION OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO INITIATION OF BUILDING DEMOLITION.  
13. PRIOR TO REMOVAL OF THE OIL WATER SEPARATOR, THE CONTENTS SHALL BE PUMPED AND DISPOSED OF AT A FACILITY PERMITTED TO ACCEPT WASTEWATER WITH OIL.  
14. DEMOLITION SHALL INCLUDE THE REMOVAL OF EXISTING FOUNDATIONS AND NOT EXISTING UTILITIES BEING ABANDONED.

**LEGEND**

- REMOVE ALL UNSUITABLE MATERIAL
- REMOVE SIDEWALK
- SAW CUT PAVEMENT
- TEMPORARY CONSTRUCTION FENCE

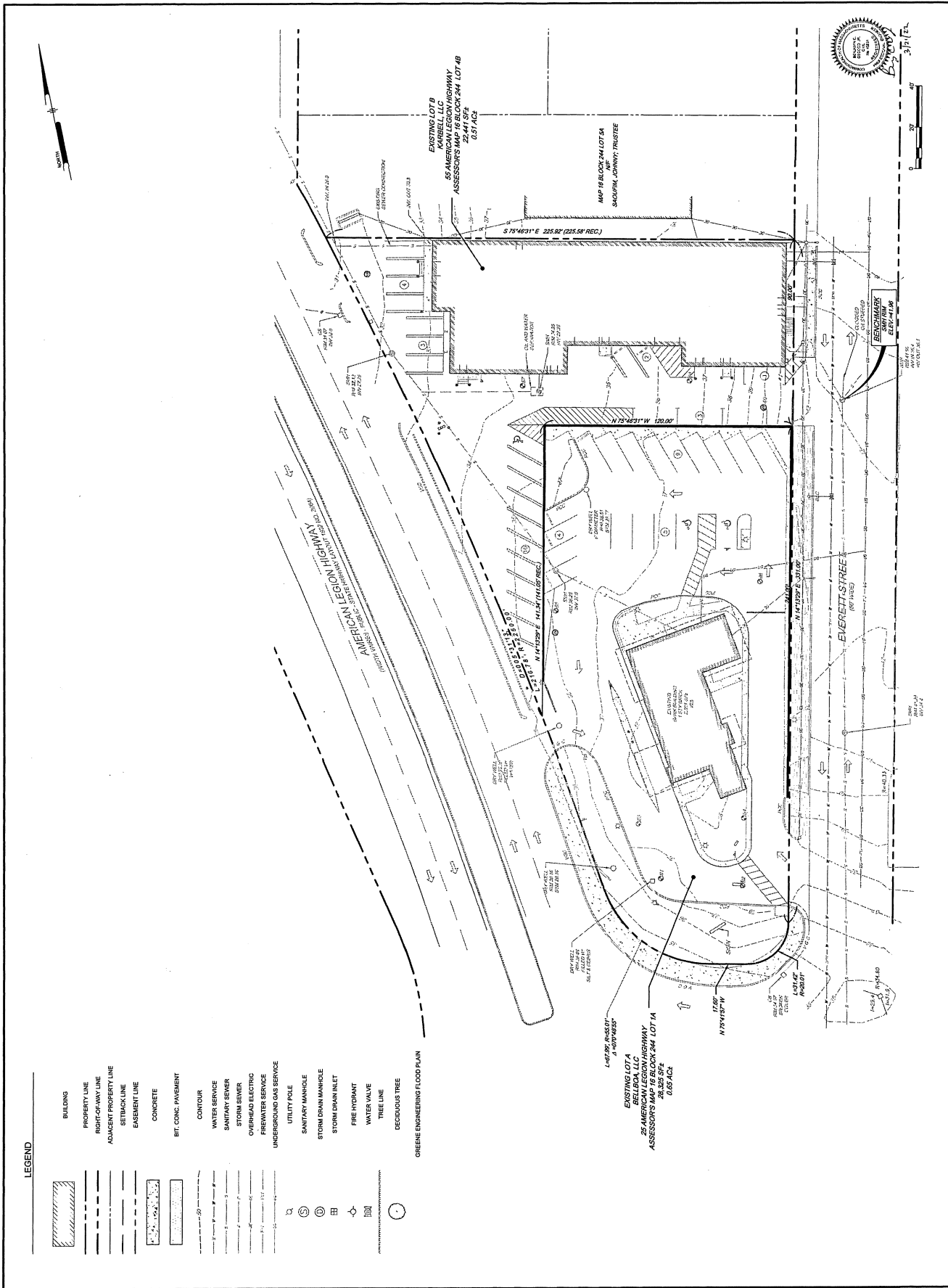
**CS0201**  
SHEET 3 OF

PROJECT	16-0369
DATE	2022-03-31
DRAWN/SCALE	1"=20'
CHECKED	
APPROVED	

NO.	DATE	REVISIONS

**SITE IMPROVEMENTS PLAN**  
25-55 AMERICAN LEGION HIGHWAY  
REBERMA 02151  
ASSESSORS MAP 18 BLOCK 244 LOT 1A & B  
0.66 AC

**EXISTING CONDITIONS PLAN**  
CHANNEL BUILDING COMPANY  
355 BIDDLEEK AVENUE  
WILMINGTON, MASSACHUSETTS 01827



- LEGEND**
- BUILDING
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - ADJACENT PROPERTY LINE
  - SETBACK LINE
  - EASEMENT LINE
  - CONCRETE
  - BIT/CONC PAVEMENT
  - CONTOUR
  - WATER SERVICE
  - SANITARY SEWER
  - STORM SEWER
  - OVERHEAD ELECTRIC
  - FIREWATER SERVICE
  - UNDERGROUND GAS SERVICE
  - UTILITY POLE
  - SANITARY MANHOLE
  - STORM DRAIN MANHOLE
  - STORM DRAIN INLET
  - FIRE HYDRANT
  - WATER VALVE
  - TREE LINE
  - DECIDUOUS TREE
- ORIGINE ENGINEERING FLOOD PLAN**

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

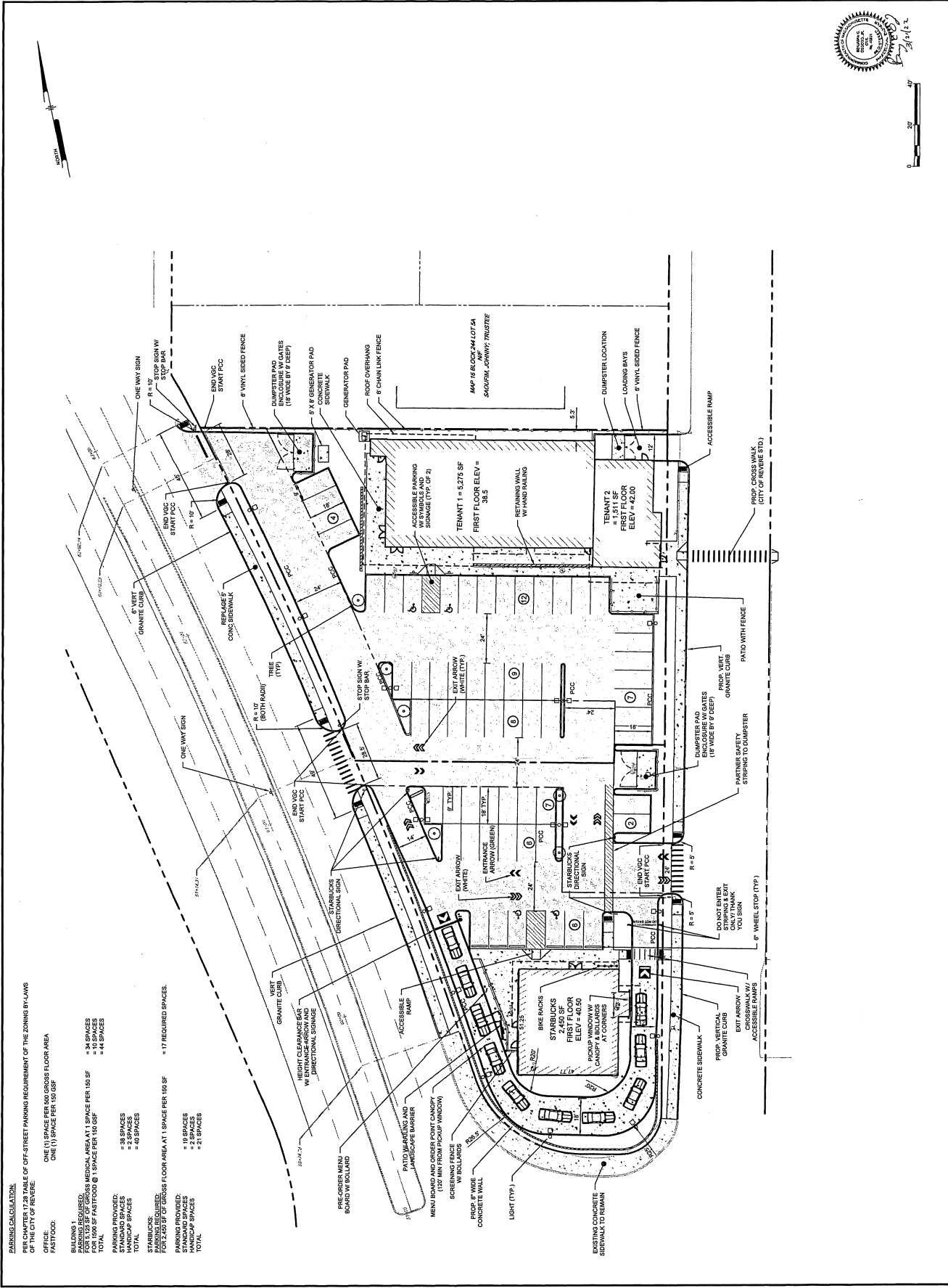
PROJECT	16-359
DATE	2022-03-21
DRAWING SCALE	T=50'
DRAWN BY	OMR
APPROVED BY	BOC

NO.	DATE	REVISIONS

SITE IMPROVEMENTS PLAN  
LAYOUT AND MATERIALS PLAN

25-55 AMERICAN LEGION HIGHWAY  
REVERSE M 02151  
ASSESSORS MAP 18 BLOCK 244 LOT 1 A 18

CHANNEL BUILDING COMPANY  
355 MIDSEX AVENUE  
WILMINGTON, MASSACHUSETTS 01897



**ZONING CALCULATION:**  
PER CHAPTER 172B TABLE OF OFF-STREET PARKING REQUIREMENT OF THE ZONING BY-LAWS  
CITY OF WILMINGTON

**CELESTIAL:**  
ONE (1) SPACE PER 500 SQ. FT. GROSS FLOOR AREA  
ONE (1) SPACE PER 100 SF

**RESTAURANT:**  
ONE (1) SPACE PER 500 SQ. FT. GROSS FLOOR AREA AT 1 SPACE PER 100 SF  
ONE (1) SPACE PER 100 SF

**PARKING PROVIDED:**  
STANDARD SPACES = 38 SPACES  
TOTAL SPACES = 46 SPACES

**PARKING REQUIRED:**  
FOR 2,450 SF OF GROSS FLOOR AREA AT 1 SPACE PER 100 SF = 25 SPACES  
TOTAL = 46 SPACES

**PARKING PROVIDED:**  
STANDARD SPACES = 38 SPACES  
HANDICAP SPACES = 2 SPACES  
TOTAL = 40 SPACES



Attachment: PH.25-55 American Legion Highway Special Permit 04252022 (22-127 : Special Permit, 25-55 American Legion Highway)



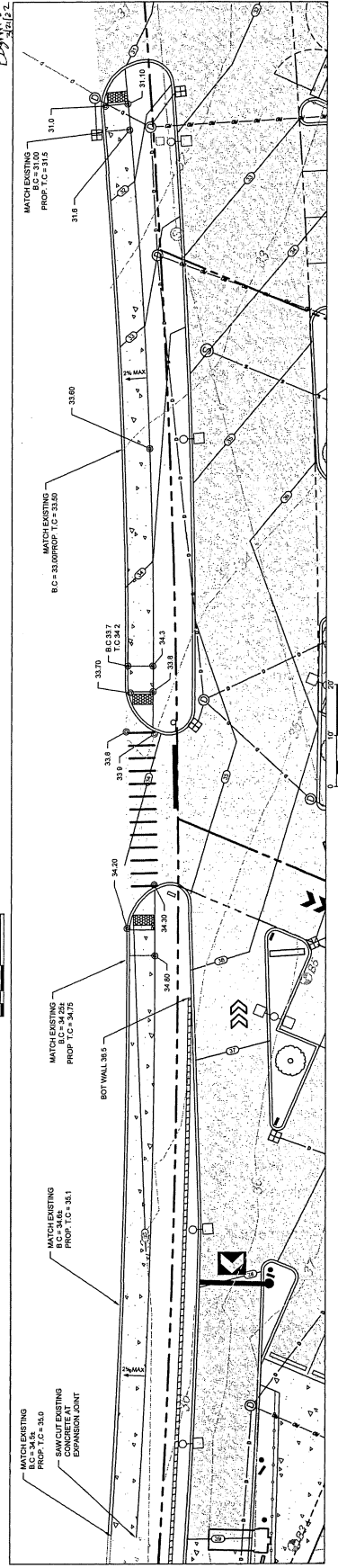
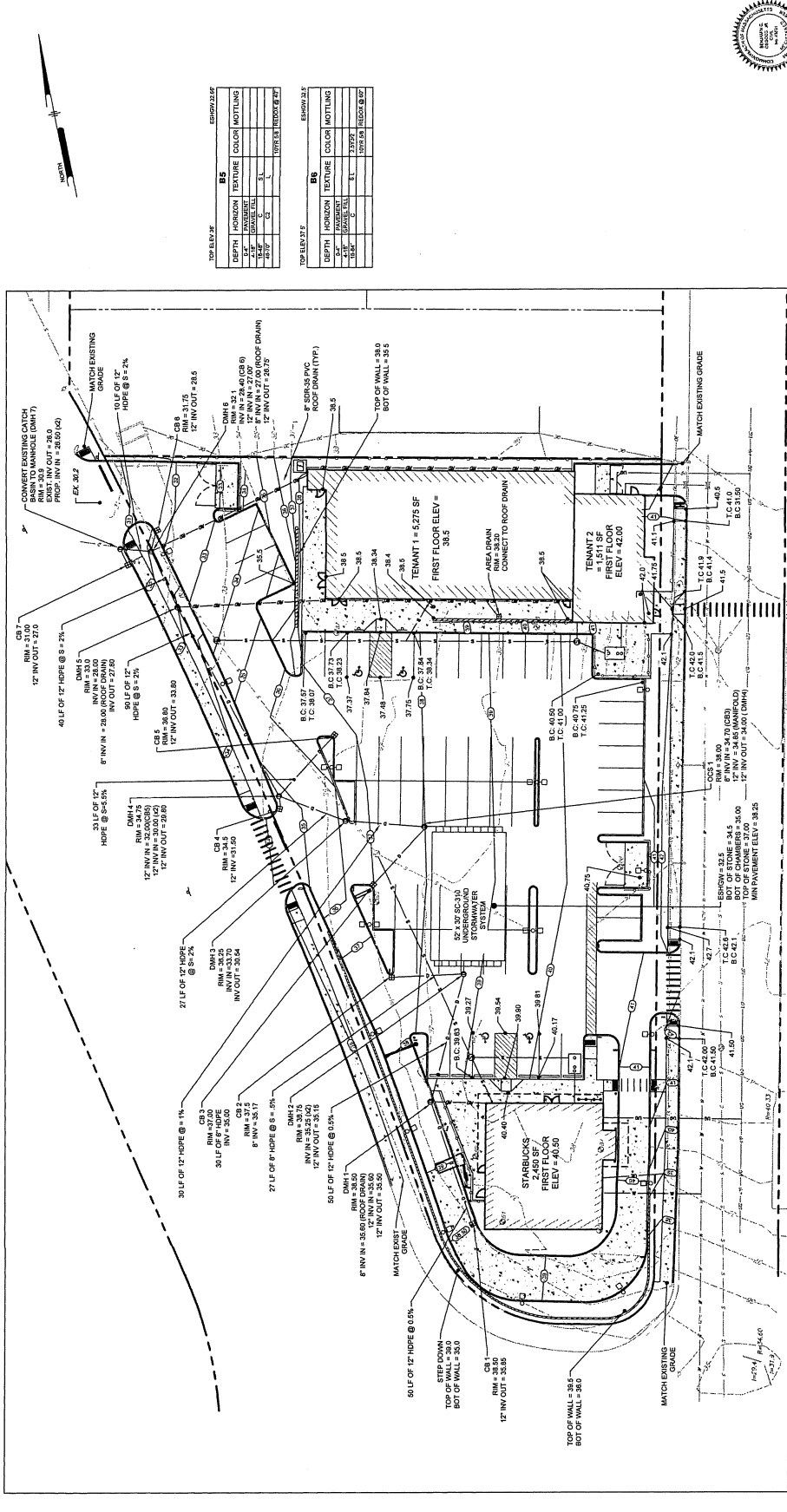
Baker Engineering Group, Inc.  
1510 Highway 28, Suite 202  
Lynn, MA 01904  
Tel: 781.326.3333  
Fax: 781.326.3334  
www.bakereng.com

**SITE IMPROVEMENTS PLAN**  
25.55 AMERICAN LEGION HIGHWAY  
REVEREN MA 01815  
ASSESSORS MAP 18 BLOCK 24 LOT 1A.4.8  
**CHANNEL BUILDING COMPANY**  
356 MILDEK AVENUE  
WILMINGTON, MASSACHUSETTS 01827

NO.	DATE	REVISIONS

PROJECT	16-399
DATE	2022-03-21
DRAWING SCALE	1"=20'
DRAWN BY	CMK
APPROVED BY	BCO

**CS1504**  
SHEET 7 OF



TOP ELEV 2.00'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		

ESD 02/22/21

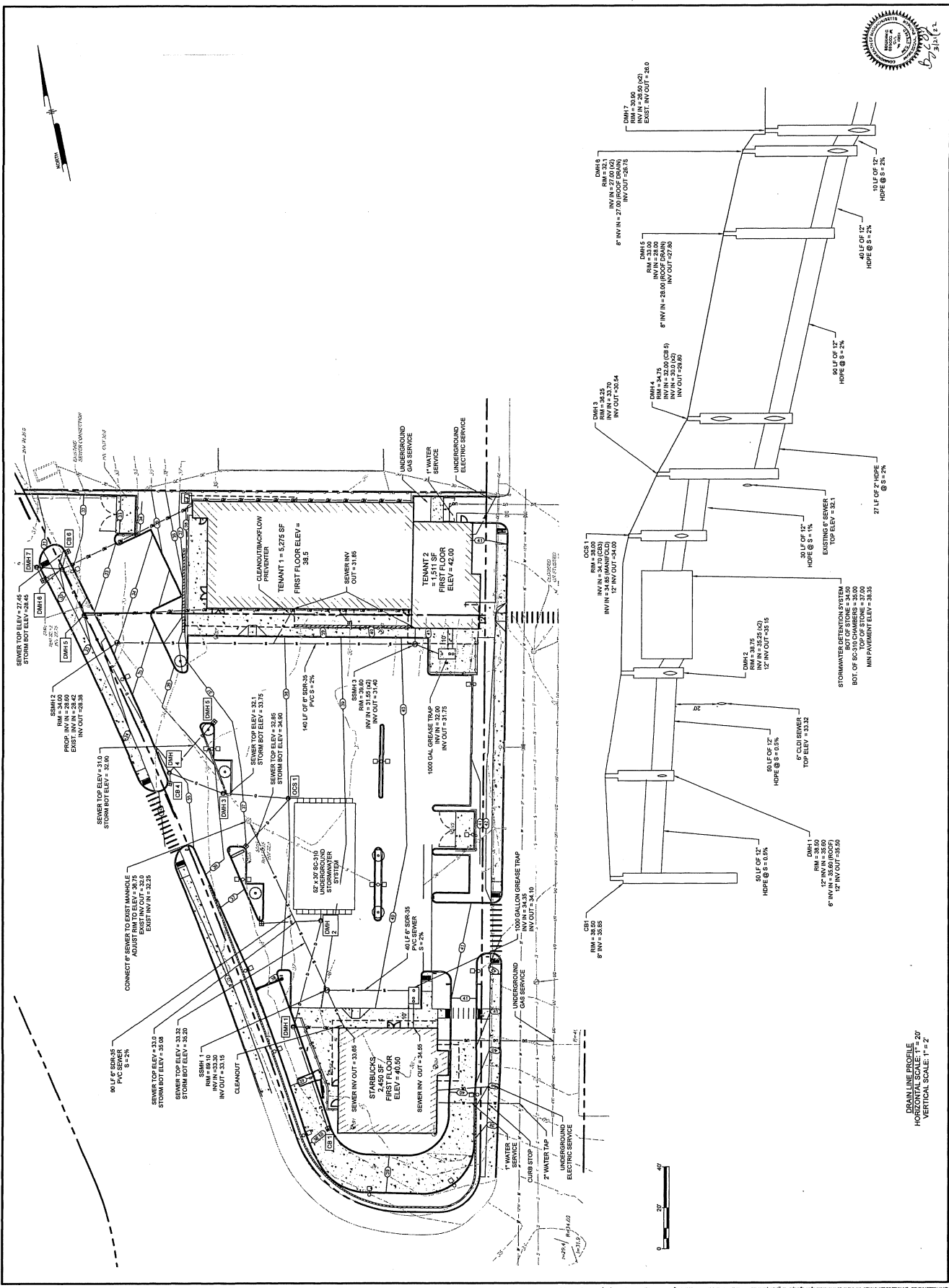
TOP ELEV 2.10'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		
1'-0"	CONCRETE	SMOOTH		

ESD 02/22/21

Attachment: PH.25-55 American Legion Highway Special Permit 04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

	<p><b>SITE IMPROVEMENTS PLAN</b>  <b>UTILITY PLAN</b></p> <p>ASSESSORS MAP 16 BLOCK 244 LOT 1A &amp; 4B          25-55 AMERICAN LEGION HIGHWAY          REVEREN, MA 01851</p> <p>CHANNEL BUILDING COMPANY          356 BROADWAY AVENUE          WILMINGTON, MASSACHUSETTS 01827</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>REV</th> <th>DATE</th> <th>NO</th> <th>REVISIONS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	REV	DATE	NO	REVISIONS												
REV	DATE	NO	REVISIONS															
<p>PROJECT: 16-369          DATE: 2/22/24          DRAWING SCALE: 1"=20'          DRAWN BY: [redacted]          CHECKED BY: [redacted]          APPROVED BY: [redacted]</p>		<p>SHEET 8 OF 8</p> <p style="font-size: 24pt; font-weight: bold;">CS1701</p>																



DRANLINE PROFILE  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



**TRAFFIC MANAGEMENT PLAN**  
 CHANNEL BUILDING COMPANY  
 355 MIDLOUSEX AVENUE  
 WILMINGTON, MASSACHUSETTS 01827

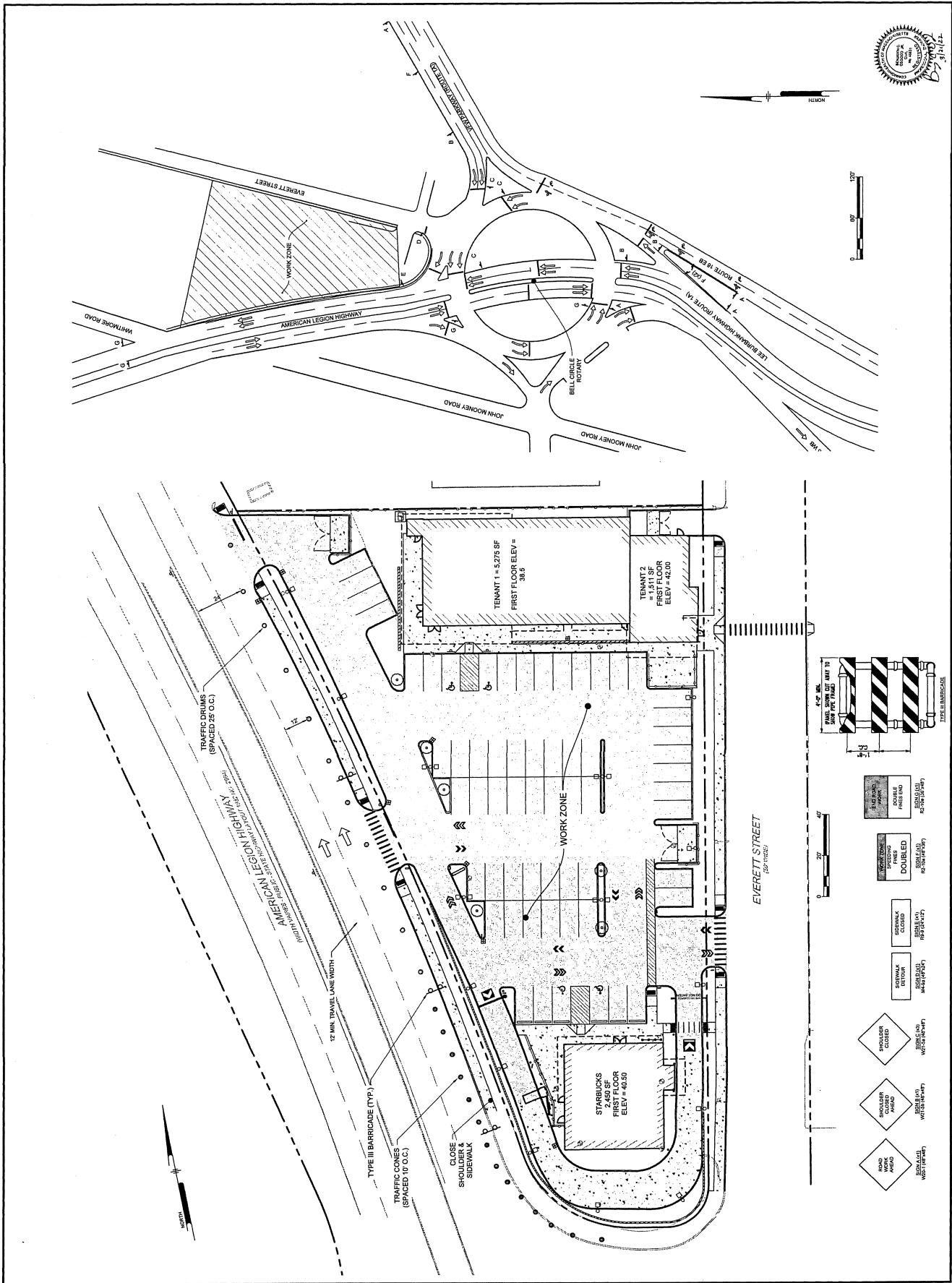
REVISONS	DATE	NO	BY

**CS2704**  
 SHEET 9 OF

**16-598**  
 PROJECT  
 DATE: 2022-03-21  
 DRAWING SCALE: 1"=20'  
 DRAWN BY:  
 CHECKED BY:  
 APPROVED BY:

**TRAFFIC MANAGEMENT PLAN**  
 SITE IMPROVEMENTS PLAN  
 25-55 AMERICAN LEGION HIGHWAY  
 REVERE, MA 02151  
 ASSGORS MAP 16 BLOCK 244 LOT 1A & 4B

