



CITY COUNCIL
Regular Meeting

City Councillor Joseph A. DelGrosso
City Council Chamber – 2nd Floor
Revere City Hall
Revere, MA 02151
Calendar

Monday, May 19, 2025, 6:00 PM

Spanish interpretation can be requested at least 48 business hours prior to the public meeting by emailing translation@revere.org.

Salute to the Flag

1. **Roll Call of Members**

Public Hearings

2. **25-149** Hearing called as ordered on the application of Natalia Maria Catano Gomez, 85 Arlington Street #2, Revere, MA 02151 requesting a special permit for a class II auto sales use at 195 American Legion Highway, Revere, MA 02151.
3. **25-150** Hearing called as ordered on the application of New York Capital Investment Group, LLC, 500 Turnpike Street, Canton, MA 02021 requesting a special permit for a car wash use at 350 Squire Road, Revere, MA 02151.
4. **25-123** Hearing called as ordered on An Ordinance Removing Outdated Language from Title 2 of the Revised Ordinances of the City of Revere.
5. **25-136** Hearing called as ordered An Ordinance Further Amending the Revere Revised Ordinances Relative to Financial Impact Statements.
6. **25-124** Hearing called as ordered on, A Zoning Ordinance Further Amending Title 17 of the Revised Ordinances of the City of Revere Establishing a Definition and Use for Food Trucks.
7. **25-151** Hearing called as ordered on, An Ordinance Further Amending Title 5 of the Revised Ordinances of the City of Revere Relative to Food Trucks.

Public Comment Pursuant to Chapter 402 of the Acts of 1965

Unfinished Business

8. **25-086** An Ordinance Establishing Rules and Regulations for the Veteran Property Tax Work-off Abatement Program.

Communications

9. **25-152** Communication from the Policy Writer and Analyst requesting adoption of MGL c 40 s 71 and applicable provisions relative to the use of school bus violation detection monitoring systems.

Motions

10. **25-153** Motion presented by Councillor Cogliandro: That the Mayor be requested to investigate the feasibility of installing stop arm cameras on the city's school and transportation vehicles.

11. **25-154** Motion presented by Councillor Cogliandro: That the Mayor request the Chief of Police to provide additional enforcement on Tuckerman Street —specifically during school drop-off and pick-up times at the Lincoln School — with regard to cars stopping at the stop signs at the High Street intersection, abiding by the "Do Not Enter" sign times, avoiding the blocking of driveways, and refraining from double parking.

12. **25-155** Motion presented by Councillor Cogliandro: That the City Council order to a public hearing, An Ordinance Further Amending Appendix C Salaries of the Revere Revised Ordinances, which provides for parity salary adjustments in concert with the recently approved Unit A and Unit B collective bargaining agreements. (see attached ordinance)

C-25-08

PUBLIC HEARING NOTICE

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Section 17.16.040 of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, May 19, 2025 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Natalia Maria Catano Gomez, 85 Arlington Street #2, Revere, MA 02151 requesting a special permit for a class II auto sales use at 195 American Legion Highway, Revere, MA 02151.

A copy of the aforementioned application (C-25-08) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM to 12:00PM. If unable to attend the public hearing, proponent/opponent testimony will be accepted in writing via email to amelnik@revere.org on or before May 13, 2025.

Attest:

Ashley E. Melnik
City Clerk

Revere Journal
Check attached #3590
04/30/2025
05/07/2025

Attachment: C2508.195AmericanLegionHighway.05192025 (25-149 : Special Permit, C-25-08, 195 American Legion Highway)

Form B

Application No. C-25-08Date: 4/22/25

City of Revere, Massachusetts
Revere City Council
Application For
Special Permit

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the Revere City Council for the following:

- A. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, chapter 17.40, Section 17.40.040, M.G.L. c. 40A Section 110.**
- B. Application for Special Permit for Alteration and Extension of Nonconforming Uses (Revised Ordinances of the City of Revere0, Title 17, Chapter 17 40, Section 17.40.020.
- C. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.200 (Revised Ordinances of the City of Revere),