Project Engineering Group, Inc.  
 24 Middle Street, Suite 203  
 Revere, MA 02151  
 781-963-7212







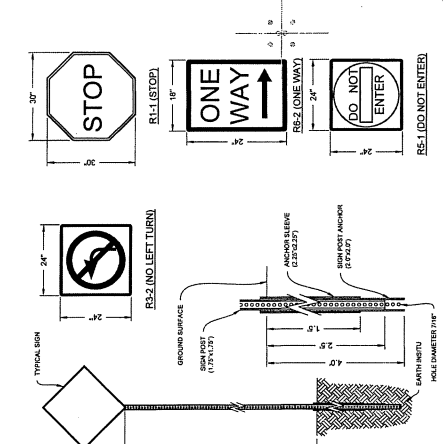
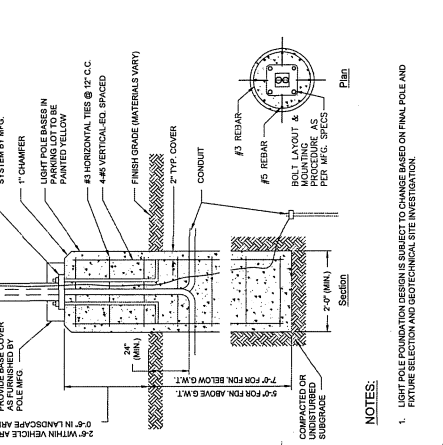
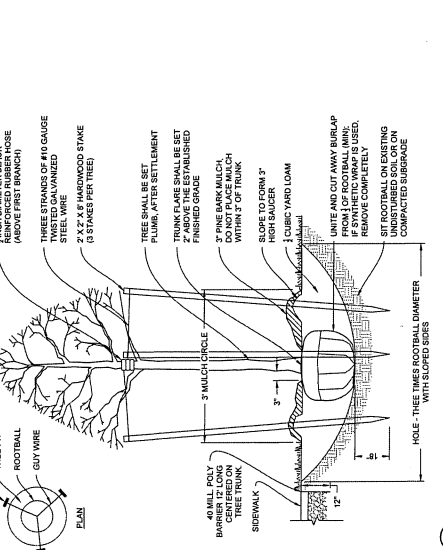
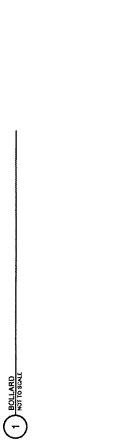
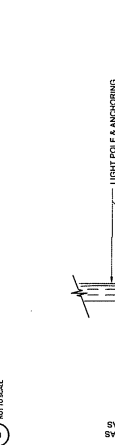
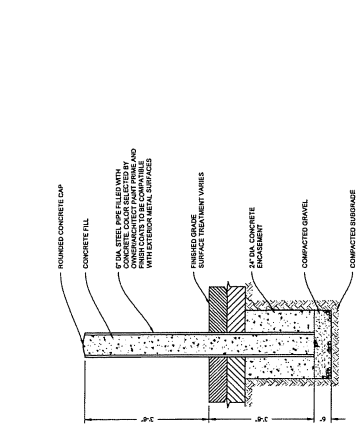
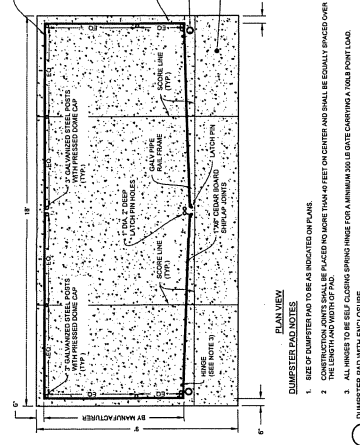
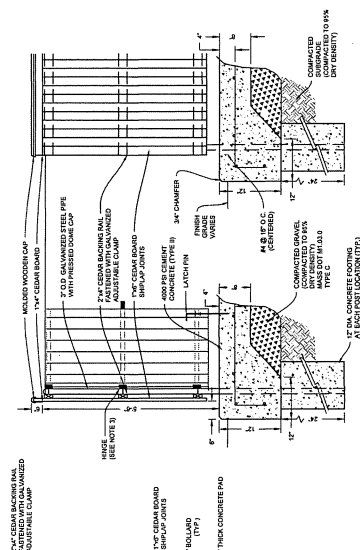
**CS6001**  
SHEET 10 OF

PROJECT: 16-389  
DATE: 2022-02-21  
DRAWING SCALE: 1"=20'  
DRAWN BY: BJS  
CHECKED BY: BJS  
APPROVED BY: BJS

DATE	NO.	REVISIONS

**SITE IMPROVEMENTS PLAN**  
25-55 AMERICAN LEGION HIGHWAY  
KENTON, MASSACHUSETTS  
ASSESSORS MAP 18 BLOCK 24 LOT 1A & B  
**SITE DETAILS**  
CHANNEL BUILDING COMPANY  
355 WILDESK AVENUE  
WILMINGTON, MASSACHUSETTS 01987

**WILSON ENGINEERING GROUP, INC.**  
175 WILSON ROAD  
WILMINGTON, MASSACHUSETTS 01987  
TEL: 508-653-1111  
WWW.WILSON-ENG.COM



**PLAN VIEW**  
**DIMENSIONED PAD NOTES**  
1. SIZE OF DIMENSIONED PAD TO BE AS INDICATED ON PLANS.  
2. CONSTRUCTION JOINTS SHALL BE PLACED NO MORE THAN 4 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER.  
3. ALL UNLESS OTHERWISE SPECIFIED, SPACING SHALL BE 18 INCHES ON CENTER.  
4. ALL UNLESS OTHERWISE SPECIFIED, FINISH SHALL BE AS NOTED.  
5. ALL UNLESS OTHERWISE SPECIFIED, MATERIALS SHALL BE AS NOTED.

**SECTION**  
**DIMENSIONED PAD WITH ENCLOSURE**  
NOT TO SCALE

**SECTION**  
**LIGHT POLE FOUNDATION**  
NOT TO SCALE

**SECTION**  
**SIGN POST DETAIL**  
NOT TO SCALE

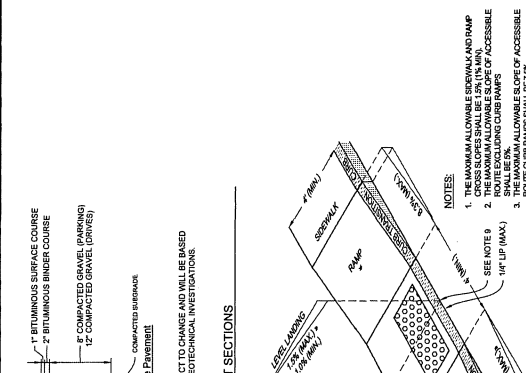
**5 TREE PLANTING (FOR 2\"/>**

PROJECT	16-369
DATE	2022-03-21
DRAWING SCALE	1"=20'
DRAWN BY	DMR
APPROVED BY	BCD

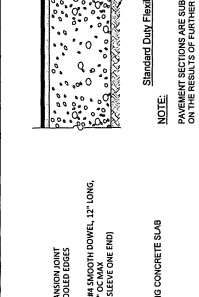


SITE IMPROVEMENTS PLAN  
 25-55 AMERICAN LEGION HIGHWAY  
 REVEREND, MA 02151  
 ASSESSOR'S MAP 18 BLOCK 242 LOT 1A. & B  
 CHANNEL BUILDING COMPANY  
 305 MIDDLESEX AVENUE  
 WILMINGTON, MASSACHUSETTS 01897

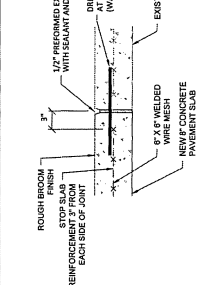
DATE	NO.	REVISIONS



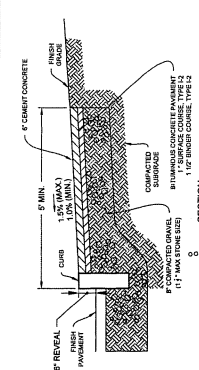
1. VERTICAL GRANITE CURB (VGC)  
 NOT TO SCALE



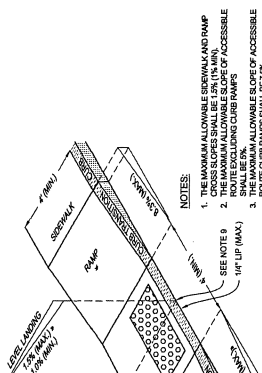
2. CONCRETE SIDEWALK  
 NOT TO SCALE



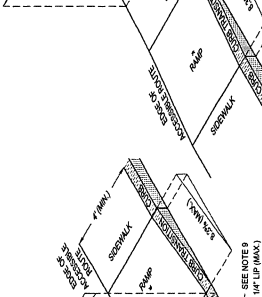
3. EXISTING TO PROPOSED CONCRETE SIDEWALK  
 NOT TO SCALE



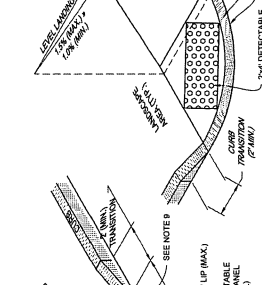
4. BIT. CONC. PAVEMENT SECTIONS  
 NOT TO SCALE



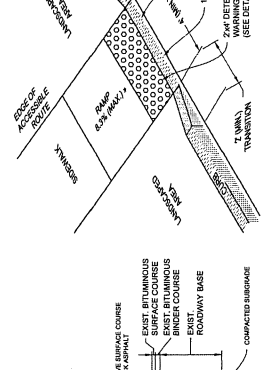
5. BIT. CONC. PAVEMENT REPAIR DETAIL  
 NOT TO SCALE



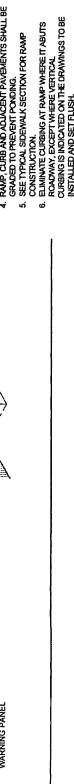
6. ACCESSIBLE CURB RAMP (ACR)  
 WITH DETECTABLE WARNING PANEL  
 NOT TO SCALE



7. VERTICAL GRANITE CURB (VGC)  
 NOT TO SCALE



8. CONCRETE RETAINING WALL  
 NOT TO SCALE



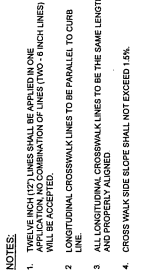
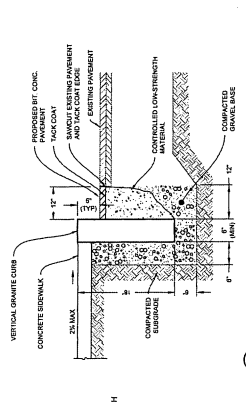
9. VERTICAL GRANITE CURB (VGC) SET IN EXISTING PAVEMENT  
 NOT TO SCALE



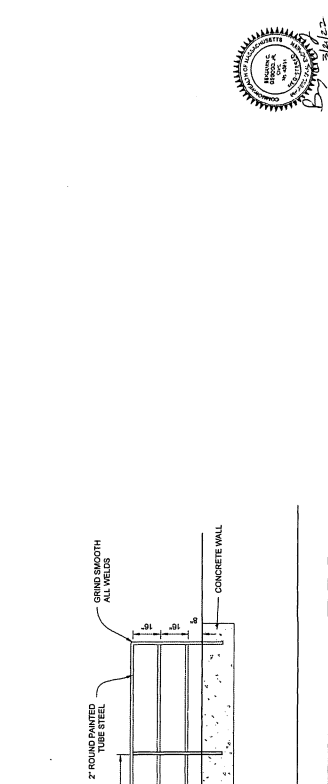
10. ACCESSIBLE PARKING SPACE  
 NOT TO SCALE



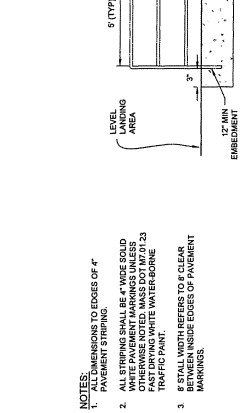
11. HAND RAIL  
 NOT TO SCALE



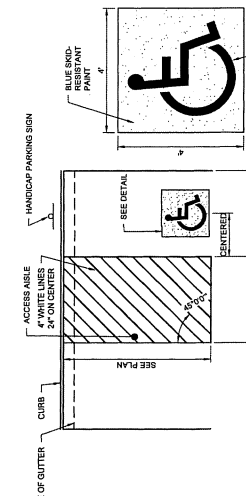
8. CROSSWALK  
 NOT TO SCALE



10. ACCESSIBLE PARKING SPACE  
 NOT TO SCALE



11. HAND RAIL  
 NOT TO SCALE

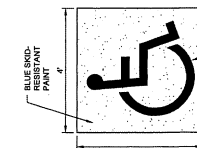


7. VERTICAL GRANITE CURB (VGC)  
 NOT TO SCALE

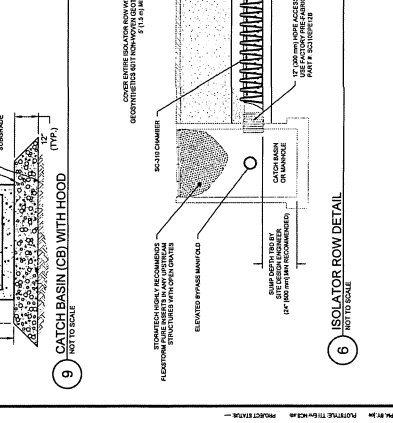
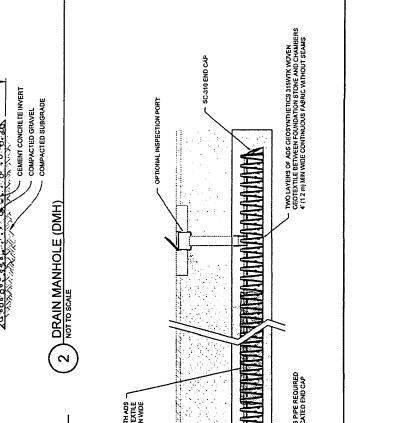
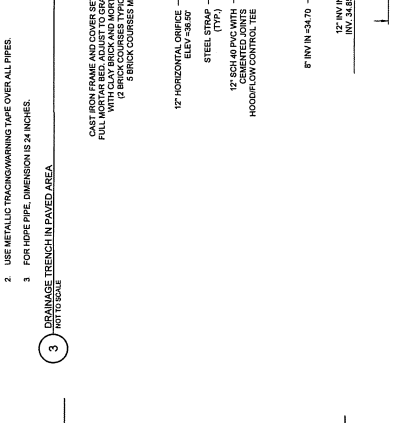
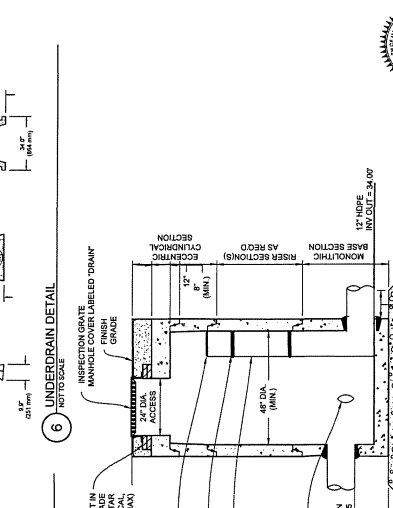
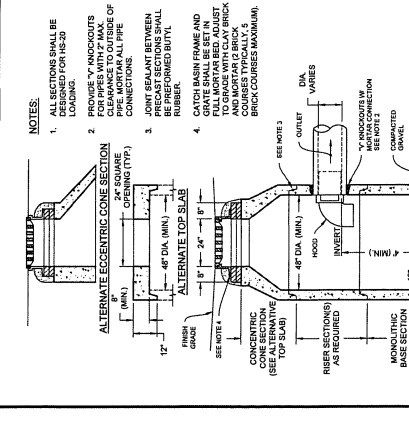
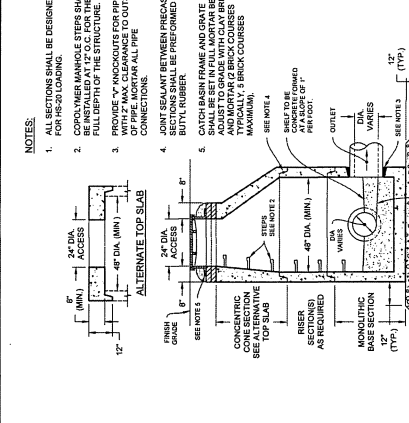
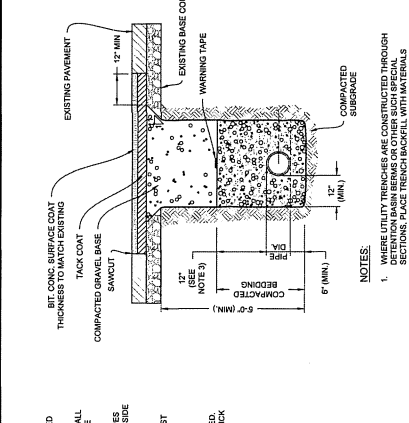
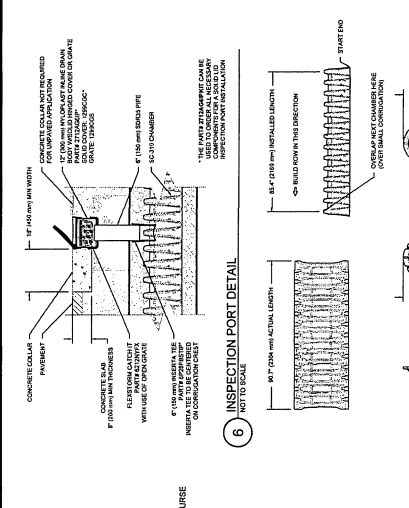
NOTES:  
 1. THE MAXIMUM ALLOWABLE SLOPE AND RAMP CROSS SLOPES SHALL BE 1.5% (IN MIN.)  
 2. ROUTE EXCLUDING CURB RAMP ROADS SHALL BE 1.5% (MAX.)  
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 1.75%  
 4. CURB RAMP SHALL BE 1.5% (MAX.) SLOPE TO PREVENT POCKETING.  
 5. ALL CURB RAMP SHALL BE 1.5% (MAX.) SLOPE TO PREVENT POCKETING.  
 6. ELIMINATE CURBING AT RAMP WHERE IT ABUTS CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET/LUSH.

NOTE:  
 PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

NOTE:  
 TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE LIGATION OF CURB (TWO (2) INCH LINES) WILL BE ACCEPTED.  
 LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURB LINE AND PROPERLY ALIGNED  
 CROSS WALK SIDE SLOPE SHALL NOT EXCEED 1.5%.

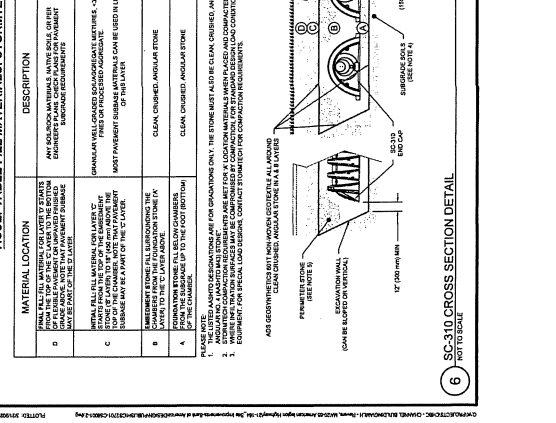
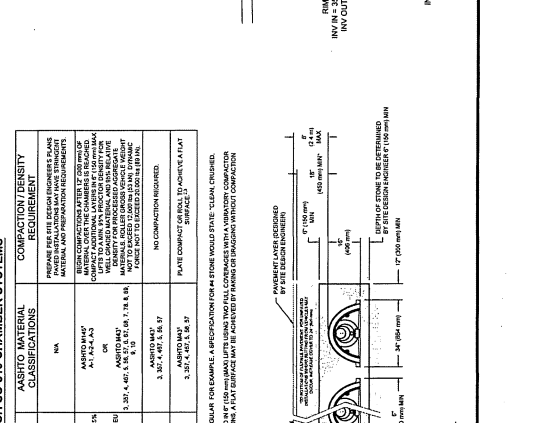
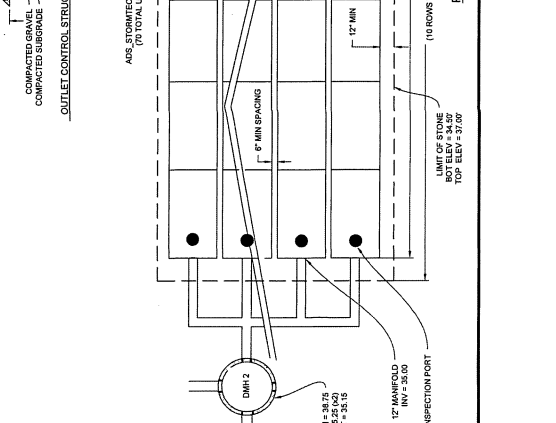


DETAIL  
 1/8" WIDTH WHITE M.F. 07.23



**ACCEPTABLE FILL MATERIALS - STORMTECH SC-310 CHAMBER SYSTEMS**

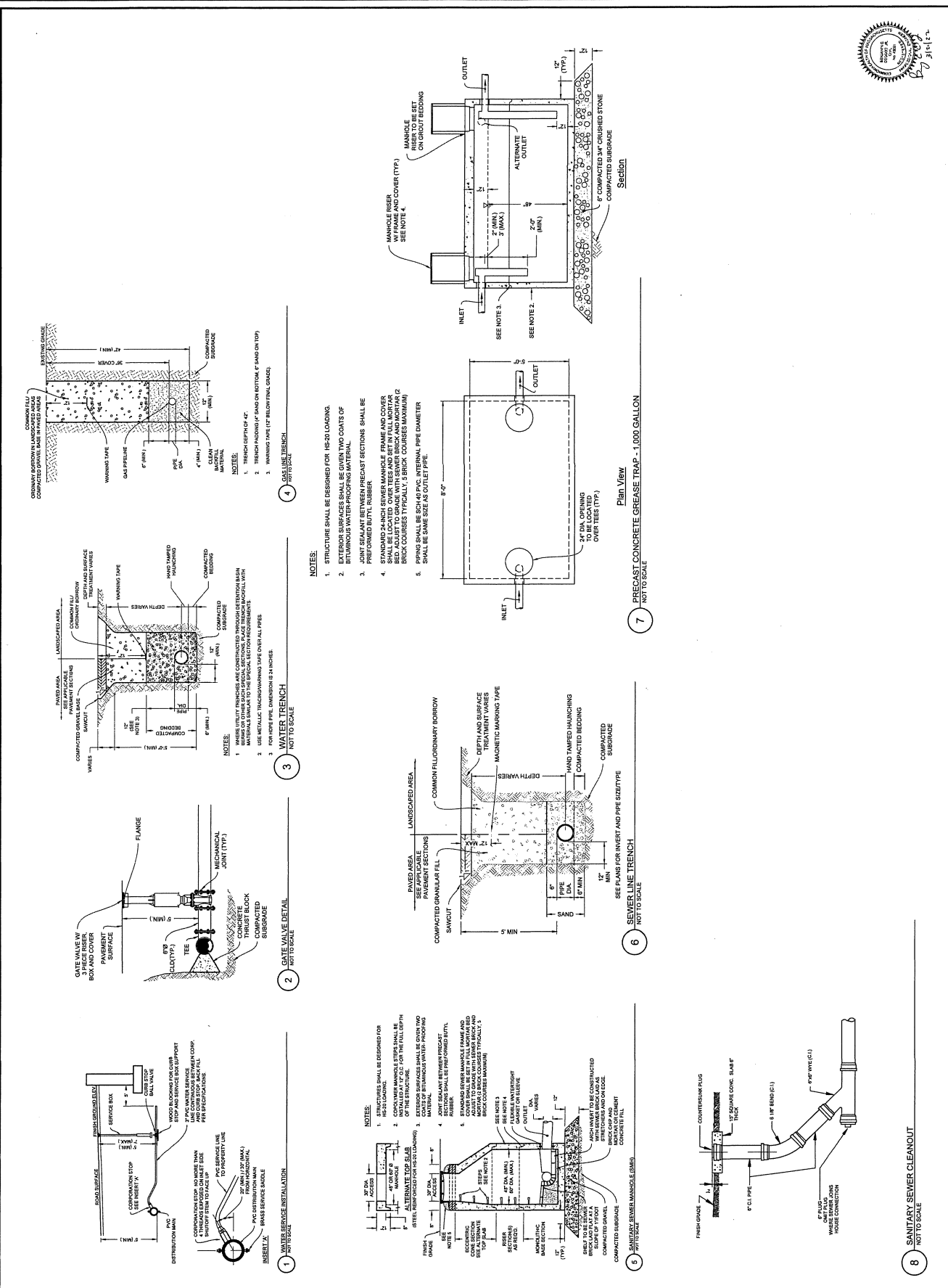
MATERIAL LOCATION	DESCRIPTION	CLASSIFICATION	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL MATERIAL OVER LAYER 2 STRIPS	NO. 10 SAND	PAVED AREAS SHALL BE COMPACTED TO 95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
E	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
F	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
G	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
H	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
I	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
J	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
K	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
L	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
M	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
N	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
O	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY
P	GRAVEL WITH RUBBER CURBS	NO. 57	95% RELATIVE DENSITY TO A MINIMUM OF 1000 PSI UNIFORMITY





**CS6051**  
 SHEET 13 OF 17

PROJECT	16-369
DATE	2022.03.21
ISSUE NO.	1
ISSUE DATE	03/21/22
ISSUE BY	BCD
ISSUE FOR	BCD



**1 WATER SERVICE INSTALLATION**  
 NOT TO SCALE

**NOTES:**

- STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREPARED WITH RUBBER.
- MANHOLE RISER SHALL BE SET ON GROUT BEDDING. RISER TO BE SET ON GROUT BEDDING.
- MANHOLE COVER SHALL BE SET ON GROUT BEDDING.

**2 GATE VALVE DETAIL**  
 NOT TO SCALE

**NOTES:**

- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH OR NEAR EXISTING DRIVEWAYS OR SIDEWALKS, THE TRENCH SHALL BE CONSTRUCTED TO THE DEPTH AND WIDTH OF THE EXISTING DRIVEWAY OR SIDEWALK.
- USE METALLIC TRENCHWALLING OVER ALL PIPES.
- FOR PIPE, DIMENSION IS 24 INCHES.

**3 WATER TRENCH**  
 NOT TO SCALE

**NOTES:**

- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREPARED WITH RUBBER.
- MANHOLE RISER SHALL BE SET ON GROUT BEDDING. RISER TO BE SET ON GROUT BEDDING.
- MANHOLE COVER SHALL BE SET ON GROUT BEDDING.

**4 GAS LINE TRENCH**  
 NOT TO SCALE

**NOTES:**

- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREPARED WITH RUBBER.
- MANHOLE RISER SHALL BE SET ON GROUT BEDDING. RISER TO BE SET ON GROUT BEDDING.
- MANHOLE COVER SHALL BE SET ON GROUT BEDDING.

**5 SANITARY SEWER CLEANOUT**  
 NOT TO SCALE

**NOTES:**

- STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREPARED WITH RUBBER.
- MANHOLE RISER SHALL BE SET ON GROUT BEDDING. RISER TO BE SET ON GROUT BEDDING.
- MANHOLE COVER SHALL BE SET ON GROUT BEDDING.

**6 SEWER LINE TRENCH**  
 NOT TO SCALE

**NOTES:**

- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREPARED WITH RUBBER.
- MANHOLE RISER SHALL BE SET ON GROUT BEDDING. RISER TO BE SET ON GROUT BEDDING.
- MANHOLE COVER SHALL BE SET ON GROUT BEDDING.

**7 PRECAST CONCRETE GREASE TRAP**  
 NOT TO SCALE

**NOTES:**

- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREPARED WITH RUBBER.
- MANHOLE RISER SHALL BE SET ON GROUT BEDDING. RISER TO BE SET ON GROUT BEDDING.
- MANHOLE COVER SHALL BE SET ON GROUT BEDDING.

**8 SANITARY SEWER CLEANOUT**  
 NOT TO SCALE

**NOTES:**

- STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREPARED WITH RUBBER.
- MANHOLE RISER SHALL BE SET ON GROUT BEDDING. RISER TO BE SET ON GROUT BEDDING.
- MANHOLE COVER SHALL BE SET ON GROUT BEDDING.

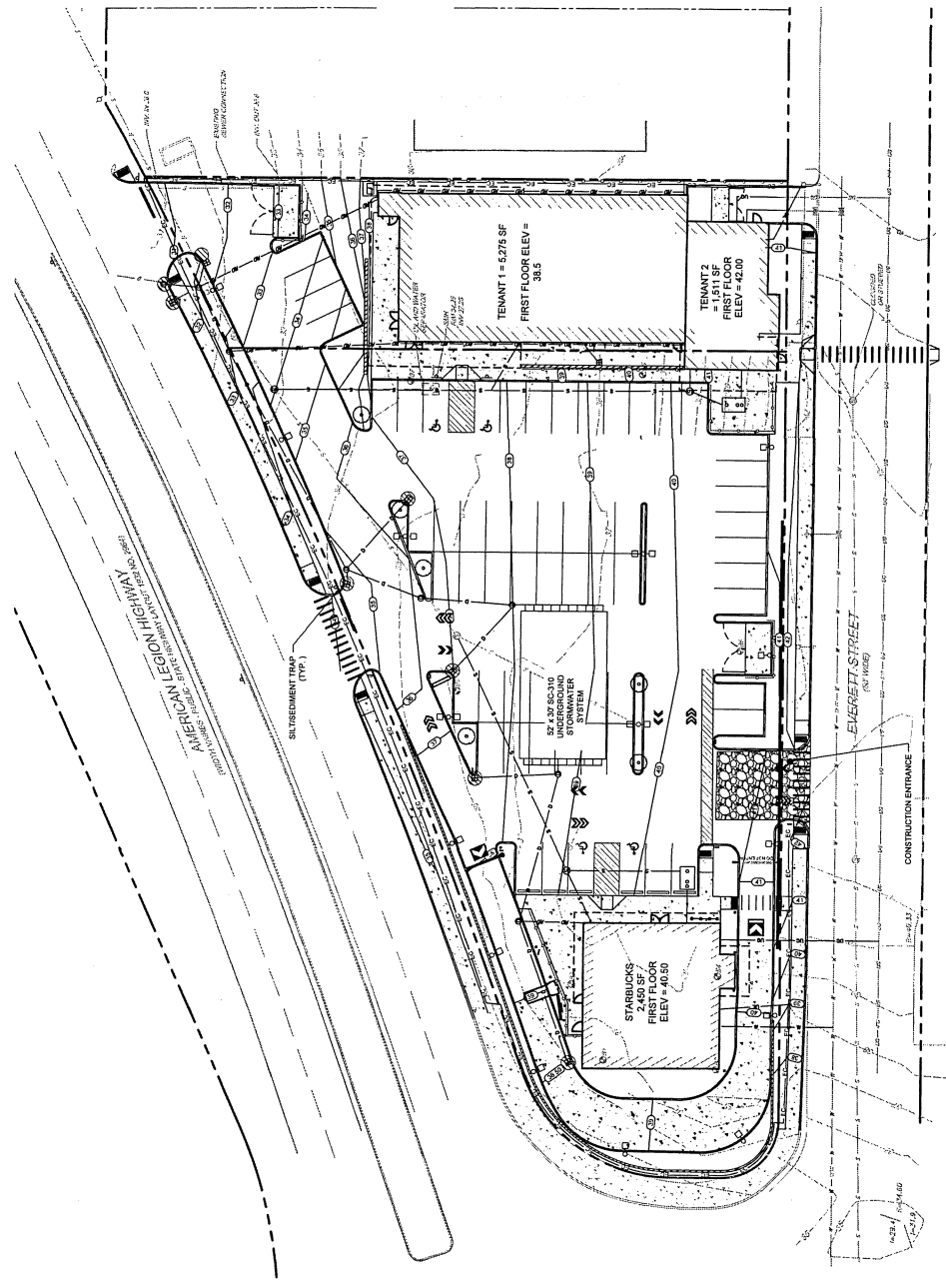
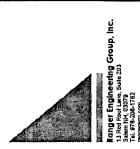
Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

CS8001  
SHEET 14 OF

PROJECT	16-389
DATE	2022-03-31
DRAWING SCALE	1"=20'
DRAWN BY	CMB
INCHES	1/8"
DATE	2/14/22

REVISIONS	NO.	DATE

**SITE IMPROVEMENTS PLAN**  
 25-55 AMERICAN LEGION HIGHWAY  
 REFERENCIA 02151  
 ASSESSORS MAP 18 BLOCK 24 LOT 14 & 49  
**EROSION AND SEDIMENT CONTROL PLAN**  
 CHANNEL BUILDING COMPANY  
 355 WOLFESEX AVENUE  
 WILMINGTON, MASSACHUSETTS 01827



**LEGEND**

—	CHECK DAM
—	EROSION CONTROL EMBELT SOOK
—	SEDIMENT TRAP

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)



**From:** Frank Stringi <fstringi@revere.org>  
**Sent:** Wednesday, March 9, 2022 12:10:38 PM  
**To:** Paul Kneeland <PKneeland@ChannelBuilding.com>  
**Subject:** 55 American Legion Highway Application Review

Paul, provide this denial to City Clerk to start your special permit applications.

Frank

**From:** fstringi@revere.org <fstringi@revere.org>  
**Sent:** Wednesday, March 9, 2022 10:33 AM  
**To:** bosgood@rangereng.com; Ashley Melnik <amelnik@revere.org>; Frank Stringi <fstringi@revere.org>; Louis Cavagnaro <lcavagnaro@revere.org>; Nicholas Rystrom <nrystrom@revere.org>; Paul Cheever <pcheever@revere.org>  
**Subject:** Application Review Comments

## CITY OF REVERE APPLICATION REVIEW

### City of Revere Site Plan Review Review Comments

**From:** Frank Stringi  
**Date:** March 09, 2022  
**Application #:** SPR22-000013  
**Address:** 55 AMERICAN LEGION HWY  
**Description:** Raze existing building and construct new multi use building  
**Review Status:** Denied

application for Raze existing building and construct new multi use building. I have completed my initial review and my comments are listed below, you can view marked up plans on our [Click here to view your application](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

#### **Community Development: Frank Stringi**

- In accordance with Section 17.40.030 of the Revised Revere Zoning Ordinance, the reconstruction of a nonconforming structure may only be allowed by a special permit from the City Council. Since both structures are nonconforming, a special permit would be required for the reconstruction of the two principal structures. Also, in accordance with Section 17.16.190, a special permit of the City Council is required for fast food/take out/drive-in restaurant for the construction of the proposed Starbucks within the TED District.

*NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application. Log back into your account and edit either your Registration or Permit as requested in the comments.*

PROPERTY LOCATION		OWNERSHIP		IN PROCESS APPRAISAL SUMMARY		Legal Description					
No	Alt No	Direction/Street/City	Unit #	Land Size	Building Value	Yard Items	Land Value	Total Value	Parcel ID	Notes	Date
55		AMERICAN LEGION HWY, REVERE		0.517	845,300	12,100	663,000	1,520,400	16-244-4B	Year End Roll	12/30/2021
OWNERSHIP		TAX DISTRICT		PREVIOUS ASSESSMENT		SALES INFORMATION		ACTIVITY INFORMATION			
Owner 1:	KARBELL LLC	Legal Ref	Type	Grantor	Legal Ref	Type	Date	Date	Result	By	Name
Owner 2:		38946-36		KARGER REALTY T	38946-36		1/26/2006	10/18/2017	MEAS & INSP	345	JAMES HALL
Owner 3:		6620/337		UNKNOWN	6620/337		1/1/1900	7/10/2012	PERMIT	TO	Town
Street 1:	355 MIDDLESEX AVE							8/12/2010	PERMIT	TO	Town
Street 2:								11/1/2007	PERMIT	189	JIM HARRIS
Twn/City:	WILMINGTON							6/1/2007	MEAS & INSP	336	MATT MCGRATH
St/Prov:	MA							11/30/2004	No change	102	JM
Postal:	01887										

NARRATIVE DESCRIPTION		OTHER ASSESSMENTS	
This parcel contains .517 Acres of land mainly classified as AUTOREP with a COMM BLOCK Building built about 1955, having primarily CONC BLOCK Exterior and 14414 Square Feet, with 5 Units, 0 Bath, 0 3/4 Bath, 8 HalfBaths, 0 Rooms, and 0 Bdrms.		Code	Descr/No
			Amount
			Com. Int

PROPERTY FACTORS		LAND SECTION (First 7 lines only)	
Item Code	Description	%	Depth / Price/Units
Z	water		
o	Sewer		
n	Electri		
	Exmpt		
D	Topo		
s	Street		
t	Gas:		
Use Code	LUC	No of Units	Depth / Price/Units
332	AUTOREP	22513	

BUILDING PERMITS		TAX DISTRICT		PAT ACCT.				
Date	Number	Descr	Amount	C/O	Last Visit	Fed Code	F. Descr	Comment
11/18/2016	14439	SIGN	2,000	C				REPLACE EXISTING A
5/9/2014	12042	CONVERT	16,000	C				CONVERT SPACE FOR
11/23/2011	9472	Commerci	475	C				STEEL AND ACRYLIC
11/23/2011	9470	Commerci	3,200	C				AWNING FRONT OF BL
11/23/2011	9471	Commerci	180	C				INSTALL SIGN
11/1/2011	9429	Commerci	103,000	C				TENANT FIT UP PER
9/29/2011	9263	BATHROOM	10,500	C				ADDING TWO BATHROO
3/29/2010	7604	SIGN	795	C				REPLACEMENT FACE/F
8/6/2009	7149	Commerci	16,000	C				NEW STORE FRIT/HAND
2/24/2009	6766	EXTER RE	13,000	C	7/14/2009			REPLACE MASONARY S

SALES INFORMATION		ACTIVITY INFORMATION	
Grantor	Legal Ref	Date	Result
KARGER REALTY T	38946-36	10/18/2017	MEAS & INSP
UNKNOWN	6620/337	7/10/2012	PERMIT
		8/12/2010	PERMIT
		11/1/2007	PERMIT
		6/1/2007	MEAS & INSP
		11/30/2004	No change

LAND SECTION (First 7 lines only)		VERIFICATION OF VISIT NOT DATA	
Use Code	LUC	No of Units	Depth / Price/Units
332	AUTOREP	22513	
Sq Feet	SITE	1.0	23. 1.28 CG
Appraised Value			663,026
Inf 1	%	Inf 2	%
Inf 3	%	Inf 4	%
Spec Land	%	Spec Code	
Alt Class		Alt Code	
Use Value		Use Value	663,000
Notes		Notes	

**Packet Pg. 48**

ACHA-10-51683 | Parcel 111C-1332 | AUTOREP | Prime NR Descr: COMM COMM | Total: 663,026 | Total: 663,000

Attachment: PH.25-55 American Legion Highway Special Permit 04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

3 a



3 EVERETT ST KNEELAND MAHONEY LLC 50.5% INT MESA MAHONEY LLC 25.5% INTERES 355 MIDDLESEX AVE SUITE 7 WILMINGTON, MA 01887 25A AMERICAN LEGION HWY	16-243-1B LUC: 323       16-244-1A LUC: 341	AMERICAN LEGION HWY BUCCILLI REALTY TRUST BUCCILLI ALFRED 56 LYNNBROOK RD LYNNFIELD, MA 01940	16-245-10 LUC: 132       16-245-11 LUC: 132	193 HARRIS ST KANE SHIRLEY A LIFE ESTATE SIMON HILARY REMAINDERMAN 195 HARRIS ST REVERE, MA 02151	16-245-22 LUC: 104       16-245-23 LUC: 104
BELLBOA, LLC 355 MIDDLESEX AVE SUITE 7 WILMINGTON, MA 01887		FRENCH HAROLD JAQUITH MORTON C AMERICAN LEGION HWY REVERE, MA 02151		187 HARRIS ST CASTANEDA SIGFREDO 187 HARRIS ST Revere, MA 02151	
55 AMERICAN LEGION HWY KARBELL LLC 355 MIDDLESEX AVE WILMINGTON, MA 01887	16-244-4B LUC: 332	AMERICAN LEGION HWY FRENCH HAROLD JAQUITH MORTON C AMERICAN LEGION HWY REVERE, MA 02151	16-245-12 LUC: 132	181 HARRIS ST IRAHETA GERMAN H GERMAN H ARENAS IRAHETA ADRIANA M 181 HARRIS ST REVERE, MA 02151	16-245-24 LUC: 101
212 EVERETT ST 61 AMERICAN LEGION HIGHWAY, LLC 212 EVERETT ST Revere, MA 02151	16-244-5A LUC: 332	80 AMERICAN LEGION HWY BUCCILLI REALTY TRUST BUCCILLI ALFRED 56 LYNNBROOK RD LYNNFIELD, MA 01940	16-245-13A LUC: 111	58 JOHN MOONEY RD MENDOZA ARIOSTO MENDOZA ANA 58 JOHN MOONEY RD REVERE, MA 02151	16-245-3 LUC: 104
EVERETT ST 61 AMERICAN LEGION HIGHWAY, LLC 212 EVERETT ST REVERE, MA 02151	16-244-6 LUC: 390	90 AMERICAN LEGION HWY BUCCILLI REALTY TRUST BUCCILLI ALFRED 56 LYNNBROOK RD LYNNFIELD, MA 01940	16-245-14A LUC: 326	66 JOHN MOONEY RD MOORE DOUGLAS MOORE CONCETTA A 66 JOHN MOONEY RD REVERE, MA 02151	16-245-4 LUC: 101
15 WHITMOR RD WHITMOR REALTY TRUST WHITTAKER STUART B POST OFFICE BOX 114 REVERE, MA 02151	16-244-7 LUC: 400	219 HARRIS ST DIPAOLLO PETER DIPAOLLO DESIREE 219 HARRIS ST REVERE, MA 02151	16-245-17 LUC: 104	70 JOHN MOONEY RD PICH VUTH R PICH KOUROU 70 JOHN MOONEY RD REVERE, MA 02151	16-245-5 LUC: 104
5 WHITMOR RD 5 WHITMOR ROAD LLC 5 WHITMOR RD Revere, MA 02151	16-244-8 LUC: 316	207 HARRIS ST SARNO ENRICO JR SARNO DARLENE J 207 HARRIS ST REVERE, MA 02151	16-245-19 LUC: 101	76 JOHN MOONEY RD BISIGNANI ANDREW 6 ROSEMARY RD NAHANT, MA 01908	16-245-6 LUC: 111
400 BEACH ST BELL CIRCLE LLC 3 TIP TOP RD SWAMPSCOTT, MA 01907	16-244A-1 LUC: 330	54 JOHN MOONEY RD PEZO HAMDIA PEZO ALMA 85 FREMONT AVE EVERETT, MA 02149	16-245-2 LUC: 105	84 JOHN MOONEY RD SURETTE JOHN J SURETTE EILEEN D 84 JOHN MOONEY RD REVERE, MA 02151	16-245-7 LUC: 104
63 JOHN MOONEY RD 65 JOHN MOONEY ROAD REALTY TRU BISIGNANI ANDREW R TRUSTEE 6 ROSEMARY RD NAHANT, MA 01908	16-244A-2 LUC: 109	205 HARRIS ST 205 HARRIS STREET REALTY TRUST ROSSETTI IRENE 205 HARRIS ST REVERE, MA 02151	16-245-20 LUC: 104	AMERICAN LEGION HWY VO MARYANN T SUON JENNIFER 199 HARRIS ST REVERE, MA 02151	16-245-8 LUC: 132
AMERICAN LEGION HWY SAWYER GERTRUDE AMERICAN LEGION HWY REVERE, MA 02151	16-244A-3 LUC: 132	199 HARRIS ST NGUYEN MARYANN VO 7 CONAXIS CIR PEABODY, MA 01960	16-245-21 LUC: 101	AMERICAN LEGION HWY ROSSETTI IRENE D 205 HARRIS ST REVERE, MA 02151	16-245-9 LUC: 132

Attachment: PH.25-55 American Legion Highway Special Permit 04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

79 AMERICAN LEGION HWY 16-245A-1

LUC: 337

BELL CIRCLE PARCEL II LLC  
85 AMERICAN LEGION HWY  
Revere, MA 02151

AMERICAN LEGION HWY 16-245A-2

LUC: 442

FRENCH HAROLD  
MORTON JAQUITH C  
AMERICAN LEGION HWY  
REVERE, MA 02151

RAILROAD LOCATIO 5-120A1-7

LUC: 920

MASS BAY TRANS AUTHORITY  
10 PARK PL  
BOSTON, MA 02116

BEACH ST BRIDGE 8-242-1

LUC: 920

MASS BAY TRANS AUTHORITY  
10 PARK PLAZA  
BOSTON, MA 02116

THIS IS A TRUE & ATTESTED  
COPY OF THE RECORDS OF THE  
ASSESSOR'S OFFICE OF THE  
CITY OF REVERE

*Susan Chaffet*

DATE: 3.22.25

Attachment: PH.25-55AmericanLegionHighwaySpecialPermit04252022 (22-127 : Special Permit, 25-55 American Legion Highway)

C-22-03

## PUBLIC HEARING

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Section 17.16.190 of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, April 25, 2022 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Revere Dev. LLC, 304 Squire Road, Revere, MA 02151 requesting a special permit from the Revere City Council to enable the appellant to raze the existing structure and construct a new fast-food restaurant with a drive through window at 304 Squire Road, Revere, MA.

A copy of the aforementioned proposed plan and application (C-22-03) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:

Ashley E. Melnik  
City Clerk

Revere Journal  
Check attached #27654  
04/06/2022  
04/13/2022

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

FORM B

APPLICATION NO. C-22-03  
DATE: 3/31/22

**City of Revere, Massachusetts  
Revere City council  
Application For  
Special Permit**

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filing may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the Revere City Council for the following:

- Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.200 (Revised Ordinances of the City of Revere).
- Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.08, Section 17.08.280.
- Application for Special permit for Alteration and Extension of Nonconforming Uses (Revise Ordinances of the City of Revere)

1. Applicant submitting the application is:

Name: Revere Dev. LLC.  
Address: 304 Squire Road, Revere, MA 02151  
Tel. #: c/o D'Ambrosio LLP (617) 720-5657

2. Applicant is: \_\_\_ Tenant \_\_\_ Licensee \_\_\_ Prospective Purchaser  
X Owner \_\_\_ Other (Describe)

FILED  
2022 MAR 31 PM 12:02  
OFFICE CITY CLERK  
REVERE, MASS

3. The following person is hereby designated to represent the applicant in matter arising hereunder:

Name: Gerry D'Ambrosio, Esq. and Christopher D. Cridler, Esq., D'Ambrosio Brown LLP

Title: Attorneys for the Applicant

Address: 14 Proctor Avenue, Revere, MA 02151

Tel. #: (617) 720-5657

4. The land for which this application is submitted is owned by:

Name: Revere Dev. LLC

Address: 304 Squire Road, Revere, MA 02151

Tel. #: c/o D'Ambrosio LLP - (617) 720-5657

5. The land described in the application is recorded in Suffolk County Registry of Deeds.

Please see deed, recorded at Suffolk Registry of Deeds, Book 67062, Page 51, attached hereto as **Exhibit A**.

6. Plans describing and defining the Exception to Use Regulations in Certain Districts, the Special Permit or Special permit For Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are title and dated:

Please see the Plan attached hereto as **Exhibit B**.

Assessor's Office information: 304 Squire Road, Revere Massachusetts and adjoining parcels.

Parcel Identification numbers: 28-438K-13; 28-438K-15; 28-438K-16; and 28-438K-17

7. A map describing the land uses of adjacent and nearby properties in included and made part of this application.

Please see the City of Revere, Zoning Summary Map, available at [www.gis.revere.org](http://www.gis.revere.org). An enlargement is attached hereto as **Exhibit C**.

8. A Locus map (8½" x 11") copy of City of Revere or USGS topographic sheet with site marked for which permit is requested is included and made part of this application.

Please see USGS topographic and MassGIS maps attached hereto as **Exhibit D**.

9A. Is the site of this application subject to the Wetland Protection Act (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Sec. 105)?

yes                                      no                                      X                                      do not know

9B. Is the location of the site of this application within 100 feet of:

\_\_\_\_\_ a coastal beach; \_\_\_\_\_ salt marsh; \_\_\_\_\_ land under the ocean;

\_\_\_\_\_ do not know;  X  no.

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

The land in Revere, described as follows:

Lots numbered 942, 943, 944, 945, and 946 Squire Road, and

Lots numbered 947 and 948 Derby Road, and

Lots numbered 938, and 939 Sigourney Street

As shown on plan recorded at Suffolk Registry of Deeds, Book 4642 at end.

In addition, a concrete block building, approximately 1,400 square feet, is included on Squire Road lots 942, 943, 944, 945, 946, and a free standing sign approximately 30 feet in height.

11. What is the nature of the exception or special permit requested in this application?

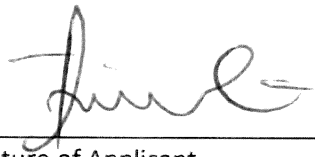
The Applicant seeks to use the property for the operation of a Popeye's fast-food restaurant with a drive through window, allowable in the GB zoning district only by special permit. See Site Plan Review Committee's Denial Letter attached hereto as **Exhibit E**. The Special Permit will allow the Applicant to open its restaurant along a main thoroughfare and increase the available food options in Revere. The drive through window will allow for ease of service by the applicant and also allow patrons to pick up their food without leaving their vehicle. The current vacated structure will be taken down and the Applicant will construct an

attractive new restaurant to better and more efficiently serve the Revere community.


The City Council of the City of Revere should award this special permit because the Applicant's proposal is not detrimental to the neighborhood. The City of Revere has permitted this property to be used as a fast-food restaurant and drive-through previously, most recently as a Honey Dew Doughnuts establishment. The Applicant plans to direct traffic towards Squire Road in order to reduce any additional traffic through its surrounding neighborhood. The Applicant's use of the property is in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

Date of denial by building Inspector and/or Planning Board: March 22, 2022.

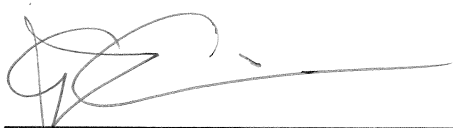
I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

x   
Signature of Applicant

3/28/2022  
Date

x   
Signature of Owner Representative

3/28/2022  
Date

  
Signature of Designated Representative

3/30/2022  
Date

Received from above applicant, the sum of \$ \_\_\_\_\_ to apply against administrative and mailing costs.

**General Disclosure of Constituent Information  
Relative to Applications Submitted to the Revere City Council  
For Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions,  
Approvals,  
Modifications and Amendments Which are Subject of Proceedings Before the Revere City  
Council**

1. Name and residential address of party submitting application:

Name: Ashish Parikh  
Manager, Revere Dev. LLC

Amish Parikh  
Manager, Revere Dev. LLC

Address: c/o D'Ambrosio Brown LLP  
14 Proctor Avenue  
Revere, MA 02151

2. Name and residential address of each land-owner on whose property subject matter will be exercised: (Attach additional pages, if necessary.)

Name: Revere Dev. LLC



Address: 304 Squire Road  
 Revere, MA 02151

3. If the property is a partnership, state the name and residential address of all partners within sixty (60) days of this application:

Partner's Name: N/A

Address: N/A

4. Name and residential address of each party to whom subject authorization will be issued:

Name: Revere Dev. LLC

Address: 304 Squire Road  
 Revere, MA 02151

5. If the party is a trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this application:

N/A

The trust documents are on file at N/A and will be delivered upon request.

Page 2  
 General Disclosure Form

6. If the party is a joint venture, state the name and residential address of each person, form of company that is party to the joint venture within sixty (60) days of the filing of this application.

Joint Venture Name: N/A

Address: N/A

A copy of the Joint Venture agreement is on file at N/A and will be delivered upon request.

7. If the party is a corporation, provide the name and the residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application:

To the extent applicable, the Applicant identifies the following Directors of the Corporation:

Director: Ashish Parikh, 82 Roberts Road, Englewood Cliffs, NJ 07632

Director: Amish Parikh, 19 Regency Place, Weehawken, NJ 07086

8. If the party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days of the date of this application.

General Partner's Name: N/A

Address: N/A

9. If the party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this application.

General Partner's Name of Limited Partnership: N/A

Address: N/A

10. If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the certificate require by Mass. General Law, Chapter 110, Section 5, is on file:

[Signatures on following page]

The foregoing information if provided under the Pains and Penalty of Perjury. Signature of each party and land-owner:

Amish Parikh

Name [Signature]

Date 3/28/2022

### Request for Finding of Fact – Special Permit

Now comes the applicant Revere Dev. LLC who has applied to this Honorable City Council for a special permit for property located at 304 Squire Road, Revere, Massachusetts.

1. That the proposed use would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reason:
  - (a) The proposed use is in harmony with the intent of the Zoning Ordinance as it encourages the most appropriate use of land throughout the City as well as an additional dining option for the City's residents. See Revere Zoning Ordinances, § 17.04.010
  
2. That the specific site is an appropriate location for such use for the following reasons:
  - (a) The site is appropriate as it is a centralized Revere location near similar fast-food restaurants with reasonable ingress and egress accessibility directed away from the surrounding neighborhood and towards the a main thoroughfare, Squire Road.
  
3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:
  - (a) There are adequate and appropriate facilities already servicing the Property.
  
4. That the use as developed will not adversely affect the neighborhood, for the following reasons:
  - (a) The applicant seeks to provide necessary amenities to the Revere Community at large and to the residents of the neighborhood. The Property will be significantly improved by the Applicant's efforts, at great expense, and all aspects of the property will be brought up to code as is required in new construction. Additionally, traffic from the restaurant will be directed away from the surrounding neighborhood, towards a main commercial thoroughfare, Squire Road.
  
5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using Derby Road or Sigourney Street for the following reasons:
  - (a) There will be no adverse effect to the neighborhood as the Applicant's current plans indicate that the majority of the traffic flow of the Restaurant will exit towards Squire Road, as well as an entrance and exit on Sigourney Street, which travels one way towards Squire Road. No vehicles will enter from or exit onto Derby Road, limiting traffic from this location to enter the surrounding residential neighborhood.

Page 3  
Finding of Fact Form

6. The adequate and appropriate facilities will be provided for the proper use, for the following reasons:

(a) Adequate and appropriate facilities already service the Property or will be addressed through the construction of the new building.

Date: 3/30/2022  
Respectfully submitted by:  Counsel

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

# EXHIBIT

# A

# Suffolk County Registry of Deeds

## Electronically Recorded Document

This is the first page of the document - Do not remove

---

### Recording Information

Document Number	: 6480
Document Type	: DED
Recorded Date	: January 24, 2022
Recorded Time	: 10:08:34 AM
Recorded Book and Page	: 67062 / 51
Number of Pages(including cover sheet)	: 5
Receipt Number	: 951114
Recording Fee (including excise)	: \$8,477.00

\*\*\*\*\*  
 MASSACHUSETTS EXCISE TAX  
 Suffolk County District ROD # 001  
 Date: 01/24/2022 10:08 AM  
 Ctrl# 218416 12357 Doc# 00006480  
 Fee: \$8,322.00 Cons: \$1,825,000.00  
 \*\*\*\*\*

**Suffolk County Registry of Deeds**  
**Stephen J. Murphy, Register**  
**24 New Chardon Street**  
**Boston, MA 02114**  
**617-788-8575**  
[Suffolkdeeds.com](http://Suffolkdeeds.com)

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

## QUITCLAIM DEED

WE, **ROBERT PEDICINI** and **JOHN PEDICINI**, as trustees of **REVERE-DERBY REALTY TRUST u/d/t dated June 23, 1969** and recorded with the Suffolk County Registry of Deeds in Book 8292, Page 54 of Saugus, Essex County, Massachusetts, and as partners of **FIRST DERBY REALTY, LIMITED LIABILITY PARTNERSHIP**, a limited liability partnership with a principal office located at 10 Milano Drive, Saugus, Massachusetts.

For consideration paid, and in full consideration of ONE MILLION EIGHT HUNDRED AND TWENTY-FIVE THOUSAND and 00/100 (\$1,825,000) Dollars,

grant to **REVERE DEV LLC**

WITH QUITCLAIM COVENANTS,


A certain parcel of land on Squire Road, Derby Road, and Sigourney Street, Revere, in the county of Suffolk, and Commonwealth of Massachusetts. Said land is shown as Squire Road Lots 942, 943, 944, 945, 946, Derby Road Lots 947 & 948, and Sigourney Street Lots 938 & 939 on plan recorded at Suffolk Registry of Deeds in Book 4642, Page 640 at end. In addition, a concrete block building, approximately 1,400 square feet, is included on Squire Road lots 942, 943, 944, 945, 946 and a free-standing sign approximately 30 feet in height.

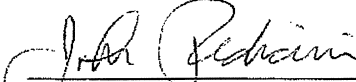
The above-referenced Trustees also hereby release any and all rights of homestead in and to the property being conveyed, and certify under pains and penalties of perjury that there are no persons or beneficiaries, including spouses, former spouses, partners or former partners in a civil union who are entitled to claim the benefit of homestead in the premises.

Further, the within conveyance constitutes a sale or transfer in the ordinary course of business of Grantor, First Derby Realty, Limited Liability Partnership.

For title, see deed recorded with Suffolk Registry of Deeds in Book 8292, Page 62.

Witness our hands and seals, this 21<sup>st</sup> day of January 2022.

  
Robert Pedicini, Trustee

  
John Pedicini, Trustee

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

COMMONWEALTH OF MASSACHUSETTS

Essex County, SS

On this 21st day of January, 2022, before me, the undersigned notary public, personally appeared, Robert Pedicini and John Pedicini, and each proved to me through satisfactory evidence of identification, which was license, to be the person (i) whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose, as trustee of REVERE-DERBY REALTY TRUST; and (ii) who signed said document in my presence and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.

[Handwritten signature] [official signature and seal of notary]

Notary Public:

My Commission Expires:



KELLY J. SHANAHAN, ESQ.
NOTARY PUBLIC
Commonwealth of Massachusetts
My Commission Expires
December 20, 2024

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)



Executed as a sealed instrument, this 21<sup>st</sup> day of January 2022.

FIRST DERBY REALTY, LIMITED LIABILITY PARTNERSHIP

Robert L. Pedicini  
Robert L. Pedicini, its Partner

John G. Pedicini  
John G. Pedicini, its Partner

### COMMONWEALTH OF MASSACHUSETTS

Essex County, SS

On this 21<sup>st</sup> day of January, 2022, before me, the undersigned notary public, personally appeared, Robert Pedicini and John Pedicini, and each proved to me through satisfactory evidence of identification, which was license, to be the person (i) whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose, as partner of **FIRST DERBY REALTY, LIMITED LIABILITY PARTNERSHIP**, and (ii) who signed said document in my presence and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.

[Handwritten Signature] [official signature and seal of notary]

Notary Public:



KELLY J. SHANAHAN, ESQ.  
NOTARY PUBLIC  
Commonwealth of Massachusetts  
My Commission Expires  
December 20, 2024

My Commission Expires:

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

ROAD

To Broadway

2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540		
940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963																		
2143	2126	2110	2093	2077	2060	2044	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187
87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5

SIGOURNEY

ST.

2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540			
820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843																			
2285	2268	2252	2235	2219	2202	2186	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	2187	
87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5

AUGUSTUS

ST.

2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540							
706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724																												
2344	2328	2312	2296	2280	2264	2248	2232	2216	2200	2184	2168	2152	2136	2120	2104	2088	2072	2056	2040	2024	2008	1992	1976	1960	1944	1928	1912	1896	1880	1864	1848	1832	1816	1800	1784	1768	1752	1736	1720	1704	1688	1672	1656	1640		
87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5	87.5

Suffolk County Registry of Deeds  
Book 4642 Page 640 at end

DERBY ROAD

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

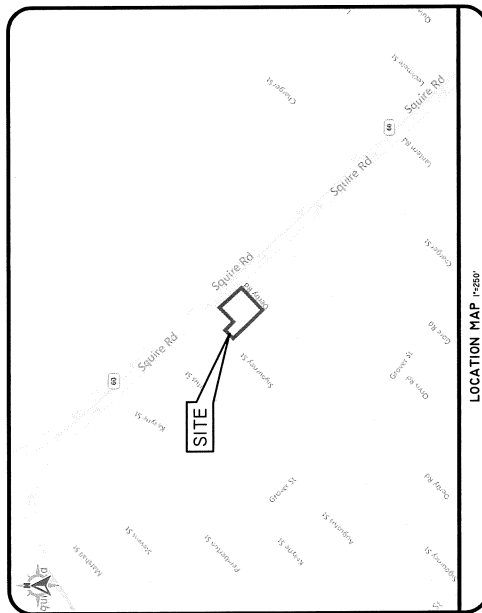
# EXHIBIT B

# INITIAL SITE PLAN REVIEW

# POPEYES REVERE

304 SQUIRE ROAD  
 REVERE, MASSACHUSETTS  
 ASSESSOR'S PLAT 28-438K LOT 13, 15, 16 & 17

- ### SHEET INDEX
- 1 COVER SHEET
  - 2 AERIAL HALF MILE RADIUS
  - 3 EXISTING CONDITIONS PLAN
  - 4 SITE LAYOUT PLAN



MASSDOT  
 THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE MA STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.

**Diprete Engineering**  
 105 Eastern Avenue Suite 200 Dedham, MA 02026  
 Tel: 781-331-0021 Fax: 494-4005 www.diprete-eng.com

Boston • Providence • Newport

*James J. Kelly*

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES. ANY CHANGES TO THIS PLAN SET MUST BE APPROVED BY THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE FIELD SURVEY, STAKE SETTING AND ELEVATION DATA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

**COVER SHEET**

304 SQUIRE ROAD  
 REVERE, MASSACHUSETTS  
 PROJECT: 28-438K-13, 15, 16 & 17  
 100 HIGHLAND PARK HALL SUITE 500  
 REVERE, MASSACHUSETTS  
 THE PARKING NETWORK  
 ERMSON, NEW JERSEY 08837

DESIGNER: DIPRETE ENGINEERING  
 DATE: 12/15/2022  
 DRAWN BY: D.M.K.

AERIAL HALF MILE RADIUS

304 SQUIRE ROAD

THE PARKIN NETWORK

REVERE, MASSACHUSETTS

PREPARED FOR: ERMSON, NEW JERSEY (08437)

100 HIGHLAND PARK HALL, SUITE 500

REVERE, MASSACHUSETTS 01874

DATE:	10/20/22
DESIGN BY:	D.M.P.
PROJECT:	INDUS SITE PLAN REVIEW
SCALE:	AS SHOWN
PROJECT NO.:	22-128
PROJECT NAME:	304 SQUIRE ROAD
PROJECT ADDRESS:	REVERE, MASSACHUSETTS
PROJECT CLIENT:	ERMSON, NEW JERSEY
PROJECT CONTACT:	JOHN J. MURPHY
PROJECT PHONE:	(781) 326-0221
PROJECT FAX:	(781) 326-0222
PROJECT EMAIL:	john.murphy@ermson.com
PROJECT WEBSITE:	www.ermson.com



USGS MAP SCALE: 1"=1000'

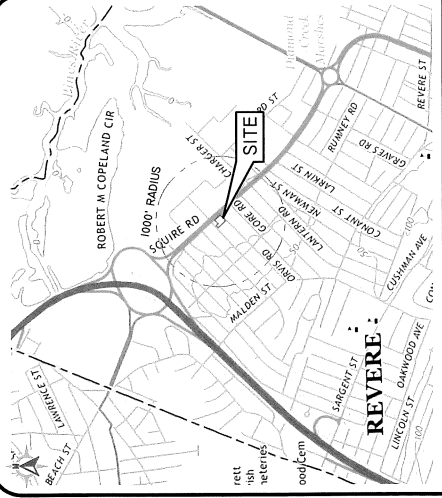
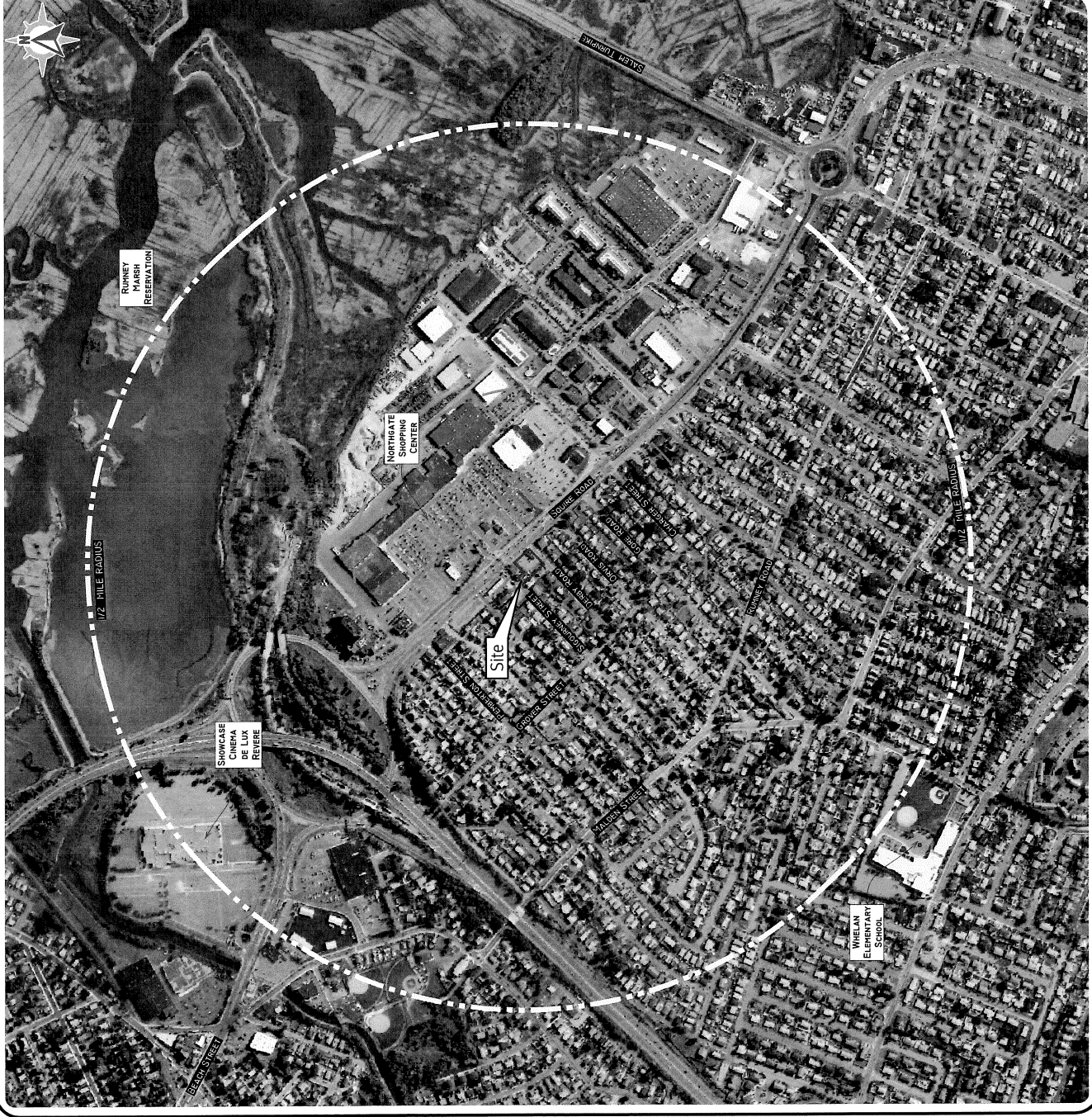
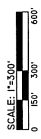


PHOTO OBTAINED FROM AUTODESK GEOLOCATION. ACCESSED ON 3/3/2022.



304 SQUIRE ROAD  
THE PARK NETWORK  
REVERSH, MASSACHUSETTS  
100 NEWTON PARK MALL, SUITE 500,  
REVERSH, MASSACHUSETTS 01877

DESIGNED BY: D.M.W.  
CHECKED BY: D.M.W.  
DATE: 03/25/22  
PROJECT: 22-128



Diprete Engineering  
105 73rd Street, Suite 200, Boston, MA 02116  
781-332-0021, 404-804-4006, www.diprete.com

SCALE: 1"=10'-0"  
0 5' 10' 20'

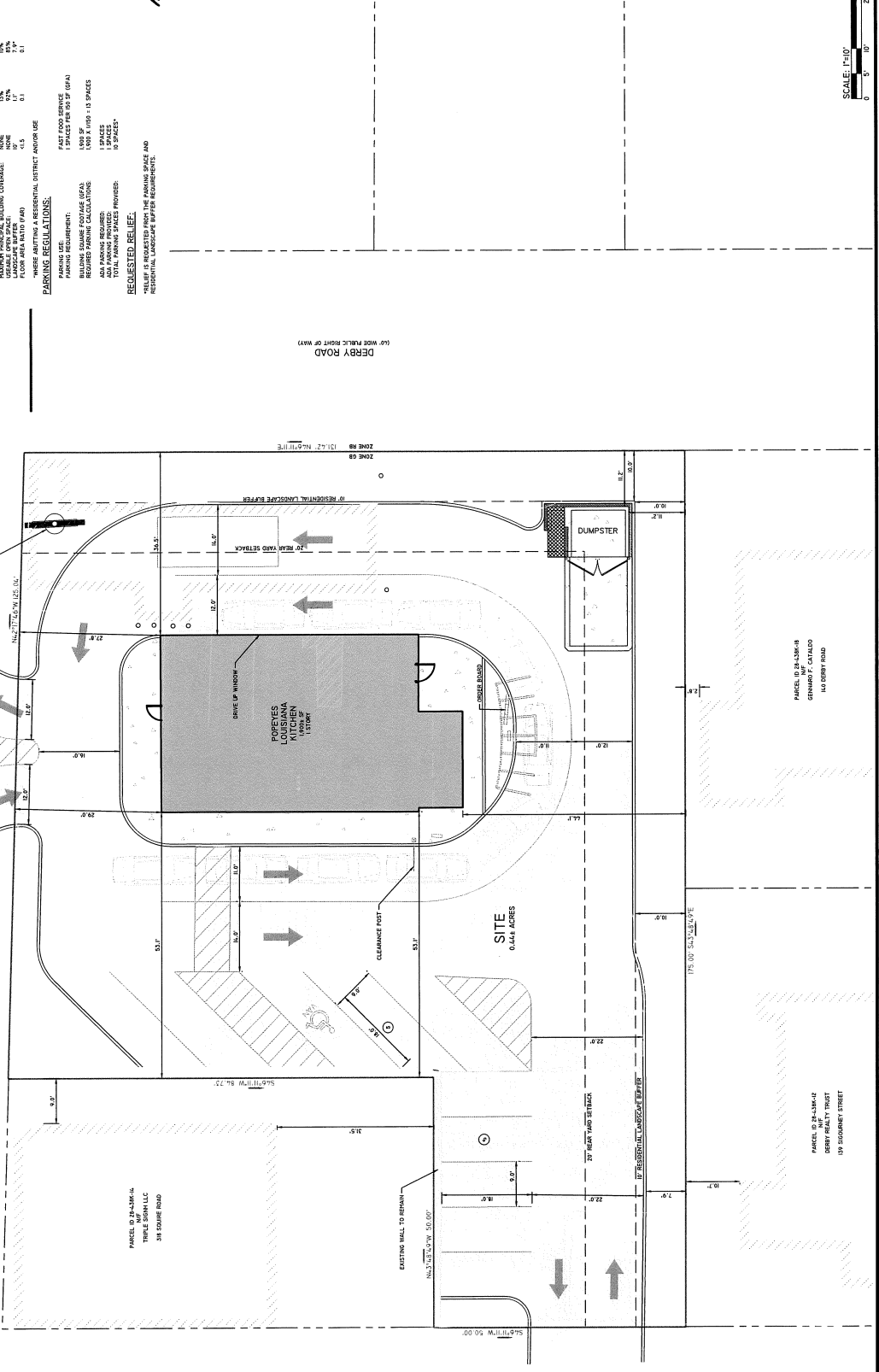
- GENERAL NOTES:**
- THE CITY OF REVERSH, SUFFOLK COUNTY, MASSACHUSETTS HAVING FACED D OF REVERSH, MASSACHUSETTS.
  - THE SITE IS APPROXIMATELY 0.64 ACRES AND IS ZONED OB.
  - THE OWNER FOR DEED BOOK 47044, PAGE 31 IS REVERSH DRY LLC.
  - THIS SITE IS LOCATED IN FEMA FLOOD ZONE 4. REFERENCE FEMA FLOOD INSURANCE RATE MAP 17082C0214 (REV. 08-08-15) IS APPLICABLE TO THIS SITE.
  - WHERE THERE IS FLOODING, THIS SITE IS LOCATED IN FEMA FLOOD ZONE 1, WHICH ARE AREAS OF HIGH FLOOD HAZARD.
  - THE DRAINAGE SYSTEM WILL BE DESIGNED TO MEET THE CITY OF REVERSH SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO MEET THE MASSDOT BEST MANAGEMENT PRACTICES (BMP) FOR ALL PHASES.
- DIMENSIONAL REGULATIONS:**
- | CURRENT ZONING             | REQUIRED | PROPOSED |
|----------------------------|----------|----------|
| MINIMUM FRONT YARD SETBACK | 10' 0"   | 10' 0"   |
| MINIMUM SIDE YARD SETBACK  | 5' 0"    | 5' 0"    |
| MINIMUM REAR YARD SETBACK  | 10' 0"   | 10' 0"   |
| HIGHWAY STRUCTURE HEIGHT   | 12' 0"   | 12' 0"   |
| MAXIMUM DRIVEWAY WIDTH     | 12' 0"   | 12' 0"   |
| MINIMUM DRIVEWAY WIDTH     | 12' 0"   | 12' 0"   |
| MINIMUM DRIVEWAY WIDTH     | 12' 0"   | 12' 0"   |
| MINIMUM DRIVEWAY WIDTH     | 12' 0"   | 12' 0"   |
| MINIMUM DRIVEWAY WIDTH     | 12' 0"   | 12' 0"   |
| MINIMUM DRIVEWAY WIDTH     | 12' 0"   | 12' 0"   |
| MINIMUM DRIVEWAY WIDTH     | 12' 0"   | 12' 0"   |



**SQUIRE ROAD (ROUTE 60)**  
VARIABLE WIDTH PUBLIC RIGHT OF WAY

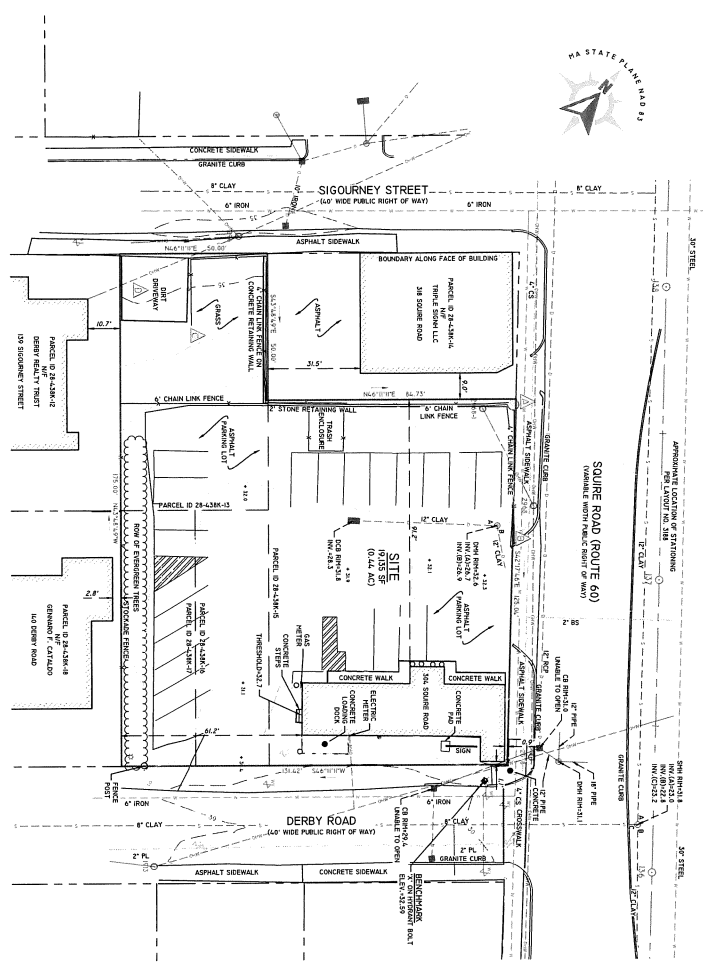
**PROPOSED LEGEND:**

- PROPERTY LINE
- BUILDING SETBACKS
- EDGE OF PAVEMENT
- CONCRETE CURB
- BUILDING FOOTPRINT
- ASPHALT PAVEMENT
- ASPHALT DRIVEWAY
- ASPHALT SIDEWALK
- ACCESSIBLE PARKING SPACE
- SYMBOLS



**DERBY ROAD**  
(USE WHEN PUBLIC RIGHT OF WAY)

**SIQUORNEY STREET**  
(USE WHEN PUBLIC RIGHT OF WAY)



GENERAL NOTES

1. THE SITE IS LOCATED IN THE CITY OF REVERE, SUFFOLK COUNTY, MASSACHUSETTS HAVING PARCEL ID OF 28-438K-5, 28-438K-6 & 28-438K-7.
2. THE SITE IS BOUNDARIED BY SQUIRE STREET TO THE NORTH, DERBY ROAD TO THE SOUTH, SQUIRE STREET TO THE WEST AND SQUIRE STREET TO THE EAST.
3. THE SITE IS BOUNDARIED BY PARCEL 28-438K-8 TO THE WEST, PARCEL 28-438K-8 TO THE EAST, PARCEL 28-438K-8 TO THE NORTH AND PARCEL 28-438K-8 TO THE SOUTH.
4. THE PARCEL IS ZONED R-2B IN THE CITY OF REVERE. THE CITY ZONING BOARD HAS APPROVED A REVISION TO THE ZONING BY-LAW AND THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW AND THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW.
5. THERE ARE NO OTHER UTILITIES, SERVICE LINES AND OR BURIAL DEVICES LOCATED WITHIN THE LIMITS OF THE SITE.
6. THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW AND THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW.
7. ELEVATIONS SHOWN ARE IN FEET AND DECIMALS THEREOF AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM.
8. THE SURVEY HAS BEEN CONDUCTED WITHIN THE CITY OF REVERE, MASSACHUSETTS. THE SURVEY IS NOT VALID UNLESS THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW.

UTILITY NOTES

1. ALL UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE CITY OF REVERE AND THE CITY OF REVERE HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW AND THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW.
2. ALL UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE CITY OF REVERE AND THE CITY OF REVERE HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW AND THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW.
3. ALL UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE CITY OF REVERE AND THE CITY OF REVERE HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW AND THE CITY ZONING BOARD HAS APPROVED THE REVISIONS TO THE ZONING BY-LAW.

PLAN REFERENCES

1. PLAN RECORDS IN REEL BOOK 444, PAGE 640 OF THE SUFFOLK COUNTY REGISTER OF DEEDS.
2. PLAN OF LOTS 1 THROUGH 10, SCALE 1/4" = 1'-0", DATED JULY 2, 1924, PLAN BY WILLIAMS & SMITH.
3. SUFFOLK COUNTY MAP, SCALE 1/4" = 1'-0", DATED JULY 2, 1924, PLAN BY WILLIAMS & SMITH.

LIST OF POSSIBLE ENCROACHMENTS

1. CONCRETE SIDEWALK 8' OVER PROPERTY LINE
2. CHAIN LINK FENCE 5' OVER PROPERTY LINE
3. ASPHALT DRIVEWAY AND DRIVE WHEEL OVER PROPERTY LINE
4. OPENED WHEEL OVER PROPERTY LINE

**CERTIFICATION**  
I CERTIFY THAT THE ACTUAL SURVEY WAS MADE ON THE GROUND IN ACCORDANCE WITH THE MASSACHUSETTS REGULATIONS AS SET FORTH IN CHS 265 SECTION 43A.

ROBERT S. AMBROSE, P.E. 12/1/23 DATE

**EXISTING CONDITIONS PLAN**  
304 SQUIRE ROAD  
PARCEL ID 28-438K-5, 15, 16 & 17  
REVERE, MASSACHUSETTS

PREPARED FOR:  
**THE PARIKH NETWORK**  
100 MENLO PARK MALL, SUITE 500,  
EDISON, NEW JERSEY 08857

NO.	DATE	DESCRIPTION	BY:
1	12/1/23	EXISTING CONDITIONS PLAN	RA

SHEET 3 OF 4

**DiPrete Engineering**  
990 Washington Street Suite 101A Dedham, MA 02026  
tel: 781-326-0201 fax: 617-666-6006 www.diprete-engineering.com

**Packet Pg. 71**

# EXHIBIT C

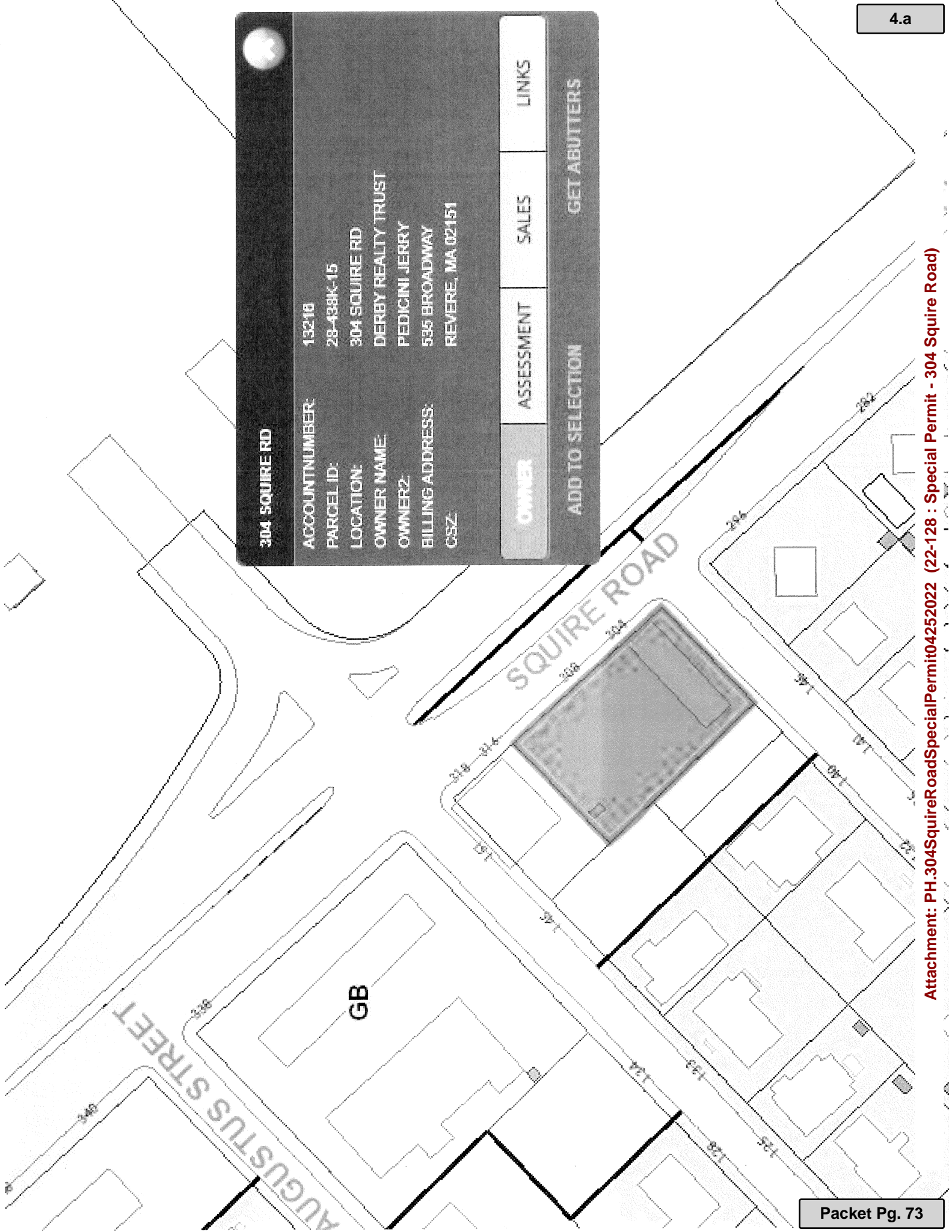


**304 SQUIRE RD**

ACCOUNTNUMBER: 13218  
 PARCEL ID: 28-438K-15  
 LOCATION: 304 SQUIRE RD  
 OWNER NAME: DERBY REALTY TRUST  
 OWNER2: PEDICINI JERRY  
 BILLING ADDRESS: 535 BROADWAY  
 CSZ: REVERE, MA 02151

OWNER    ASSESSMENT    SALES    LINKS

ADD TO SELECTION    GET ABUTTERS



# EXHIBIT D

Show Map Index

304 Squire Road, Revere, X



Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)



**304 SQUIRE RD**

ACCOUNTNUMBER: 13216  
PARCEL ID: 28-438K-15  
LOCATION: 304 SQUIRE RD  
OWNER NAME: DERBY REALTY TRUST  
OWNER2: PEDICINI JERRY  
BILLING ADDRESS: 535 BROADWAY  
CSZ: REVERE, MA 02151

OWNER	ASSESSMENT	SALES	LINKS
-------	------------	-------	-------

ADD TO SELECTION      GET ABUTTERS

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

# EXHIBIT E

**Chris Cridler**

**From:** fstringi@revere.org  
**Sent:** Tuesday, March 22, 2022 11:33 AM  
**To:** Chris Cridler; Chris Cridler; amelnik@revere.org; lcavagnaro@revere.org  
**Subject:** Application Review Comments

## CITY OF REVERE APPLICATION REVIEW

### City of Revere Site Plan Review Review Comments

---

**From:** Frank Stringi  
**Date:** March 22, 2022  
**Application #:** SPR22-000029  
**Address:** 304 SQUIRE RD  
**Description:** Tear down the current building and build a brand New Popeye's location with a drive through window  
**Review Status:** Denied

Thank you for your recent permit application for Tear down the current building and build a brand New Popeye's location with a drive through window. I have completed my initial review and my comments are listed below, you can view marked up plans on our [Click here to view your application](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

#### **Community Development: Frank Stringi**

- In accordance with Section 17.16.190 of the Revised Revere Zoning Ordinance, a fast food/take out/drive thru restaurant may only be allowed within the GB District by special permit of the City Council.

*NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application.*

*Log back into your account and edit either your Registration or Permit as requested in the comments.*

---

**Please do not reply to this automated email.** All resubmittals should be done using our online portal at [www.citizenserve.com/revere](http://www.citizenserve.com/revere) re-review. Furnishing the above requested information will help expedite the approval of your application.

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)



Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)



Brian M. Arrigo  
Mayor

# The City of REVERE, MASSACHUSETTS

BOARD OF ASSESSORS  
Dana E. Brangiforte  
John J. Verrengia  
Mathew M. McGrath

## Request for Abutters List

Date: March 28, 2022

Property Location: 304 Squire Road

Map: 28      Block: 438K      Parcel: 13, 15,16, and 17

Property Owner: Revere Dev. LLC

Is request for special permit or variance? YES  NO

If yes than 300Ft is required distance. If no, than please indicate requested distance below.

Requested Distance:

\_\_\_\_\_ FT

Fee: \$80.00

Please make checks payable to City of Revere

Requester Information:

Name: Christopher D. Cridler, D'Ambrosio LLP

Address: 14 Proctor Ave

\_\_\_\_\_ Revere, MA 02151

Telephone: (617) 720-5657

281 BROADWAY • REVERE, MA 02151 • 781-286-8170 • FAX 781-286-8388

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)



Total Card / Total Parcel  
 APPRAISED: 601,200 / 601,200  
 USE VALUE: 601,200 / 601,200  
 ASSESSED: 601,200 / 601,200



**IN PROCESS APPRAISAL SUMMARY**

Use Code	Land Size	Building Value	Yrd Items	Land Value	Total Value
326	0.238	255,400	15,400	330,400	601,200
<b>Total Card</b>					
	0.238	255,400	15,400	330,400	601,200
<b>Total Parcel</b>					
Source: Market Adj Cost Total Value per SQ unit / Card: 450.34 / Parcel: 450.34					

**PROPERTY LOCATION**

No	Alt No	Direction/Street/City
304		SQUIRE RD, REVERE
Unit #:		

**OWNERSHIP**

Owner 1:	REVERE DEV LLC
Owner 2:	
Owner 3:	
Street 1:	304 SQUIRE RD
Street 2:	

**Town/City:** REVERE

**St/Prov:** MA **Chtry:**

**Postal:** 02151 **Own Occ:** **Type:**

**PREVIOUS ASSESSMENT**

Tax Yr	Use	Cat	Blgd Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2022	326	FV	255,400	15,400	0.238	330,400	601,200		Year End Roll	12/30/2021
2022	326	NC	255,400	15,400	0.238	330,400	601,200		Year End Roll	11/9/2021
2021	326	FV	218,000	15,400	0.238	301,600	535,000		Year End Roll	12/15/2020
2021	326	PTCH	214,000	15,400	0.238	301,600	531,000		531,000 patch	8/19/2020
2020	326	FV	214,000	15,400	0.238	301,600	531,000		Year End Roll	12/18/2019
2020	326	NC	214,000	15,400	0.238	301,600	531,000		Year End Roll	10/30/2019
2019	326	FV	195,600	13,700	0.238	258,500	467,800		Year End Roll	12/19/2018
2018	326	fv	195,600	13,700	0.238	211,900	421,200		Year End Roll	12/29/2017

**PREVIOUS OWNER**

Owner 1:	DERBY REALTY TRUST -
Owner 2:	PEDICINI - JERRY
Street 1:	10 MILANO DR

**Town/City:** SAUGUS

**St/Prov:** MA **Chtry:**

**Postal:** 01906

**SALES INFORMATION**

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
DERBY REALTY TR	67062-51		1/21/2022	MULTIPLE PAR	1,825,000	No	No		
UNKNOWN	8292/62		1/1/1900			No	No		

**NARRATIVE DESCRIPTION**

This parcel contains .238 Acres of land mainly classified as RST/BAR with a FAST FOOD Building built about 1950, having primarily STUCCO Exterior and 1335 Square Feet, with 1 Unit, 0 Bath, 0 3/4 Bath, 1 HalfBath, 0 Rooms, and 0 Bdrm.

**BUILDING PERMITS**

Date	Number	Descrp	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment
2/28/2013	10661	INTER RE	106,000	C				NEW COUNTERS / NEW
2/15/2013	10629	SIGN	21,165	C				REFACE SIGN / AWNI
10/21/2011	9338	Addition	5,000	C	10/15/2012			BUILD VESTIBULE, W
12/12/2002	9360	Commercial	2,000	C				Commercial INSTALL
4/17/1998	5024-2			C				COMM NEW WALL CANO
11/21/1997	4822			C				COMM ADDITION 9X26
10/22/1997	4775			C				COMM FREE STANDING
11/22/1995	3451			C				COMM 3X20FT NOT IL
9/26/1990	9183			C	7/1/1991			COMM INTERIOR REMO
2/12/1990	8872			C				COMM SIGN REPLACEM

**PROPERTY FACTORS**

Item Code	Description	%	Item Code	Description
Z			water	
o			Sewer	
n			Electri	
			Exmpt	
			Topo	
			Street	
			Gas:	

**LAND SECTION (First 7 lines only)**

Use Code	LUC Fact	No of Units	Depth / Price/Units	Unit Type	Land Type	Factor	LT Value	Base Value	Unit Price	Adj	Neigh Influ	Neigh Mod	Inf1 %	Inf2 %	Inf3 %	Appraised Value	Alt Class	Spec Land	J Code	Notes
326	RST/BAR	10386	19,134 Sq Feet	SITE		1.0	0	23	1.38	CG						330,361	0			330,400

**OTHER ASSESSMENTS**

Code	Description/No	Amount	Com. Int

**ACTIVITY INFORMATION**

Date	Result	By	Name
3/17/2015	MEAS & INSP	372	Patrick W
10/16/2013	MEAS & INSP	336	MATT MCGRATH
6/19/2007	MEAS & INSP	336	MATT MCGRATH
9/29/2006	MEASURED	197	MIKE CASSIDY

**TAX DISTRICT**

Parcel ID	Tax District	PAT ACCT.
28-438K-15	13216	



**Patriot**  
 Properties Inc.

**USER DEFINED**

Prior Id # 1: GB
Prior Id # 2:
Prior Id # 3:
Prior Id # 1:
Prior Id # 2:
Prior Id # 3:
Prior Id # 1:
Prior Id # 2:
Prior Id # 3:
ASR Map: 28
Fact Dist:
Reval Dist:
Year:
Land Reason:
Bld Reason:
Civil District:
Ratio:

**IN PROCESS APPRAISAL SUMMARY**

Use Code	Land Size	Building Value	Yrd Items	Land Value	Total Value	Legal Description
337	0.050		2,800	69,600	72,400	LOT 947
Total Card	0.050		2,800	69,600	72,400	Entered Lot Size
Total Parcel	0.050		2,800	69,600	72,400	Total Land: 2187
Source: Market Adj Cost	Total Value per SQ unit /Card: N/A		/Parcel: N/A		Land Unit Type: SF	

**PREVIOUS ASSESSMENT**

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2022	337	FV		2800	.05	69,600	72,400		Year End Roll	12/30/2021
2022	337	NC		2800	.05	69,600	72,400		Year End Roll	11/9/2021
2021	337	FV		2800	.05	63,500	66,300		Year End Roll	12/15/2020
2021	337	PTCH		2800	.05	63,500	66,300		66,300 patch	8/19/2020
2020	337	FV		2800	.05	63,500	66,300		Year End Roll	12/18/2019
2020	337	NC		2800	.05	63,500	66,300		Year End Roll	10/30/2019
2019	337	FV		2800	.05	54,400	57,200		Year End Roll	12/19/2018
2018	337	fv		2800	.05	44,600	47,400		YER	12/29/2017

**SALES INFORMATION**

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
DERBY REALTY TR	67062-51		1/21/2022	MULTIPLE PAR	1,825,000	No	No		
UNKNOWN	829262		1/1/1900			No	No		

**BUILDING PERMITS**

Date	Number	Descrp	Amount	C/O	Last Visit	Fed Code	F. Descrp	Comment
12/8/2017		MEASURED						425 SCOT C
1/22/2007		MEASURED						336 MATT MCGRATH

**PROPERTY FACTORS**

Item Code	Description	%	Item	Code	Description
Z			water		
o			Sewer		
n			Electri		
			Exmpt		
			Topo		
D			Street		
s			Gas:		
t					

**LAND SECTION (First 7 lines only)**

Use Code	LUC	Description	Fact	No of Units	Depth / Price/Units	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh Influ	Neigh Mod	Infl 1 %	Infl 2 %	Infl 3 %	Appraised Value	Alt Class	Spec Land Code	J Code	Notes
337	PARKLOT			2187	19,134 Sq Feet	SITE		1.0	0	23	1.38 CG						69,565	0			69,600

**PROPERTY LOCATION**

No	Alt No	Direction/Street/City
		DERBY RD, REVERE
Unit #:		

**OWNERSHIP**

Owner 1:	REVERE DEV LLC	Own Occ:	
Owner 2:		Type:	
Owner 3:			
Street 1:	304 SQUIRE RD		
Street 2:			

**PREVIOUS OWNER**

Owner 1:	DERBY REALTY TRUST -
Owner 2:	PEDICINI - JERRY TRUSTEE
Street 1:	10 MILANO DR
Town/City:	SAUGUS
St/Prov:	MA
Postal:	01906

**NARRATIVE DESCRIPTION**

This Parcel contains .05 Acres of land mainly classified as PARKLOT

**OTHER ASSESSMENTS**

Code	Descrip/No	Amount	Com. Int

**LAND SECTION (First 7 lines only)**

Use Code	LUC	Description	Fact	No of Units	Depth / Price/Units	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh Influ	Neigh Mod	Infl 1 %	Infl 2 %	Infl 3 %	Appraised Value	Alt Class	Spec Land Code	J Code	Notes
337	PARKLOT			2187	19,134 Sq Feet	SITE		1.0	0	23	1.38 CG						69,565	0			69,600



**PROPERTY LOCATION**  
 No: Alt No: Direction/Street/City: DERBY RD, REVERE  
 Unit #: \_\_\_\_\_

**OWNERSHIP**  
 Owner 1: REVERE DEV LLC  
 Owner 2: \_\_\_\_\_  
 Owner 3: \_\_\_\_\_  
 Street 1: 304 SQUIRE RD  
 Street 2: \_\_\_\_\_  
 Town/City: REVERE  
 St/Prov: MA Cntry: \_\_\_\_\_ Own Occ: \_\_\_\_\_ Type: \_\_\_\_\_  
 Postal: 02151

**PREVIOUS OWNER**  
 Owner 1: DERBY REALTY TRUST -  
 Owner 2: PEDICINI - JERRY TRUSTEE  
 Street 1: 10 MILANO DR  
 Town/City: SAUGUS  
 St/Prov: MA Cntry: \_\_\_\_\_  
 Postal: 01906

**NARRATIVE DESCRIPTION**  
 This Parcel contains .05 Acres of land mainly classified as PARKLOT

**OTHER ASSESSMENTS**

Code	Description/No	Amount	Com. Int

**PROPERTY FACTORS**

Item Code	Description	%	Item Code	Description
Z			water	
o			Sewer	
n			Electri	
			Exmpt	
			Topo	
			Street	
			Gas:	

**LAND SECTION (First 7 lines only)**

Use Code	LUC Fact	No of Units	Depth/ Price/Units	Unit Type	Land Type	SITE
337	PARKLOT	2187	19,134 Sq Feet			

**IN PROCESS APPRAISAL SUMMARY**

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
337	0.050	2,800	2,800	69,600	72,400

**Legal Description**  
 [LOT 948] Entered Lot Size: 72,400  
 Total Land: 2'187  
 Land Unit Type: /SF

**PREVIOUS ASSESSMENT**

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes
2022	337	FV	2800	.05	69,600	72,400			Year End Roll 12/30/2021
2022	337	NC	2800	.05	69,600	72,400			Year End Roll 11/9/2021
2021	337	FV	2800	.05	63,500	66,300			Year End Roll 12/15/2020
2021	337	PTCH	2800	.05	63,500	66,300			66,300 patch 8/19/2020
2020	337	FV	2800	.05	63,500	66,300			Year End Roll 12/18/2019
2020	337	NC	2800	.05	63,500	66,300			Year End Roll 10/30/2019
2019	337	FV	2800	.05	54,400	57,200			Year End Roll 12/19/2018
2018	337	fv	2800	.05	44,600	47,400			Year End Roll 12/29/2017

**SALES INFORMATION**

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Ist	Verif	Notes
DERBY REALTY TR	67052-51		1/21/2022	MULTIPLE PAR	1,825,000	No	No	No	
UNKNOWN	8292/62		1/11/1900			No	No	No	

**TAX DISTRICT**  
 TAX DISTRICT: PAT ACCT. 13218

**BUILDING PERMITS**

Date	Number	Descrp	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment

**ACTIVITY INFORMATION**

Date	Result	By	Name
12/8/2017	MEASURED	425	SCOT C
1/22/2007	MEASURED	336	MATT MCGRATH

**Sign:** \_\_\_\_\_

**APPRaisal SUMMARY**

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value	Appraised Value	Alt Class	%	Inf 1	%	Inf 2	%	Inf 3	%	Neigh Influ	Neigh Mod	Adj	Unit Price	Base Value	LT Factor	Land Type	Depth/ Price/Units	Unit Type	Land Type	SITE	
337	0.050	2,800	2,800	69,600	72,400	69,565	0	23	1.38	CG	0	23	1.38	CG	0	23	1.38	CG	0	23	1.38	CG	0	23	1.38	CG

**APPRaisal SUMMARY**

Total	Sol Credit	Total
69,565	69,600	69,600

**Parcel LUC: 1337** | **IPARKLOT** | **Prime NB Desc: COMM GOOD**

**Total SF/SM: 12187** | **Total SF/SM: 12187**

**Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)**



276 SQUIRE RD 28-438F-14  
LUC: 342  
POWERS JR ERNEST F  
POWERS BARBARA J  
276 SQUIRE RD  
REVERE, MA 02151

141 DERBY RD 28-438I-10  
LUC: 101  
KHANDA LLC  
20 MELANIE LN  
ARLINGTON, MA 02474

145 DERBY RD 28-438I-11  
LUC: 101  
ROACH JESSICA M  
145 DERBY RD  
REVERE, MA 02151

147 DERBY RD 28-438I-12A  
LUC: 104  
JIMENEZ NIXON  
296 SQUIRE RD  
REVERE, MA 02151

282 SQUIRE RD 28-438I-14  
LUC: 101  
TRICKETT PAUL  
MINIHAN PATRICIA J  
282 SQUIRE RD  
REVERE, MA 02151

164 ORVIS RD 28-438I-15  
LUC: 101  
GILLIS RICHARD F  
GILLIS JOANNA F  
164 ORVIS RD  
REVERE, MA 02151

160 ORVIS RD 28-438I-16  
LUC: 101  
TRAN KIET  
160 ORVIS RD  
REVERE, MA 02151

154 ORVIS RD 28-438I-17  
LUC: 101  
AVDIC SEFIK  
AVDIC MEVLIDA  
154 ORVIS RD  
REVERE, MA 02151

135 DERBY RD 28-438I-9  
LUC: 101  
MAN VUTHY  
OUK BOTUMKUN  
135 DERBY RD  
Revere, MA 02151

139 SIGOURNEY ST 28-438K-12  
LUC: 104  
DERBY REALTY TRUST  
PEDICINI JERRY TRUSTEE  
10 MILANO DR  
SAUGUS, MA 01906

SIGOURNEY ST 28-438K-13  
LUC: 337  
REVERE DEV LLC  
304 SQUIRE RD  
REVERE, MA 02151

318 SQUIRE RD 28-438K-14  
LUC: 325  
TRIPLE SINGH LLC  
30 EDWARD AVE  
LYNNFIELD, MA 01940

304 SQUIRE RD 28-438K-15  
LUC: 326  
REVERE DEV LLC  
304 SQUIRE RD  
REVERE, MA 02151

DERBY RD 28-438K-16  
LUC: 337  
REVERE DEV LLC  
304 SQUIRE RD  
REVERE, MA 02151

DERBY RD 28-438K-17  
LUC: 337  
REVERE DEV LLC  
304 SQUIRE RD  
REVERE, MA 02151

140 DERBY RD 28-438K-18  
LUC: 104  
DERBY HOUSE REALTY TRUST  
CATALDO GENNARO F TRUSTEE  
35 AUGUSTUS ST  
REVERE, MA 02151

132 DERBY RD 28-438K-19  
LUC: 104  
COLUCCIO FAMILY IRREVOCABLE TR  
COLUCCIO ROCCO TRUSTEE  
6 POWDERKEG WAY  
SAUGUS, MA 01906

133 SIGOURNEY ST 28-438K-9  
LUC: 104  
FAZZOLARI VINCENZO  
FAZZOLARI LINA  
11 ANTONIO DR  
PEABODY, MA 01960

338 SQUIRE RD 28-438M-13A  
LUC: 333  
338 SQUIRE ROAD LLC  
338 SQUIRE RD  
REVERE, MA 02151

SIGOURNEY ST 28-438M-23A  
LUC: 130  
338 SQUIRE ROAD LLC  
338 SQUIRE RD  
REVERE, MA 02151

128 SIGOURNEY ST 28-438M-25  
LUC: 101  
ROTONDO PASQUALE  
ROTONDO ADELINE  
128 SIGOURNEY ST  
REVERE, MA 02151

127 AUGUSTUS ST 28-438M-9A  
LUC: 104  
NGUYEN TU QUANG  
127 AUGUSTUS ST  
REVERE, MA 02151

275 SQUIRE RD 30-435C-4A  
LUC: 324  
SQUIRE CHARGER REALTY, LLC  
275 GROVE ST  
BLDG 2-400  
NEWTON, MA 02466

339 SQUIRE RD 30-435C-6A  
LUC: 323  
NORTHGATE SHOPPING CENTER LTD  
PARTNERSHIP  
POST OFFICE BOX 590249  
NEWTON CENTER, MA 02459

THIS IS A TRUE & ATTESTED  
COPY OF THE RECORDS OF THE  
ASSESSOR'S OFFICE OF THE  
CITY OF REVERE

DATE: 3-29-22

Attachment: PH.304SquireRoadSpecialPermit04252022 (22-128 : Special Permit - 304 Squire Road)

## PUBLIC HEARING

Notice is hereby given, that the Revere City Council will conduct a public hearing on Monday evening, April 25, 2022 at 6:00 PM in the City Councillor Joseph A. DelGrosso City Council Chambers, Revere City Hall, 281 Broadway, Revere, MA 02151 on a petition submitted by National Grid to install new underground electrical service from pole #2024 to the property located at 727 Revere Beach Parkway, Revere, MA 02151

A copy of the aforementioned proposed plan and petition is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:

Ashley E. Melnik  
City Clerk

# nationalgrid

April 11, 2022

City of Revere

To Whom It May Concern:

Enclosed please find a petition of NATIONAL GRID covering the installation of underground facilities.

If you have any questions regarding this permit please contact:

If this petition meets with your approval, please return an executed copy to:

National Grid Contact: Vincent LoGuidice; 1101 Turnpike Street; North Andover, MA 01845  
Phone 978-725-1392.

Very truly yours,

*Robert Coulter*

Name: Distribution Design Supervisor  
Supervisor, Distribution Design

Enclosures

Attachment: PH.NationalGrid727RevereBeachParkway04112022 (22-129 : National Grid - 727 Revere Beach Parkway)

Questions contact – Sterling Ortiz 508-860-6288

Petition of the Massachusetts Electric Company d/b/a National Grid  
Of NORTH ANDOVER, MASSACHUSETTS  
For Electric conduit Location:

To City Council of Revere, Massachusetts

Respectfully represents the Massachusetts Electric Company d/b/a National Grid of North Andover, Massachusetts, that it desires to construct a line of underground electric conduits, including the necessary sustaining and protecting fixtures, under and across the public way or ways hereinafter named.

Wherefore it prays that after due notice and hearing as provided by law, it be granted permission to excavate the public highways and to run and maintain underground electric conduits, together with such sustaining and protecting fixtures as it may find necessary for the transmission of electricity, said underground conduits to be located substantially in accordance with the plan filed herewith marked: Taft St - Revere - Massachusetts.

The following are the streets and highways referred to:  
Plan # 30546415 Taft St - National Grid to install beginning at a point approximately 150 feet east of the centerline of the intersection of Taft St & Mill St. The developer to install 2-4” conduits under the sidewalk, 8’+/- to Pole # 2024 for new electrical underground service.

Location approximately as shown on plan attached

Massachusetts Electric Company d/b/a National Grid  
BY Robert Coulter  
Engineering Department

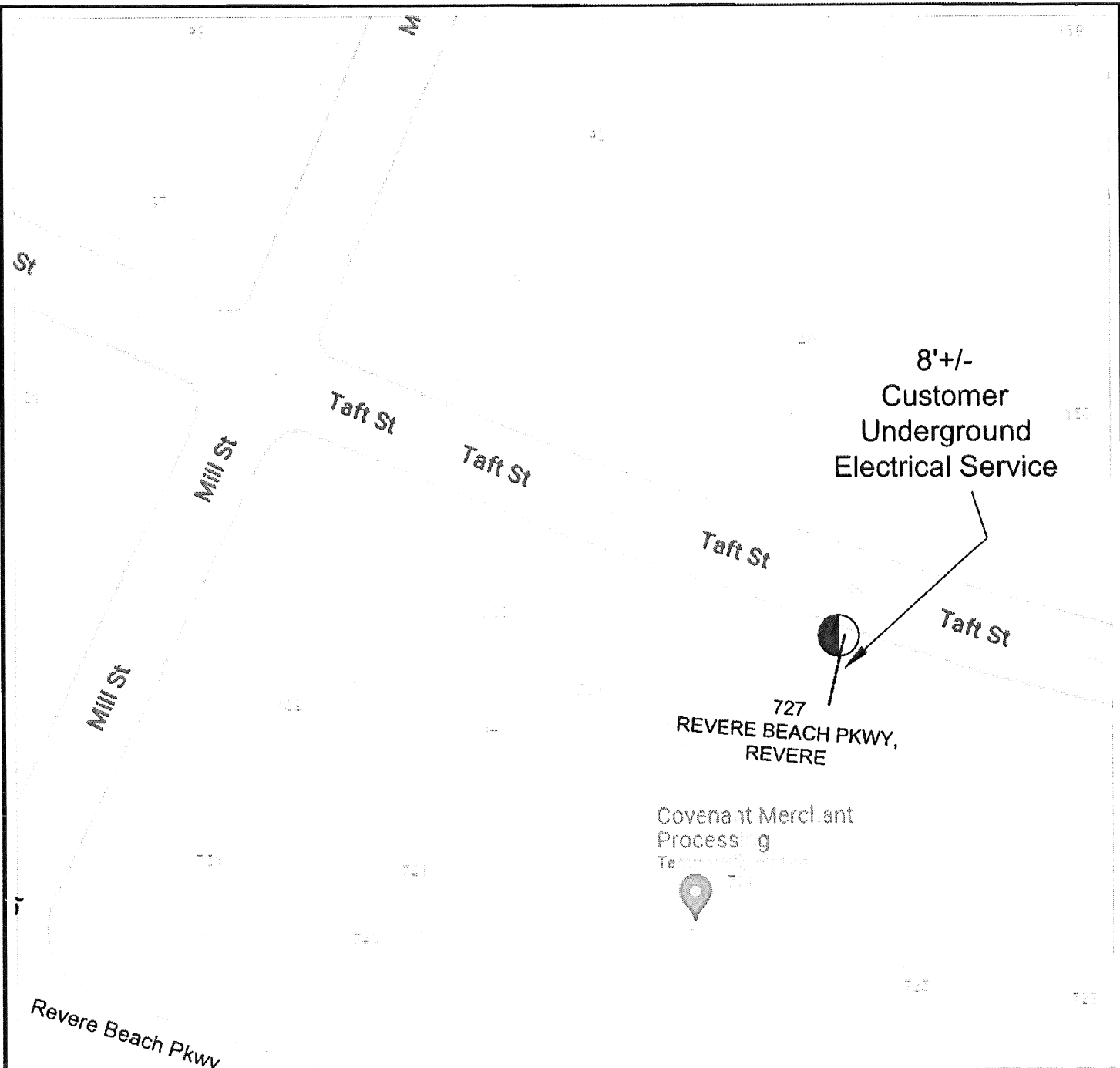
Dated: April 11, 2022



# Abutter's List

## TOWN: Revere

ADDRESS	OWNER	OWNER INFO	PARCEL ID#
140 TAFT ST	TERENZIO FAMILY TRUST	140 TAFT ST, REVERE, MA 02151	15-216A-13
150 TAFT ST	DERRICO JAMES J, DERRICO BRENDA A	150 TAFT ST, REVERE, MA 02151	15-216A-12



**UNDERGROUND PETITION**



EXISTING POLE



PROPOSED CONDUIT 2-4"

**nationalgrid**  
And  
**Verizon New England, Inc.**

DATE: 4 / 08 / 2022

WORK REQUEST: 30546415

ADDRESS: 727 Revere Beach Pkwy, Revere

FOR PROPOSED: 2-4" Conduits

ENGINEER: Sterling Ortiz

**Job description:**

Petitioning to install 2-4" conduits under sidewalk same side of road to pole 2024 for new electric service.

DISTANCES ARE APPROXIMATE

Attachment: PH.NationalGrid727RevereBeachParkway04112022 (22-129 : National Grid - 727 Revere Beach Parkway)

## PUBLIC HEARING

Notice is hereby given, that the Revere City Council will conduct a public hearing on Monday evening, April 25, 2022 at 6:00 PM in the City Councillor Joseph A. DelGrosso City Council Chambers, Revere City Hall, 281 Broadway, Revere, MA 02151 on a petition submitted by National Grid to install new underground electric service to a pump station from existing pole #1847 on Rice Avenue, Revere, MA 02151.

A copy of the aforementioned proposed plan and petition is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:

Ashley E. Melnik  
City Clerk

# nationalgrid

April 15, 2022

City of Revere

To Whom It May Concern:

Enclosed please find a petition of NATIONAL GRID covering the installation of underground facilities.

If you have any questions regarding this permit please contact:

If this petition meets with your approval, please return an executed copy to:

National Grid Contact: Vincent LoGuidice; 1101 Turnpike Street; North Andover, MA 01845  
Phone 978-725-1392.

Very truly yours,

*Robert Coulter*

Name: Distribution Design Supervisor  
Supervisor, Distribution Design

Enclosures

Questions contact – Sterling Ortiz 508-860-6288

Petition of the Massachusetts Electric Company d/b/a National Grid  
OF NORTH ANDOVER, MASSACHUSETTS  
For Electric conduit Location:

To City Council of Revere, Massachusetts

Respectfully represents the Massachusetts Electric Company d/b/a National Grid of North Andover, Massachusetts, that it desires to construct a line of underground electric conduits, including the necessary sustaining and protecting fixtures, under and across the public way or ways hereinafter named.

Wherefore it prays that after due notice and hearing as provided by law, it be granted permission to excavate the public highways and to run and maintain underground electric conduits, together with such sustaining and protecting fixtures as it may find necessary for the transmission of electricity, said underground conduits to be located substantially in accordance with the plan filed herewith marked: Rice Ave - Revere - Massachusetts.

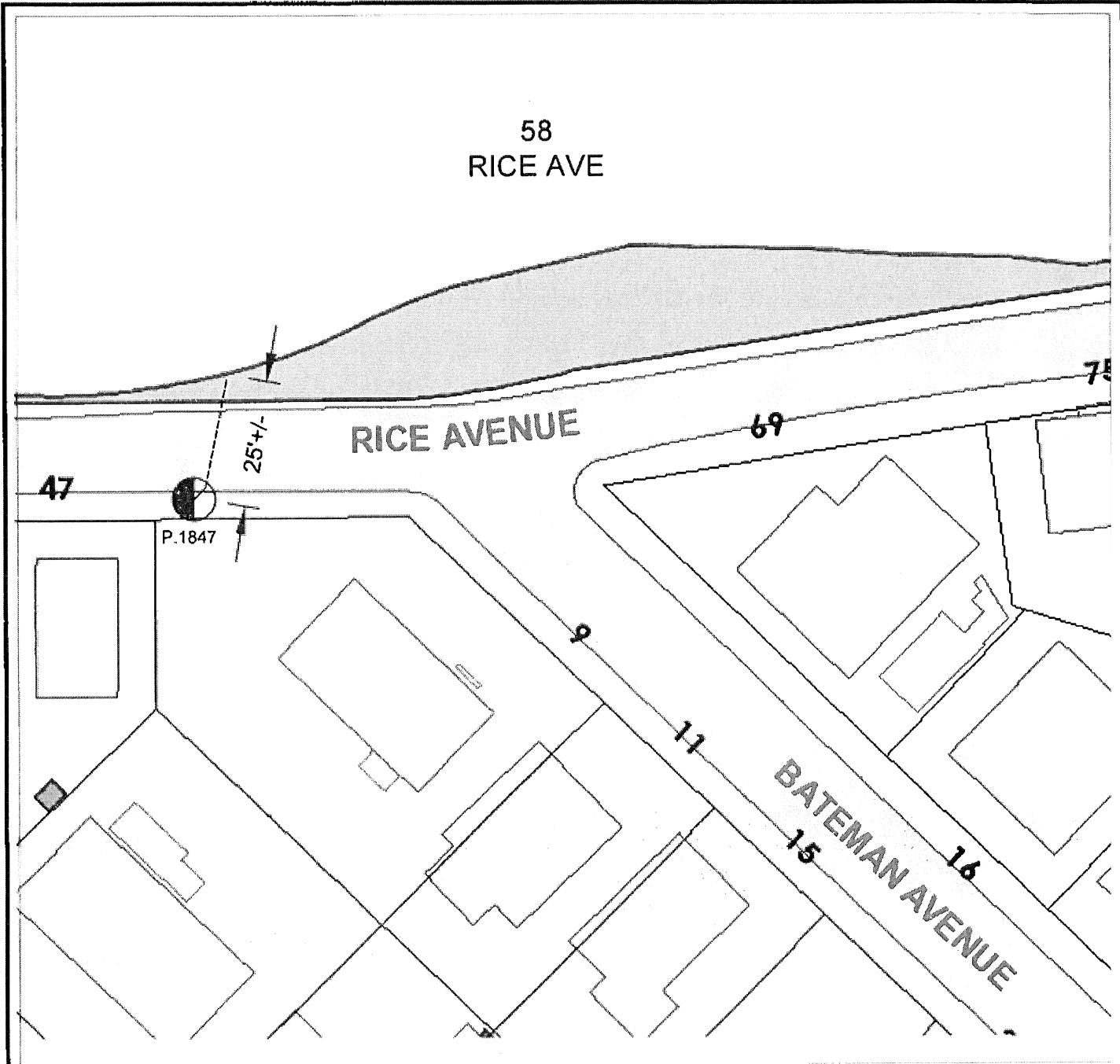
The following are the streets and highways referred to:

Plan # 30379202 Rice Ave - National Grid to install beginning at a point approximately 87 feet west of the centerline of the intersection of Bateman Ave & Rice Ave and continuing approximately 9 feet in a south direction. Petitioning to allow 2-3" underground conduits concrete encased for new electric service to pump station from existing pole 1847. The Conduit length is 25ft +/-.

Location approximately as shown on plan attached

Massachusetts Electric Company d/b/a National Grid  
BY Robert Coulter  
Engineering Department

Dated: April 15, 2022



**UNDERGROUND PETITION**

**LEGEND**



Existing pole 1847



Proposed Underground Service

**nationalgrid**

Date: 4 / 14 / 2022

WORK REQUEST: 30379202

ADDRESS: 58 RICE AVE, REVERE

For Proposed: Underground Electric Service 2-3" conduits

Drawn By: Sterling Ortiz

DISTANCES ARE APPROXIMATE

Attachment: PH.NationalGridRiceAvenue04252022 (22-130 : National Grid - Rice Avenue Pump Station)

### Abutter's List

ParcelID	Address	City	Owner	Owner 2	BillingAddress	City	State	Zip
14-192D-17	47 RICE AVE	REVERE	CATTOGGIO JOSEPH V	CATTOGGIO CHRISTINE A	47 RICE AVE	REVERE	MA	02151
14 192D 19A	9 BATEMAN AVE	REVERE	ROBINSON THERESA M	ROBINSON LISA	9 BATEMAN AVE	REVERE	MA	02151
14 192D 23	RICE AVE	REVERE	POINT OF PINES BEACH ASSOC INC	C/O ANGELA SAWAYA	15 BATEMAN AVE	REVERE	MA	02151

CZ-22-01

**CITY OF REVERE, MA  
PUBLIC HEARING**

Notice is hereby given, in accordance with the provisions of Section 5 of Chapter 40A of the Massachusetts General Laws and Title 17, Chapter 17.56, Sections 17.56.010 – 17.56.080 of the Revised Ordinances of the City of Revere, that (a) the Revere City Council will conduct a public hearing on Monday, February 28, 2022 at 6:00PM in the City Councillor Joseph A. DelGrosso City Council Chamber of Revere City Hall, 281 Broadway, Revere, Massachusetts 02151, and (b) the Revere Planning Board will conduct a public hearing on Tuesday, March 1, 2022 at 5:30PM in the Office of the Planning Board, 3<sup>rd</sup> Floor, Revere City Hall, 281 Broadway, Revere, Massachusetts 02151, relative to the following proposed amendment to the Revised Ordinances of the City of Revere requested by the applicant, Enterprise Rent-A-Car Company of Boston, LLC, 50 Tomahawk Drive, Building #49, East Boston, MA 02128:

**Section 1.** Section 17.16.040(D) Business Uses and Consumer Services, Generally – Table of Uses of the Revised Ordinances of the City of Revere is hereby amended by allowing Automotive/truck rental office and storage use by Special Permit<sup>^^</sup> in the HB District.

**Section 2.** Section 17.16.040 Generally – Table of Uses of the Revised Ordinances of the City of Revere is hereby amended by inserting the following new footnote <sup>^^^</sup>:

1. Allowed vehicles as part of the “Automotive/truck rental office and storage” shall be limited to no more than a GVW 8,000 lb limit.
2. Vehicle capacity shall be limited to up to 50 rental vehicles on site at any one time.
3. There shall be a minimum lot size of 25,000 square feet for any property seeking such a use by Special Permit.
4. No stacking of vehicles will be allowed on site.
5. No repair, maintenance, or body work shall be allowed on site.
6. Applicants must agree to install and provide substantive screening and buffering on site.

A copy of the aforementioned application is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, 281 Broadway, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:  
Ashley E. Melnik  
City Clerk

Attest:  
Louis Ciarlone  
Planning Board, Chairman

Revere Journal  
Check attached: 10583  
January 26, 2022  
February 2, 2022



McDERMOTT  
 QUILTY &  
 MILLER LLP

28 STATE STREET, SUITE 802  
 BOSTON, MA 02109

January 11, 2022

**VIA FEDERAL EXPRESS & ELECTRONIC MAIL (amelnik@revere.org)**

Ashley E. Melnik  
 City Clerk - City of Revere  
 281 Broadway  
 Revere, Massachusetts 02151

FILED  
 2022 JAN 12 AM 11:11  
 OFFICE CITY CLERK  
 REVERE, MASS

**RE: Application for Change of Zoning Ordinance  
 Revised Ordinances of the City of Revere  
 Title 17, Chapter 17.56, Sections 17.56.010 – 17.56-030  
85 Squire Road, Revere, Massachusetts 02151**

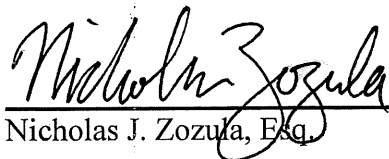
Dear City Clerk Melnik:

As counsel to Enterprise Rent-A-Car Company of Boston, LLC, a Delaware limited liability company (the "Applicant"), and the Applicant for a Change of Zoning Ordinance per MGL40A, § 5 to amend the City of Revere Zoning Ordinance (R.R.O. 17.16.040) to allow an "Automotive/Truck Rental Office and Storage" Use in the Highway Business districts by Special Permit, I am writing to submit the enclosed original re-application to the Revere City Council for a Change of Zoning Ordinance (Form A).

Also enclosed please find a check made payable to the City of Revere in the amount of \$180.00 and a check made payable to the Revere Journal in the amount of \$140.00.

We respectfully request that this matter be placed on the next available Revere City Council public hearing agenda, if possible. Thank you for your time and consideration. Please do not hesitate to contact me with any questions in this regard.

Sincerely,

  
 Nicholas J. Zozula, Esq.

NJZ/rwl  
 enc.

Attachment: CZ2201ZoningAmendmentRentalCarFacilitiesHBDistrict (22-062 : CZ-22-01, Rental Car Facilities in HB Zoning District)

# The City of Revere, Massachusetts



## City Hall

281 Broadway  
Revere, MA 02151  
(781) 286-8160  
(781) 286-8206 FAX

### Ashley E. Melnik

City Clerk

Office of the City Clerk

To: Applicants Seeking a Change of Zoning Ordinances  
or a Change of the Zoning Map from the Revere City Council  
From: Ashley E. Melnik, City Clerk  
RE: Application Procedure

---

The Revere City Council requires all applicants seeking a change of the Zoning Ordinances or a change of the Zoning Map to submit the following documents:

1. An application for a change of the Zoning Ordinances or a change of the Zoning Map from the Revere City Council.
2. An application for an amendment of the Zoning Map shall include a plan indicating the parcels that will be affected by the proposed Zoning Map amendment. N/A NOT NEEDED PER CIVIL CLERK OFFICE
3. The required fees for submission of an application for a change of the Zoning Ordinances or a change of the Zoning Map to the Revere City Council.

Please note that applications for a change of the Zoning Ordinances or a change of the Zoning Map will not be accepted unless the applicant fulfills all of the application requirements of the Revere City Council.

10/28/88  
10/10/02  
7/21/05  
5/24/11  
2/1/17

City of Revere, Massachusetts  
Schedule of Fees  
for Public Hearing  
for Licenses, Permits, Zoning Amendment, Board of Appeals

~~Applicant is required to secure a certified list of abutters and abutters to the abutter as required by Chapter 40A, Section 11 of the Massachusetts General Laws from the City of Revere Board of Assessors and the Board of Assessors of neighboring cities and towns if required, and submit said certified list(s) to the City Clerk's Office with the completed application and separate checks listed below. N/A NOT NEEDED PER CIVIL CLERK OFFICE~~

(The Board of Assessors shall provide a hard copy of the certified list(s) and two (2) sets of mailing labels to facilitate the mailing of first notices and decision notices.)

**1.) City of Revere** \$180.00  
For administrative expenses  
of the City Clerk's Office. (\$180.00)

**2.) Revere Journal** \$140.00  
Legal advertising expenses  
relative to variance public hearing (\$70.00/week)

- 3/18/91
- 3/27/92
- 2/2/94
- 9/7/94
- 12/5/96
- 7/21/05
- 5/24/11
- 2/1/17

N/A - NOT NEEDED PER CITY CLERK OFFICE

**Plot Plan Requirements  
Relative to the Submission of  
Variance Application to the Zoning Board of Appeals  
Special Application to the Revere City Council**

1. Applications to the Zoning Board of Appeals or the Revere City Council must include a plot plan illustrated in black ink on 8½' x 14; mylar suitable for recording in the Suffolk County Registry of Deeds in accordance with Suffolk County Registry of Deeds' standards.
2. The plot plan must illustrate lot or lots for which application is submitted. Multiple lots assembled to form a buildable lot must be illustrated with hash lines between lots to indicate location of multiple lots. Applications for variances for subdivision purposes must include existing lot lines illustrated with hash lines as well as proposed new lot lines illustrated by bold lines. Plot plans submitted for variance for subdivision purposes must include existing as well as proposed lot numbers.
3. The plot plan must illustrate lot dimensions, i.e., lot frontage and lot size. Plan must also illustrate yard dimensions, i.e., front, side and rear yard setbacks.
4. Plot plan must include calculations of percentage of principal building coverage on the lot, usable open space and current and proposed building and/or structure height. (See section 17.24.010 of Revere Zoning Ordinances for reference.)
5. Plot plan must illustrate parking spaces. (See Section 17.28.020 of Revere Zoning Ordinances for requirements.)
6. Plot plan must indicate current zoning designation of lot as well as street address of lot.
7. Plan must illustrate all existing structure, stairs, decks, chimney foundations, swimming pools, sheds, patios, etc.
8. Plan must illustrate the exact distance of structures on direct abutting properties in proximity to the applicant's property.
9. Plan must indicate the names of direct abutters illustrated on their adjoining properties.
10. Plan must illustrate the amount of new increased square footage being requested by this application.
11. Plan must illustrate the proposed number of stories and height of the proposed structure.

10/28/88  
 12/1/89        amended  
 2/2/94        amended  
 3/27/05        amended

Attachment: CZ2201ZoningAmendmentRentalCarFacilitiesHBDistrict (22-062 : CZ-22-01, Rental Car Facilities in HB Zoning District)

FORM A

APPLICATION NO. \_\_\_\_\_

DATE: \_\_\_\_\_

**City of Revere, Massachusetts  
Revere City Council  
Application For  
Change of Zoning Ordinance  
or Zoning Map**

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the Revere City Council for the following:

- A. Application for change of zoning (Revised Ordinances of the City of Revere, Title 17, Chapter 17.56, Sections 17.56.010 – 17.56-030).
- B. Application for change of zoning map (Revised Ordinances of the City of Revere, Title 17, Chapter 17.12, Sections 17.12.010 – 17.12.030).

1. Applicant submitting this application is:

Name: Enterprise Rent-A-Car Company of Boston, LLC

Address: 50 Tomahawk Drive Bldg #49 East Boston, MA 02128

Tel. #: 781-389-2539

2. Applicant is: \_\_\_\_\_ City Council  
 Individual Owning Land Affected by Change  
 \_\_\_\_\_ Request by Registered Voters  
 \_\_\_\_\_ Planning Board  
 \_\_\_\_\_ Regional Planning Agency

Attachment: CZ2201 Zoning Amendment Rental Car Facilities HBDistrict (22-062 : CZ-22-01, Rental Car Facilities in HB Zoning District)



10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

The address is 85 Squire Road (Route 60). The current use is a Verizon Retail Store. The property contains 0.692 acres of land with an existing free standing building containing approximately 3,395 square feet and built in 1974.

11. What is the nature of the change of zoning ordinance or change of zoning map requested in this application?

The proposed use is an Enterprise Rental Car location. The property is located within the HB district as a Highway Business district (HB), highway commercial and regional business. Under 17.16.040.D, in the HB District the proposed "Automotive/truck rental office and storage" for an Enterprise Rental Car location is NOT permitted.

The proposed change to the zoning ordinance offered by the Applicant and Property Owner, per MGL 40A, § 5, is to amend the zoning ordinance (R.R.O. 17.16.040) to allow the use in the HB district by special permit (the use is currently allowed by special permit in the TED and PDD1 districts only).

The request is to allow the use in the HB district by special permit with the following conditions and restrictions:

1. Allowed vehicles as part of the "Automotive/truck rental office and storage" shall be limited to no more than a GVW 8,000 lb limit.
2. Vehicle capacity shall be limited to up to 50 rental vehicles on site at any one time.
3. There shall be a minimum lot size of 25,000 square feet for any property seeking such a use by Special Permit.
4. No stacking of vehicles will be allowed on site.
5. No repair maintenance or body work shall be allowed on site.
6. Applicants must agree to install and provide substantive screening and buffering on site.

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

J. [Signature]  
Signature of Applicant

1/10/2022  
Date

M.P. [Signature]  
Signature of Owner

1/10/2022  
Date

Nicholas Zozula, Esq.  
Signature of Designated Representative

1/10/22  
Date

Received from above applicant, the sum of \$ 320 to apply against administrative and mailing costs.

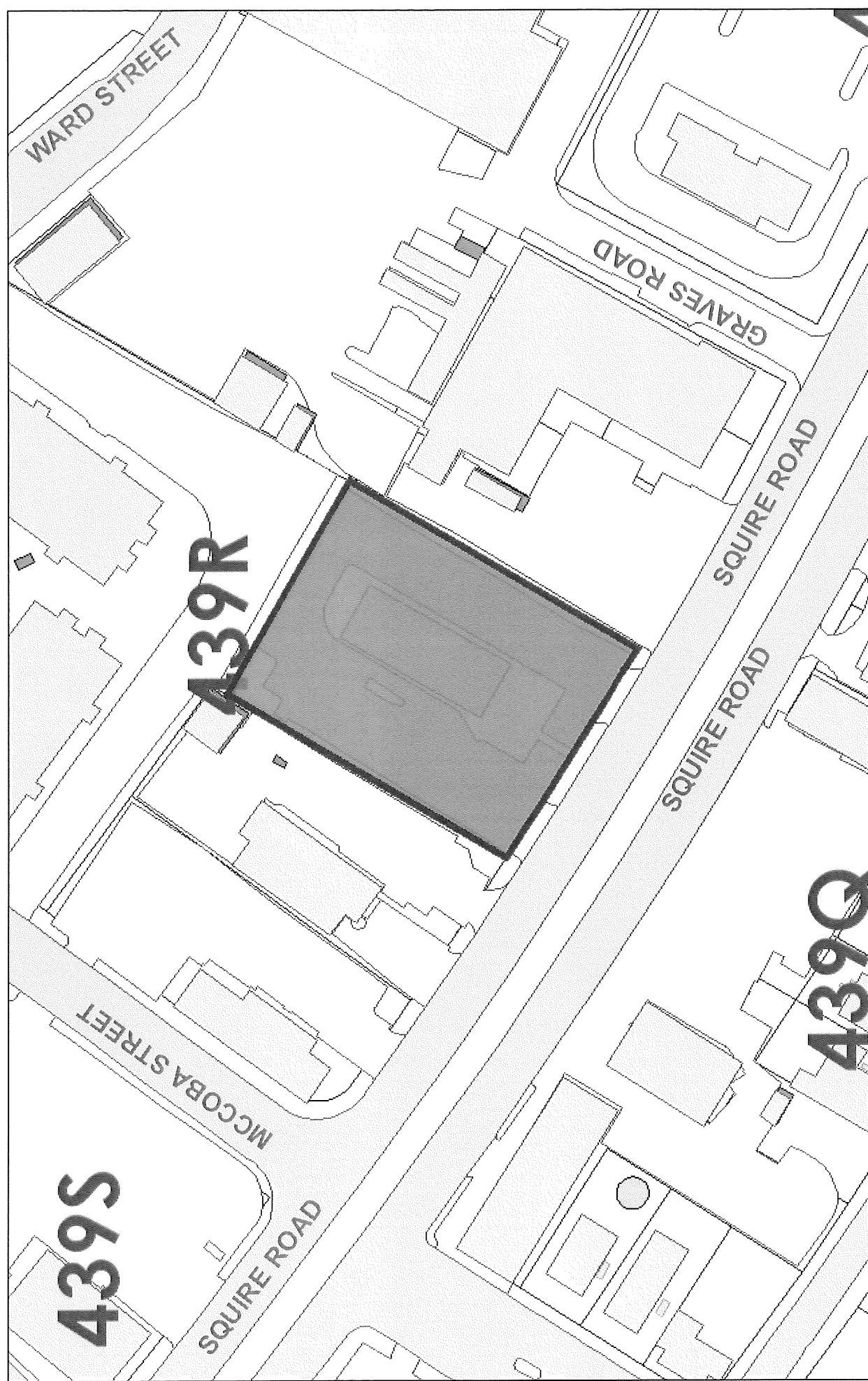
\_\_\_\_\_

Date Submitted to the Revere Planning Board:

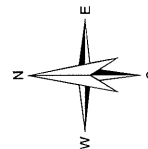
January 11, 2022

Attachment: CZ2201 Zoning Amendment Rental Car Facilities HBDistrict (22-062 : CZ-22-01, Rental Car Facilities in HB Zoning District)





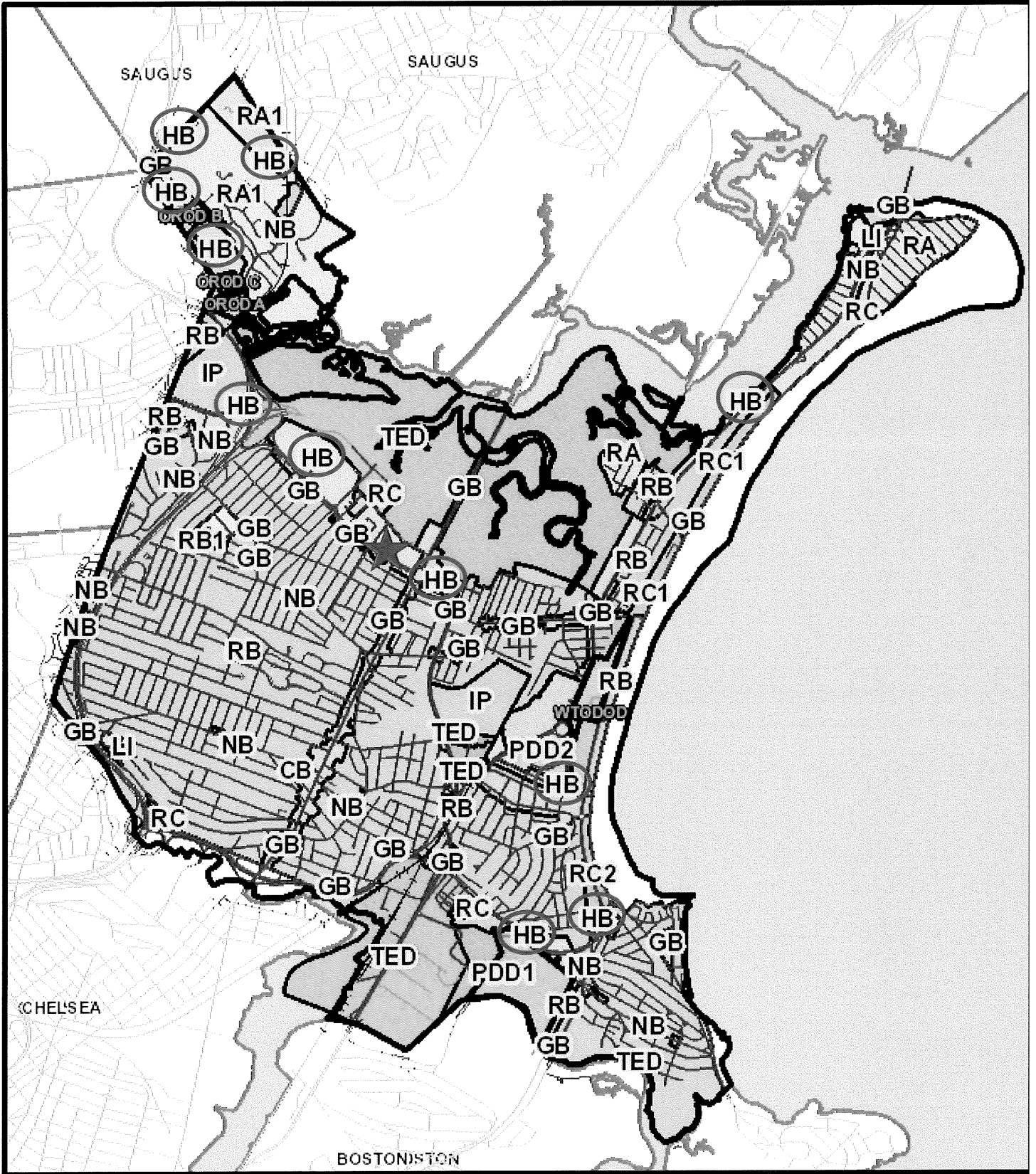
85 Squire Road



Information presented is provided "as is." The City of Revere, MA disclaims all representations or warranties regarding GIS information. GIS data is representative data only. In no event will the City of Revere be responsible for damages of any nature whatsoever resulting from use or reliance upon GIS information.

Attachment: CZ2201 Zoning Amendment Rental Car Facilities HB District (22-062 : CZ-22-01, Rental Car Facilities in HB Zoning District)

### City of Revere Zoning Map – Highway Business Districts



Attachment: CZ2201 Zoning Amendment Rental Car Facilities HB District (22-062 : CZ-22-01, Rental Car Facilities in HB Zoning District)



BRIAN M. ARRIGO  
Mayor

# The City of REVERE, MASSACHUSETTS

## Director of Economic Development

281 Broadway, Revere, MA 02151

(781) 286-8201

www.revere.org

TO: Honorable City Council  
 FROM: Louis Ciarlone, Planning Board Chair *(Signature)*  
 RE: Zoning Amendment for Automotive/Truck Rental Office and Storage  
 DATE: March 2, 2022

Please be advised that pursuant to Section 17.56.010, subsequent to a public hearing held by the Planning Board on March 1, 2022, it was voted at a regular meeting of the Board held on March 1, 2022, to favorably recommend the zoning ordinance amendment to allow "automotive/truck rental office and storage" by special permit within the Highway Business (HB) District with the following special permit criteria:

1. Allowed vehicles as part of the "Automotive/truck rental office and storage" shall be limited to no more than a GVW 8,000 lb. limit.
2. Vehicle capacity shall be limited to up to 50 rental vehicles on site at any one time.
3. There shall be a minimum lot size of 25,000 s.f. for any property seeking such a use by special permit.
4. No stacking of vehicles shall be allowed on site.
5. No repair, maintenance, or body work shall be allowed on site.
6. Applicants must agree to install and provide substantive screening and buffering on site.



## CITY OF REVERE

Brian M. Arrigo  
Mayor

March 10, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Stephen F. Reardon to the Election Commission. Steve is an attorney and small business owner with decades of experience serving the City of Revere. Steve served three terms on the Revere City Council and has been an active member of various community boards and organizations. His commitment to the city as well as his legal acumen will serve him well as an Election Commissioner.

Steve will assume a vacant seat with a term expiring April 2025. Please also note that MGL Ch. 51 s. 16A and the current composition of the Revere Election Commission require the vacant seat to be filled by an enrolled member of the Democratic Party, which Steve has proudly been for several years.

Regards,



Brian M. Arrigo  
Mayor

**Stephen F. Reardon**  
**347 Vane Street**  
**Revere, Massachusetts 02151**  
**Home (781) 289-2846 Business (781) 284-4900**

**Personal:** Born: April 15,1952

Mother: Eleanor Kingston Reardon (deceased) Father: Patrick J. Reardon (deceased)  
 Spouse: Daralyn Francione Reardon  
 Child: Ellen Marie Reardon

**Education:** New England School of Law, Boston, Massachusetts, Juris Doctor, 1995. New England Scholar Award for Academic Achievement, 1994-1995 academic year.

University of Massachusetts, Amherst  
 Bachelor of Arts - Political Science, Cum Laude, 1974.

Boston College High School.

**Experience:**

1 /03 -present

President, Law Office of Stephen F. Reardon, P. C; Law firm representing clients regarding various legal matters including real estate, personal injury, worker's compensation, corporate law, probate law criminal law and other areas. Member, District Court Panel, Essex County Bar Advocates.

7/97-12/02

Associate, The Law Office of Philip R. Boncore, P.C.; handling various legal matters for firm clients and concentrating in real estate, personal injury, worker's compensation, corporate law, probate law and other areas.

6/74 - 7/97

Elma Corporation, D.B.A. Reardon's Restaurant, 195 Broadway, Revere, Massachusetts 02151; President and General Manager (6/74-12/95).

As Chief Executive Officer of the family owned business, I oversaw all business activities including the following: Institution of operating directives and policies; hiring, training, and evaluation of personnel; purchase of supplies, equipment, and salable goods; bookkeeping and accounting; benefits administration; payroll.

8/88-1997

T.I.P.S. Certified Training Instructor (Cert. #4323). Alcohol awareness and education program for servers in the beverage industry. Certified to train management and employees in proper and effective techniques to prevent over consumption of alcohol and related deleterious effects.

### **Stephen F. Reardon**

**Community:**

2010-2016

Ward 4 City Councillor, City of Revere; Chairman, Zoning Subcommittee, member, James J. Hill School Building Committee.

1977-present

Member, Knights of Columbus, Council 179/16550 Counsel Advocate

1996 - 2005

Advisory board member, Revere Society for Cultural and Historic Preservation.

1990-1994

Revere Santa Fund, Board member and Treasurer. Charitable organization devoted to raising funds to provide toys and gifts to needy Revere children at Christmas. Annual budget: \$15,000 to \$20,000.

1990-2009

Revere Department of Community Development Citizens Advisory Committee, member and chairperson. Organization charged with the conduct of public hearing seeking citizen input on various public works projects and approval of those projects.

1986-1993

Board of Directors, Revere Chamber of Commerce.

1990-1992

President, Revere Chamber of Commerce. Duties included: Administration of an annual budget of over \$100,000; institution of various fundraising activities; presiding over monthly Directors meeting; supervision of executive staff (salaried Executive Director and volunteer assistants); coordination of Chamber interaction with external political organizations and other community organizations.

Accomplishments: Institution of a health insurance program and reciprocal discount program; supervised the acquisition and renovation of Chamber office space, and relocation to the downtown area; established a membership program which increased Chamber membership by twenty percent.

1977-1985

Member, Rotary Club of Revere; attained the offices of Sergeant-at-Arms and Treasurer.

**References:**

Available upon request.



## CITY OF REVERE

Brian M. Arrigo  
Mayor

March 10, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Deborah Frank to the Affordable Housing Trust Fund Board of Trustees. Deb is currently a Vice President at Metro Credit Union, and she offers a wealth of experience in the finance and lending industries. She is committed to finding solutions to the lack of affordable housing that Revere and the region as a whole are facing, and has introduced innovative initiatives at MCU to tackle the problem head-on. Her profound experience will serve Revere well as she serves on the Board of Trustees.

Deb will inaugurate a seat on the fund dedicated by ordinance to an individual with financial and lending experience. Her term shall expire in March 2025.

Regards,

Brian M. Arrigo  
Mayor

# DEBORAH (DEB) FRANK

781.727.5299 | dfrank@metrocu.org | NMLS# 92247

## OBJECTIVE

Exploring career opportunities utilizing my experience in Sales Management, Business & Relationship Development and Customer Relations in a mid-senior management role.

## QUALIFICATIONS

- Over 20 years of successful lending/mortgage originations sales management experience; last 5 years in a Dept. Head capacity.
- Successful track record of dramatically increasing funded loan volume by introducing new vendors and successful new loan products, including Agency and Portfolio.
- Successful track record recruiting, training, coaching & effectively managing a team of high producing MLOs.
- Active with various local real estate boards, assuming committee leadership positions.
- Instructor for homebuying, reverse and investor seminars offered through various local town housing agencies.
- Service-oriented with the ability to demonstrate initiative to meet critical needs, while maintaining professionalism in difficult circumstances.
- Maintain current industry knowledge of mortgage laws, regulations and underwriting standards including documentation requirements.

## PROFESSIONAL EXPERIENCE

### Metro Credit Union – Chelsea, MA

#### VP, Mortgage Originations & Business Development – 5/2015 to present

- Recruit, train, coach and effectively manage a strong sales team that includes 6 inside loan specialists, 12 outside MLOs and 6 sales support staff.
- Organize and lead sales meetings, team building events and staff training.
- HR functions, including: commission reports, establishment & management of goals, yearly performance reviews, performance improvement plans, advise/assist in implementation of salary and/or incentive plans.
- Increased efficiency, profitability & Member communication for the Credit Union by implementing the use of a mortgage-specific CRM. Loan fundings due to focused customer outreach estimated at \$250M over 30 months.
- Develop, implement and maintain Mortgage Originations and Business Development Procedures.
- Structure, document and present unique loan transactions for approval of credit committee, including complex transactions for high net-worth clients.
- Improve the mortgage lending visibility of the Credit Union by leveraging professional networks & relationships with internal and external sources, including the Credit Union's select employee groups, realtors, builders, attorneys, CPAs, business owners and other professional and personal contacts.



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## INDUSTRY PROFESSIONAL EXPERIENCE

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**Santander Bank – Milton, MA**  
**Retail Mortgage Sales Manager – 3/2011 to 5/2015**

**Home Savings of America**  
**Branch Manager/Community Banker – 1/2010 to 3/2011**

**Virgin Money – Waltham, MA**  
**Sr. Mortgage Specialist – 8/2008 – 12/2009**

**Argent Mortgage – Westchester, NY**  
**Regional Sales Manager (MA) – 3/2002 to 5/2008**

**GMAC Mortgage – Bel Air, MD**  
**Retail Mortgage Sales Manager – 6/1994 to 3/2002**

**Martin Marietta Corporation – Baltimore, MD**  
**Contract Administrator/Proposal Manager – 6/1982 to 9/1993**

- Managed the outcome of government and sub-contractor contracts, ensuring that all parties perform in accordance with the terms and conditions of all contractual agreements
- Coordinate the proposal process, including reviewing RFPs, as well as preparing and presenting to government clients.

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## EDUCATION

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University of MD Baltimore – B.S., IFSM – 1987

Loyola University of Maryland – M.S., IFSM - 1993

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## PROFESSIONAL ASSOCIATIONS, AWARDS & ACCOMPLISHMENTS

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- GBAR Affiliate Committee Chairperson 2017 & 2018.
- GBAR Affiliate of the Year – 2018
- GBAR DEI Committee – 2021 to present
- NSAR RPAC Committee Co-Chairperson --- 2018
- MMBA NEMBC Speaker, 2016 & 2017
- MMBA Credit & Compliance Committee, 2016 - present
- MMBA Served on various committees 2015 – present
- MAR Charitable Grants Committee 2016 – present
- SSRA – Charitable Giving Taskforce, 2020 - present



## CITY OF REVERE

Brian M. Arrigo  
Mayor

March 24, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Molly M. McGee to the Human Rights Commission. Molly is an attorney and small business owner, and offers a wealth of experience in immigration and criminal law. She is committed to assisting local immigrants navigate the federal immigration system, and is passionate about promoting justice for all Revere residents. Her experience and dedication will serve Revere well on the Human Rights Commission.

Molly will fill a seat left vacant by the resignation of Jalon Fowler. Her term shall expire in October 2024.

Regards,



Brian M. Arrigo  
Mayor

## MOLLY M. McGEE

▪ Revere, MA 02151 ▪ (617) 529.9191 ▪ molly@mollymcgeelaw.com

Overview: With a passion for personalized legal representation, I opened my own law firm in Revere in 2021 after more than 7 years working in the legal specialty of immigration and criminal law in Massachusetts. I have dedicated my practice to representing thousands of individuals from all over the world including throughout the United States and Massachusetts.

### PROFESSIONAL EXPERIENCE

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**Law Office of Molly McGee, LLC**  
199 Revere St. Revere, MA 02151

*Managing Attorney*

January 2021-Present

Immigration Law:

- ❖ Provide legal advice and litigate on behalf of clients in deportation cases seeking wide ranges of relief.
- ❖ Represent clients before local District USCIS offices in connection with adjustment of status and naturalization applications.
- ❖ Provide legal advice to clients on criminal issues related to naturalization.
- ❖ Represent clients in removal proceedings in Immigration Court, and at USCIS for marriage, naturalization and humanitarian interviews.
- ❖ Prepare applications, motions, and requests that are turned into the Executive Office for Immigration Review and USCIS.
- ❖ Represent clients at all court appearances and interviews before United States Citizenship and Immigration Services (USCIS).
- ❖ Counseled and represented clients before USCIS, the Bureau of Immigration Appeals and EOIR Immigration Courts throughout the country.

Criminal Law: Massachusetts State and Superior Courts litigation, jury trials, bench trials.

**Law Offices of Rachel L. Rado, Boston Massachusetts**  
Immigration, Criminal and Family Law

*Associate Attorney*

October 2016-December 2020

*Paralegal*

December 2013-October 2016

### EDUCATION

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**New England Law | Boston**  
*Juris Doctorate*

Boston, MA  
May 2016

**Simmons College**  
*Bachelors of Arts in Political Science, Pre-Law, cum laude*  
*Minors in Spanish, International Relations, and Economics*

Boston, MA  
May 2013

### MEMBERSHIPS AND PROFESSIONAL ORGANIZATIO

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American Immigration Lawyers Association (AILA), Massachusetts Bar Association and American Bar Association



## CITY OF REVERE

Brian M. Arrigo  
Mayor

April 6, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Soumia Aitelhaj to the Cultural Council. Soumia is a distinguished government professional who currently works for Senator Harriet Chandler and serves on statewide boards and commissions. Soumia's mission is to expand representation of all cultures, with particular focus on her own background as an Amazigh woman. With her wealth of experience, Soumia will be a tremendous boon to the Cultural Council, and I look forward to seeing her contributions to our community.

Soumia will fill a position that is currently vacant.

Regards,

Brian M. Arrigo  
Mayor

# S O U M I A A I T E L H A J

(781)244-8170 • SOUMIA\_AITELHAJ@MAIL.HARVARD.EDU

## EDUCATION

### **Harvard University**, Cambridge, MA

Master of Theological Studies (Concentration: Religion, Ethics, and Politics)

May 2015

### **The Fletcher School, Tufts University**, Medford, MA

Master of Arts in Law and Diplomacy (Concentration: Political Economy of Development and Human Rights)

May 2015

*Thesis: The Amazigh Question and Fragile Democracies*

*Leadership: African club (Co-President)*

*Publication: WPF Conference on Libya*

<http://sites.tufts.edu/reinventingpeace/2012/11/26/libya-today-glass-half-full/>

### **Boston College**, Chestnut Hill, MA

Bachelor of Arts Degree with a dual major in English and Theater

May 2010

*Honors: Fulbright Alternate, AHANA Honor Roll, Janey Scholar, McNair Scholar; Recipient of Film Grant*

*Leadership: Interfaith Dialogue, Christian Life Community, Muslim Student Association: Publicity Manager*

*International Experience: Research and field work in Senegal, Israel, Tunisia, and Morocco*

## SELECTED PROFESSIONAL EXPERIENCES

### **MA Commission on the Status of Women**, Boston, MA

*Regional Commissioner*

June 2020-Present

- Attend regional meetings, outreach, and engagement with underserved communities in the Greater Boston area

### **New Leaders Council**, Boston, MA

*2019 Fellow and Boston Institute Co-Chair*

January 2019-Present

- Develop content for institute classes, facilitate classes and outreach to organizations and speakers
- Implement diversity, equity, and inclusion by bringing lesser heard voices such as indigenous voices into class programs

### **Commonwealth of MA**, Boston, MA

*Director of Scheduling and Executive Assistant to the Senate President*

June 2018-Present

*Staff Affinity Group Leadership*

- Manage the Senate President's calendar and daily schedule of meetings and public events
- Provide assistance including organizing travel and hotels, monitoring incoming emails and invitations
- Serve as Co-Chair for the *Women's Affinity Group* and Communications Director for the *People of Color Affinity Group*

### **Mediation Works Incorporated Firm**, Boston, MA

*Mediator*

January 2015-February 2018

- Worked with immigrant parties at small claims courts in the Greater Boston area
- Served as a mediator by facilitating effective communication between parties

### **UN Women, Communications**, NYC, NY

*Communications and Advocacy Intern*

January 2016-July 2016

- Monitored gender news and UN Women news on a daily basis, produced weekly news reports
- Conducted research on outlets and journalists, and organized contacts in Vocus database
- Translated news clippings from field offices into data, identified Arabic articles, and helped to prepare for IWD and CSW

### **Harvard Journal of Middle Eastern Politics and Policy**, Cambridge, MA

*Associate Editor, Interview Coordinator & Cultural Content Manager*

October 2014-May 2015

- Edited submissions along with the team and provided feedback on articles
- Organized interviews with prominent experts on policy issues; oversaw the cultural content section of the journal

**The Fletcher School, GMAP Program, Medford, MA***Marketing Assistant*

October 2014-February 2015

- Conducted marketing research to help with GMAP's global performance, organized marketing results using Excel
- Developed website content, wrote about past and future international alumni events; assisted staff with administrative work

**Amazigh Cultural Association in America, Bedminster, NJ***Assistant Editor*

June 2011-December 2013

- Provided content and assisted in producing the publication of *Amazigh Voice*, a magazine about indigenous North Africans

**Tunisian Reform Association, Tunis, Tunisia***Researcher*

July 2013-August 2013

- Updated an English audience on the protests, translated website and news from Arabic to English
- Wrote an extensive 60 page research paper on the role of international aid during Tunisia's transition

**Harvard Divinity School Women's Studies in Religion Program, Cambridge, MA***Research and Office Intern*

September 2011-May 2012

- Gathered research for visiting scholars' book projects including conducting research on women's rights
- Assisted team in organizing and marketing a series of events, including the Sultan of Sokoto's visit to Harvard University

**Senator John Kerry's Office, Boston, MA***Veterans and Administrative Intern*

September 2010-June 2011

- Advised constituents on a case by case by answering phone calls and referring them to various resources

**American Islamic Congress, Boston, MA***Civil Rights Associate*

September 2010-January 2011

- Conducted background research on women's rights in the Muslim world which was used for articles
- Presented at panels to promote cultural diversity in the Muslim World
- Assisted in organizing events such as Mimouna to bring together immigrant communities in the Greater Boston area

**ADDITIONAL PROFESSIONAL EXPERIENCE****Amazigh Poetry Project (APP), Chestnut Hill, MA; Morocco***Co-Founder and Coordinator*

September 2009 - Present

- Researching and applying to grants, writing budgets and proposals, and fundraising to fund the documentary poetry project
- Secured funding and traveled to Morocco to interview scholars and artists and record poetry
- Outreaching to organizations to collaborate on the project

**Amazigh Cultural Association in Boston and Diaspora, Somerville, MA***Community Organizer*

February 2008 – December 2015

- Advocated on behalf of detained human rights activists in North Africa including in Algeria Mzab region; translated letters from Tamazight to English, which were circulated to international organizations
- Served as Amazigh-American representative during the U.S. Census Bureau's 2015 Conference
- Organized cultural events, including Amazigh New Year events; coordinated outreach activities

**Cultural Survival, Cambridge, MA***Research and Publication Intern*

February 2009-April 2009

- Attended the Eighth Session of the United Nations Permanent Forum on Indigenous Issues (UNPFII)
- Researched and provided content for the newsletter

**SKILLS****Languages:** Fluent in Tamazight, English, and Arabic; Intermediate French; Beginning Spanish**Other:** *Communicating In and Through Conflict* training and Negotiation Training (HDS), Fletcher Mediation Training



## CITY OF REVERE

Brian M. Arrigo  
Mayor

April 6, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Chloe Marie Therese Gladu to the Cultural Council. Chloe is a Special Education teacher eager to contribute to a community that she now calls home. Chloe seeks to expand the reach of the Cultural Council, and I look forward to her contributions to our city.

Chloe will fill a position that is currently vacant.

Regards,

Brian M. Arrigo  
Mayor

# Chloe Marie Therese Gladu

122 Broadway  
Revere, MA 02151

cgladu024@gmail.com  
978-332-4815

## OBJECTIVE:

I am seeking to gain life and professional experiences to prepare myself for a teaching position in Special Education.

## EDUCATION:

North Reading High School 2013-2017  
North Reading, MA

Fitchburg State University 2017-2021  
Fitchburg, MA

## ACADEMIC ACHEIVEMENTS:

Fitchburg State University Dean's List Fall 2017-Spring 2021  
Kappa Delta Pi – Honor Society in Education 2018- Spring 2021  
MASCAC All-Academic Team – Field Hockey 2017- 2020  
LEC All-Academic Team – Field Hockey 2020  
MASCAC All-Academic Team – Lacrosse Spring 2018

## COMMUNITY ACTIVITIES:

### Sports:

Fitchburg State University Lacrosse 2018  
Fitchburg State University Field Hockey 2017-2020  
Rookie of the Year – 2017  
North Reading High Varsity Lacrosse 2013-2017  
North Reading High Junior Varsity Cheerleading-Winter 2015  
North Reading High Varsity Field Hockey 2013-2016

### Community Service:

Thurgood Marshall Middle School Pride Club September 2021- Present  
Guilmette Middle School After School ESL Program January 2021- May 2021  
Fitchburg State Habitat for Humanity Club 2019- May 2021  
Habitat for Humanity of Southwest Alabama March 2020  
Fitchburg State University Day of Giving Phone-A-Thon October 2017-2019  
Central Massachusetts Special Olympics 2019  
Batchelder School 1<sup>st</sup> Grade Aide September 2016-June 2017  
Burbank YMCA Swim Assistant-Special Needs July 2015  
North Reading Girl Scouts September 2004 – 2015

### Externship:

Guilmette Middle School – Lawrence, MA. January 2021- May 2021  
Lunenburg Primary School – Lunenburg, MA September 2019- December 2019  
McKay Academy – Fitchburg, MA September 2017 -May 2019

## VOLUNTEER EXPERIENCE

- Guilmette Middle School After School ESL Program January 2020- May 2021
- Batchelder School 1<sup>st</sup> Grade Aide September 2016-June 2017
- Burbank YMCA Volunteer July 2014-2015
- Camp Wakanda C.I.T program July 2014
- Burbank YMCA Instructor Aide July-August 2015



**EMPLOYMENT EXPERIENCE:**

- Lynn Public Schools- Special Education Teacher September 2021- Present
- Lawrence Public Schools- Special Education Teacher June 2021- July 2021
- Lawrence Public Schools- Building Based Educator May 2021- June 2021
- Family Perspectives Inc.- ABA Therapist. October 2019- Present
- Starbucks Barista October 2018-October 2019
- YMCA Camp Quannapowitt Counselor Summer 2017-Summer 2019
- Market Basket-Cashier July 2016-January 2018
- Burbank YMCA-Lifeguard August 2015-July 2017
- Burbank YMCA-Swim/Adaptive Instructor October 2015-July 2017



## CITY OF REVERE

Brian M. Arrigo  
Mayor

April 6, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Samantha Harrington to the Cultural Council. Samantha is a finance professional with experience working in the office of Senator Elizabeth Warren. After graduating from Revere High School and Centre College with distinction, she seeks to serve her community and promote young voices. I look forward to her contributions on the Cultural Council.

Samantha will fill a position that is currently vacant.

Regards,

Brian M. Arrigo  
Mayor

## Samantha Harrington

Permanent: 7 Sears Street, Revere, MA 02151  
samantha.harrington@fmr.com; 781-558-0117

**EDUCATION** Centre College, Danville, KY  
Bachelor of Arts Diploma awarded 2021, Cum Laude; GPA: 3.6

**Revere High School**, Revere, MA  
High School Diploma awarded 2017; GPA: 3.9

### HONORS

Posse Foundation Full-Tuition Leadership Scholarship (2017-2021), Centre College Dean's List (2018-2021)

### EXPERIENCE

**Fixed Income Research Associate**, Fidelity Investments, Merrimack, NH July 2021-Present

- Analyze credit quality of bond issuers within assigned coverage: North American Insurance and GSEs
- Build financial models, develop credit opinions, and publish research reports
- Assist assigned analysts in their research endeavors and data maintenance tasks

**Fixed Income Research Associate Intern**, Fidelity Investments, Boston, MA June 2020-August 2020

- Developed skills in fundamental company research, financial modeling, and valuation
- Conducted research for Corporate Bond and Municipal Bond teams
- Gained exposure to FI asset classes including money market, corporate bond, structured, muni, and macro

**Diverse Investors Student Experience**, Fidelity Investments, Boston, MA June 2019-August 2019

- Researched, modeled, and pitched stock recommendations to portfolio managers
- Immersed in asset management department and multi-class asset investing
- Presented capstone project to company executives
- Trained in financial modeling in Microsoft Excel

**Resident Assistant**, Centre College, Danville, KY August 2018-May 2021

- Developed hall programs to promote diversity celebration, wellness, and environmental sustainability
- Collaborated with Residence Life staff to ensure the wellbeing of all Centre students
- Enforced college policies and procedures; act as first-responder in emergencies

**Intern**, Office of Senator Elizabeth Warren, Boston, MA June 2018-August 2018

- Assisted the Legislative Staff using Voice program to log constituent correspondence
- Researched the South Shore region focusing on flooding, plane noise, and infrastructure
- Developed spreadsheets to organize and record past contacts, events, and meetings
- Volunteered to facilitate campaign events

**Site Director**, Let's Get Ready, Revere, MA May 2018-August 2018

- Managed Salesforce program data entry, communications, and budget
- Fostered strong relationships between students and coaches to ensure a meaningful program
- Developed incentive plans to reach attendance and academic goals
- Planned and executed events such as college informational sessions, class sessions, and end-of-program event

**ACTIVITIES:** Investment Society Member, Kappa Kappa Gamma Sorority Member, Diversity Student Union Member



## CITY OF REVERE

Brian M. Arrigo  
Mayor

April 6, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Lani Stevens to the Cultural Council. Lani is a teacher at Revere High School and offers a wealth of diverse professional experiences. After graduating from the University of New Hampshire, she returned to her hometown and is positioned to be a dynamic young leader in our community. I look forward to her contributions on the Cultural Council.

Lani will fill a position that is currently vacant.

Regards,

Brian M. Arrigo  
Mayor

Attachment: L. Stevens Cultural (22-118 : Appointment of Lani Stevens to the Cultural Council)

**Lani Stevens**  
(617) 899-7515  
[lanistevens@gmail.com](mailto:lanistevens@gmail.com)

## Education

**University of New Hampshire Graduate 2017-2020** — *Analytical Economics and Sustainability Dual Major*

## Work and Intern Experience

**Revere High School**, Revere, MA- *Inclusion Math Teacher* August 2020 – Present

- Leads classroom instruction for a wide range high school students
- Collaborates with fellow educators to horizontally and vertically create and adapt lessons
- Facilitates academic and social emotional growth for students
- Utilizes various learning management systems

**Karner Blue Capital Investments**, Bethesda, MD- *Intern* August 2020 – January 2021

- Analyzed corporate and industry exposure to biodiversity issues
- Weighted companies based on KPI's to determine investment strategies
- Collaborated with investor relations at top companies to implement specific sustainability practices

**Our Climate**, Boston, MA- *Fellow* August 2020 – October 2020

- Lobbied key legislators
- Identified, aligned with, and supported coalition members and allies
- Organized informational, community building, or lobbying events

**College and Career Bootcamp**, Revere, MA- *Project Mentor* June 2020 – August 2020

- Modeled the development of a career plan with mentees
- Guided mentees to create their own college and career plan

**Manomet U360 Internship Program**, Manomet, MA- *Business Sustainability Intern*

August 2018 – May 2019

- Contacted over 160 small businesses nationwide and communicated with business owners daily to schedule interviews about daily operations of the business and current sustainability practices
- Created and presented a business action plan to improve sustainability practices focused on specific details of a small childcare

**Let's Get Ready**, Revere MA — *Nonprofit Organization Coach* July 2018 – August 2018

- Taught low income high school students how to register for and take SATs and apply to college
- Served as mentor, tutor, and class facilitator
- Developed cross cultural relations

**Revere Journal**, Revere MA—*Intern*

September 2016 – January 2017

- Published two articles about education
- Developed transferable skills in billing and mailing
- Conducted interviews with education professionals

## Skills

- Tableau
- R-Studio
- Excel
- Proficient in Spanish

# American Rescue Plan Act

## Coronavirus Local Fiscal Recovery Fund

Grant Summary  
City of Revere  
January 24, 2022

Attachment: 12522 (22-027 : GRANT SUMMARY)

# Overview

- American Rescue Plan Act (ARPA) signed into law by President Biden on March 11, 2021.
- Section 603 established the Coronavirus Local Fiscal Recovery Fund (CLFRF), which provides funds for municipalities to respond to the Covid-19 pandemic.
- As an entitlement community, Revere will receive funding directly from the U.S. Treasury.
- Covered period ends December 2024; obligated by then, spending must occur by end of 2026.

# City of Revere Financial Summary

- Funding to be received: \$30.0 million
  - ARPA Direct Municipal Aid: \$19.7m
  - Abolished County Funding Automatically Transferred to Revere: \$10.3m
- Revere has received 50% of its allocation in August 2021 (\$15M).
  - Second half payment due 12 months after first half payment.
- Request for CLFRF funds from City Departments are first approved by the Internal Auditor for a financial, compliance, and eligibility review. If approved, the request for funds is then sent to the CFO, Chief of Staff, Director of DPCD, and Mayor for final approval.



# CLFRF Budget and Eligible Uses

- Responding to the Covid Public Health Emergency (\$5.3M)
  - Covid-19 Vaccination and Testing
  - Contact Tracing
  - Personal Protective Equipment
  - Signage and Communication
  - Isolation and Quarantine Efforts
  - Medical Expenses
  - Mental Health Services
- Travel, Tourism, and Hospitality (\$3.4M)
  - Funding for the Travel and Tourism Department
  - Events and activities that will draw in more visitors to Revere
    - Increase rooms and meals taxes
    - More potential customers for local businesses

# CLFRF Budget and Eligible Uses

- Household Assistance (\$4.8M)
  - Food Programs
  - Rent, Mortgage, Utility Aid
  - Eviction Protection
  - Job Assistance Training
  - Internet Access Programs
- Small Business and Nonprofit Assistance(\$3.9M)
  - Financial support to aid small businesses and nonprofits with declines in revenue and increase costs due to the pandemic
  - Provide funds for Covid related expenses such as PPE, Covid related signage and communications, and social distancing measures

# CLFRF Budget and Eligible Uses

- Water and Sewer Infrastructure (\$7.3M)
  - Stormwater
  - Centralized Wastewater Treatment
  - Centralized Wastewater Collection and Conveyance
  - Energy Conservation
  - Water Conservation
  - Transmission & Distribution
  - Treatment
- Contingency (\$5.3M)

# FY2022/2023 Planned Uses

- Responding to the Covid Public Health Emergency
  - Covid Testing Services
  - Health and Wellness Center lease and operating costs
- Household Assistance
  - Housing costs relief for Revere owner occupied properties
- Small Business and Nonprofit Assistance
  - Restaurant Recovery Program
- Water and Sewer Infrastructure
  - City-wide water system improvements
- Travel, Tourism, Hospitality
  - FY2023 Travel and Tourism department budget

# Ineligible Uses

- Deposits to pension funds for the purpose of reducing an accrued, unfunded liability.
  - Recipients may use funds for routine payroll contributions for employees whose wages and salaries are an eligible use.
- Offsets to reductions in net tax revenues.
- Repayment of debt or legal settlements.
- General infrastructure spending is not covered as an eligible use outside of water, sewer, and broadband investments or above the amount allocated under the revenue loss provision.
- General economic development or workforce development.
  - Recipients must demonstrate that funding directly addresses a negative economic impact of the Covid-19 pandemic, including funds used for economic or workforce development.

# Sources for Additional Information

## Final Rule Press Release

- <https://home.treasury.gov/system/files/136/SLFRPFAQ.pdf>

## U.S. Treasury Final Rule

- <https://home.treasury.gov/system/files/136/SLFRF-Final-Rule.pdf>

## CLFRF FAQ

- <https://home.treasury.gov/system/files/136/SLFRPFAQ.pdf>



## CITY OF REVERE

Brian M. Arrigo  
Mayor

April 21, 2022

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to notify and place on the City Council's agenda a briefing by the City Planner pursuant to Section 3A of MGL c. 40A, commonly referred to as the Multi-Family Zoning Requirement for MBTA Communities. Enacted by the Commonwealth as part of the economic development bill of January 2021, this amendment to the Zoning Act requires all communities host or adjacent to an MBTA stop allow for at least one multi-family housing district by right. The City of Revere's zoning already complies with the regulations put forth in the Zoning Act.

In order for the City of Revere to comply with the requirement and remain eligible for vital state funding opportunities, the City must brief the Council on the Draft Compliance Guidance. Please direct any inquiries to the City Planner or the Department of Planning and Community Development.

Regards,

Brian M. Arrigo  
Mayor



# City of Revere

## CFO/City Auditor/Budget Director

281 Broadway  
 Revere, MA 02151  
 Tel: (781) 286-8131

**Richard Viscay**  
 CFO/City Auditor/Budget Director

April 21, 2022

Gerry Visconti, City Council President  
 Revere City Hall  
 281 Broadway  
 Revere, MA 02151

RE: Certification of Free Cash – June 30, 2021

Dear Council President Visconti,

I am pleased to inform you that the City has received its annual certification of Free Cash from the Department of Revenue. The General Fund Free Cash has been certified at \$1,573,554 and the Water and Sewer Enterprise Fund has been certified at \$1,164,756. As you may know, the certification of free cash is a calculation of available funds to the City as a result of FY2021 operations.

Free cash is a revenue source that results from the calculation, as of July 1, of a community's remaining, unrestricted funds from its operations of the previous fiscal year based on the balance sheet as of June 30. It typically includes actual receipts in excess of revenue estimates and unspent amounts in departmental budget line items for the year just ending, plus unexpended free cash from the previous year.

In accordance with ordinances of the City of Revere, I am requesting transfers from free cash to the following accounts.

- Transfer of \$236,033 to the General Fund Stabilization Fund from General Fund Free Cash.
- Transfer of \$314,711 to the Capital Improvement Stabilization Fund from General Fund Free Cash.
- Transfer of \$250,000 to the Other Post Employment Benefit Trust Fund from General Fund Free Cash.
- Transfer of \$174,713 to the Water and Sewer Stabilization Fund from Water and Sewer Free Cash.

These transfers will continue to increase the City's Stabilization Funds and OPEB Trust Fund balances. Specifically, the City will have in excess of \$9.2 million in the General Stabilization Fund, \$5.6 million in the Water and Sewer Stabilization Fund, \$750,000 in the Capital Improvement Trust Fund, and over \$1.3 million in the OPEB Trust Fund.

I will be in attendance at the next City Council meeting to answer any questions on this matter.

Best regards,

Richard Viscay  
 CFO/ City Auditor/ Budget Director

Cc: Brian Arrigo, Mayor  
 Assunta Newton, Assistant Budget Director

Attachment: CERTIFICATION OF FREE CASH JUNE 30, 2021 (22-132 : CERTIFICATION OF FREE CASH - JUNE 30, 2021)





# City of Revere CFO/City Auditor/Budget Director

281 Broadway  
Revere, MA 02151  
Tel: (781) 286-8131

**Richard Viscay**  
CFO/City Auditor/Budget Director

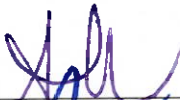
MEMORANDUM

To: Mayor Brian Arrigo  
From: Richard Viscay  
Cc: Assunta Newton, Assistant Budget Director  
Date: April 21, 2022  
RE: Verification of Available Funds for Authorization and Transfer

The attached request asks that funds be transferred as follows:

FROM:	Certified free cash (019909-596000)	\$800,744
	<i>Available Balance:</i> \$ 1,573,554	
TO:	General Fund Stabilization (84151-497000)	\$236,033
	<i>Current Balance:</i> \$ 8,995,612	
TO:	Capital Improvement Stabilization (84111-497000)	\$314,711
	<i>Current Balance:</i> \$ 440,270	
TO:	Other Post-Employment Benefits Stabilization (84131-497000)	\$250,000
	<i>Current Balance:</i> \$ 1,144,274	

Based on the amount available as of April 21, 2022, there are sufficient funds to support such a transfer.

Account verified by  \_\_\_\_\_

Reviewed by  \_\_\_\_\_

For Audit Use Only:

CO# \_\_\_\_\_ DATE \_\_\_\_\_ ENTRIES MADE BY \_\_\_\_\_



# City of Revere

## CFO/City Auditor/Budget Director

281 Broadway  
Revere, MA 02151  
Tel: (781) 286-8131

**Richard Viscay**  
CFO/City Auditor/Budget Director

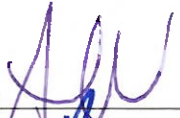

MEMORANDUM

To: Mayor Brian Arrigo  
From: Richard Viscay  
Cc: Assunta Newton, Assistant Budget Director  
Date: April 21, 2022  
RE: Verification of Available Funds for Authorization and Transfer

The attached request asks that funds be transferred as follows:

FROM:	Certified Water/Sewer free cash (604309-596000)	\$174,713
	<i>Available Balance:</i> \$ 1,164,756	
TO:	Enterprise Fund Stabilization (84401-497000)	\$174,713
	<i>Current Balance:</i> \$ 5,483,212	

Based on the amount available as of April 21, 2022, there are sufficient funds to support such a transfer.

Account verified by   
Reviewed by 

Attachment: CERTIFICATION OF FREE CASH JUNE 30, 2021 (22-132 : CERTIFICATION OF FREE CASH - JUNE 30, 2021)

For Audit Use Only:

CO# \_\_\_\_\_ DATE \_\_\_\_\_ ENTRIES MADE BY \_\_\_\_\_

## Ashley Melnik

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**From:** ginacastiello <xhairma@comcast.net>  
**Sent:** Saturday, April 16, 2022 8:34 PM  
**To:** Councillor Al Fiore; Steve Morabito; Richard Serino; Patrick M. Keefe Jr.; Joanne McKenna; Ira Novoselsky; Dan Rizzo; Ashley Melnik; Councillor Anthony Cogliandro; Councillor Marc Silvestri; George Rotondo; Gerry Visconti  
**Cc:** gina castiello; Sophia Durbano  
**Subject:** Re: Add to April 25, 2022 City Council Meeting agenda

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

### Dear city council members,

I am writing this letter as requested in regards to me speaking at the April 25 city council meeting.

The topic I would like to discuss is the Human Rights commission. First Questions I have are in regards to Dr. Marista Barros. On 3/10/22 at the HRC meeting I attended Dr. Barros made a statement that the HRC was voted on by the citizens and approved by the city council. I would like clarification on that process. Exactly how was it determined there needed to be a "human rights commission" in this city?

Second question in regards to Dr. Barros and the other commisioners. If appointed by the Mayor what are the other steps are part of the approval process?

A main issue I would really like addressed is the fact that it has been almost one year since I put in a complaint on May 6 2021. I was denied a public mediation 4 times and have yet to have anyone reach out to me about this issue for resolution.

I would like to know about behavioral standards for members of the HRC. Every time I do attend a meeting I am treated in an extremely dismissive manner and other things as well.

Most recently at the April 7th meeting, myself and a group of citizens came to ask questions; as I was challenged at the previous meeting by Dr. Barros to have more people show up to voice their concerns. That meeting was the first time they ran too long to hear from the public. It was obvious they were purposely running the time out.

I bring up these issues because they all in relation to the approval process and the required credentials. Are we just allowing anyone with an Agenda to come into our city? If our city councilmen and women aren't willing to hear from their constinutents on these matters then who can we turn to? Because myself and many others are not given a forum for public discussion on these matters. It should never be a frustrating drawn out process for simple answers to simple questions.

Respectfully,  
 Gina Castiello

On Apr 15, 2022, at 11:23 AM, Ashley Melnik <[amelnik@revere.org](mailto:amelnik@revere.org)> wrote:

Good Morning Gina:

If you would like to get on the City Council agenda for April 25th, please submit a letter addressing the City Council detailing what you would like to speak about. Please ensure that the topic is within City Council jurisdiction and that your letter is addressed to the City Council (not me).

You can either submit the letter via email to me at [amelnik@revere.org](mailto:amelnik@revere.org) or drop the letter off in-person at the City Clerk's Office.

Please submit your letter no later than Thursday, April 21st by 12:00PM.

Thank you,

Ashley E. Melnik, City Clerk  
 Clerk of Council · Justice of the Peace · Notary Public

Clerk to the Zoning Board of Appeals  
 281 Broadway  
 Revere, Massachusetts 02151  
 781-286-8160

{In Massachusetts, the term "public record" is broadly defined to include all documentary materials or data created or received by any officer or employee of any governmental unit, regardless of physical form or characteristics, unless it falls under one of the statutory exemptions to the Public Records Law. G. L. c. 4, § 7(26). Consequently, email is subject to the disclosure, retention, and maintenance provisions as required by law. G. L. c. 66}.

-----Original Message-----

From: ginacastello <[xhairma@comcast.net](mailto:xhairma@comcast.net)>

Sent: Friday, April 15, 2022 11:05 AM

To: Ashley Melnik <[amelnik@revere.org](mailto:amelnik@revere.org)>

Cc: Brian Arrigo <[barrigo@revere.org](mailto:barrigo@revere.org)>; Councillor Anthony Cogliandro <[CouncillorCogliandro@revere.org](mailto:CouncillorCogliandro@revere.org)>; Councillor Marc Silvestri <[CouncillorSilvestri@revere.org](mailto:CouncillorSilvestri@revere.org)>; Dan Rizzo <[drizzo@revere.org](mailto:drizzo@revere.org)>; George Rotondo <[grotondo@revere.org](mailto:grotondo@revere.org)>; Gerry Visconti <[gvisconti@revere.org](mailto:gvisconti@revere.org)>; Ira Novoselsky <[inovoselsky@revere.org](mailto:inovoselsky@revere.org)>; Joanne McKenna <[jmckenna@revere.org](mailto:jmckenna@revere.org)>; Patrick M. Keefe Jr. <[pkeefe@revere.org](mailto:pkeefe@revere.org)>; Richard Serino <[rserino@revere.org](mailto:rserino@revere.org)>; Steve Morabito <[stevemorabito@revere.org](mailto:stevemorabito@revere.org)>; Councillor Al Fiore <[CouncillorFiore@revere.org](mailto:CouncillorFiore@revere.org)>

Subject: Add to April 25, 2022 City Council Meeting agenda

Good morning Ashley,

I request to be added to agenda for City Council meeting on April 25, 2022.

Thank you & Happy Easter  
 Gina Castiello

Attachment: GinaCastielloCommunication04252022 (22-133 : Gina Castiello RE Human Rights Commission)