1. Applicant submitting this application is:

Name: Natalia Maria Catano, Gomez

Address: 85 Arlington Street, Apt., 2, Revere, Massachusetts

Telephone: _____

Email: _____

2. Applicant is: X Tenant Licensee Prospective Purchaser
 Owner Other (Describe)

FILED
 2025 APR 22 AM 9:12
 OFFICE CITY CLERK
 REVERE, MASS

3. The following person is hereby designated to represent the applicant in matters arising hereunder:

Name: Lawrence A. Simeone, Jr., Esq.
 Title: Attorney at Law
 Address: 300 Broadway, Suite 4, Revere, Massachusetts
 Tel. #: (781) 286-1560
 Email: lsimeonejr@simeonlaw.net

4. The land for which this application is submitted is owned by:

Name: 190 ALH Realty LLC
 Address: 190 American Legion Highway, Revere, Massachusetts
 Tel.#: _____

The registered agent in accordance with the Business Entity Summary of the Massachusetts Secretary of State is Vincent R. Conte. See attached records of the Massachusetts Secretary of State, (attached Exhibit #1)

5. The land described in this application is recorded in Suffolk County Registry of Deeds,

Book 143, Page 121, Certificate # (if registered) 91521
 Book _____, Page _____.

6. Plans describing and defining the Exception to Use Regulations in Certain Districts, the Special Permit or Special Permit For Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are titled and dated:

Lot # ID-28-4380-8 Sq. Ft. 1.810

See also Assessors Parcel ID-28-4380-8 see assessors card marked as **Exhibit #2.**

7. A map describing the land uses of adjacent and nearby properties is included and made a part of this application.

NO

8. A locus map (8 1/2" x 11") copy of City of Revere or USGS topographic sheet with site marked for which permit is requested is included and made a part of this application.

NO

9A. Is the site of this application subject to the Wetland Protection Act (M.G.L., Chapter 131, Sec. 40A or chapter 130, Sec. 105)?

YES

9B. Is the location of the site of this application within 100 feet of:

_____ a coastal beach; _____ salt marsh; _____ land under the ocean;
 X do not know; _____ no.

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

The Property in accordance with the records of the Revere Assessors Office is located in the IP zoning district and has a land area of 1.810 acres

The Property is serviced by existing infrastructure at this time including sewer, drainage and water.

11. What is the nature of the exception or special permit requested in this application?

The prior Class II license holder was Mr. Christopher Viarella Jr. dba Millennium Motors, he operated a used car business for about three (3) years. Subsequently Millennium let the Class II license lapse on February 28, 2025 leaving no Class II license at the Property.

The Property in accordance with the records of the Revere Assessors Office is located in the IP zoning district and has a land area of 1.810 acres.

Given the lapse of license by Millennium, the Applicant must seek prior to filing an Application for a Class II license with Licensing Commission a Special Permit in accordance with the Use Regulations of the City of Revere Zoning Ordinance. A review of the Use Regulations establishes that in the IP district a Class II License is allowed by special permit.¹ **See attached letter and SPRC denial Letter**

Date of denial by Building Inspector and/or Planning Board

04/01/2025

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

Signature of Applicant

Date

Signature of Owner

Date



Signature of Designated Representative

04/22/25

Date

Received from above applicant, the sum of \$ 400.00 to apply against administrative and mailing costs.

REQUEST FOR FINDING OF FACT - SPECIAL PERMIT

Now comes the applicant Natalia Maria Catano, Gomez as aforesaid, which has applied to this Honorable City Council for a special permit for property located at 195 American Legion Highway and requests that said Council make the following findings of fact:

1. That the proposed use would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reasons:
 - (a) The proposed facilities will not impede light, air, and space to adjoining properties;
 - (b) the facilities will not over crowd or have any effect on the density of the existing parcel and buildings thereon;
 - (c) said facilities shall remain within the existing multiple use building on the site;
 - (d) the approval of this use will allow the applicant Natalia Maria Catano, Gomez to improve the condition of the property, and therefore benefit the public at large in the community.
2. That the specific site is an appropriate location for such use for the following reasons:
 - (a) The subject property is also zoned, IP, which allows for the request of this special permit;
 - (b) The location of has a nonconforming (commercial) structure; similar to the zoning district which has various commercial nonconforming structures in the neighborhood;
 - (c) the proposed use can exist at this site, without impeding the normal use of the property or surrounding property.
3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:
 - (a) The proposed facility is on a public way which has water and/or sewer services.
4. That the use as proposed will not adversely affect the neighborhood, for the following reasons:

- (a) The proposed use will not create adverse impact of noise, odor, smoke dust, etc. It will not substantially generate commercial traffic or activity; and
 - (b) much of the adjacent property surrounding the property are commercial; the use will have no affect on these adjoining properties and their uses; and
 - (c) the proposed use does not deviate or substantially change the character of this already relative commercial/industrial area of the city, which has business operating similar parking facilities.
5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using the proposed facility in that
- (a) the only traffic generated by the proposed facility shall not substantially effect on the present traffic patterns.
6. That adequate and appropriate facilities will be provided for the proposed use to for the following reasons:

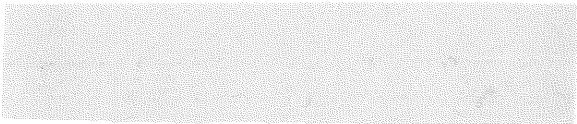
The location is in a general industrial area known as the IP district, the proposed commercial use shall be in harmony with the area, which include general commercial uses and businesses. The current infrastructure and roadways are sufficient to handle the proposed use in that they currently adequately handle the current needs of this industrial/business area.


Date: April 22, 2025 Respectfully submitted by:



Lawrence A. Simeone, Jr., Esq.

Pursuant to M.G.L. Ch. 62C, Sec. 49A, I certify under the penalties of perjury that, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required under law.


Social Security Number or
Federal Identification Number

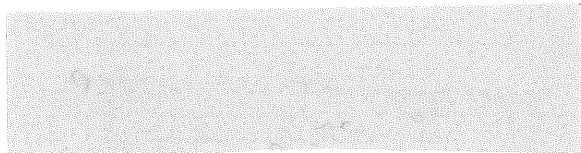


Signature of Individual or Corporate Name

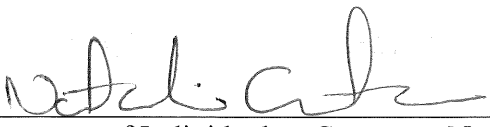
By: _____
Corporate Officer (if applicable)

CERTIFICATION

Pursuant to Massachusetts General Laws, Chapter 40, Section 57 (a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that the Authority has paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.



Federal Identification Number


Signature of Individual or Corporate Name

By: _____
Corporate Officer (if applicable)

General Disclosure of Constituent Information Relative to Applications Submitted to The
Revere City Council for Authorizations, Permits, Special Permits, Licenses, Variances,
Orders of Conditions, Approvals, Modifications and Amendments Which are Subject of
Proceedings Before the Revere City Council

1. (Name and residential address of party submitting application.)

Name: Natalia Maria Catano, Gomez

Address: 85 Arlington Street, Revere, MA 02151

2. (Name and residential address of each landowner on whose property subject matter will be exercised.)

Name: 190 ALH Realty LLC

Address: 190 American Legion Highway, Revere, Massachusetts

(Attach additional pages, if necessary)

3. (If the Party is a Partnership, state the name and residential address of all partners within sixty (60) days of this application.)

Partner's Name: _____

Address: _____

4. (Name and residential address of each party to whom subject authorization will be issued).

5. (If the Party is a Trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this Application.)

6. (If the Party is a Joint Venture, state the name and residential address of each person, form of company that is party to the Joint Venture within sixty (60) days of the filing of this Application.)

7. (If the Party if a Corporation, provide the name and residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application.

8. (If the Party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days from the date of this Application.)

9. (If the Party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this Application).
10. (If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the Certificate required by Mass. General Law, Chapter 110, Section 5, is on file.)

The foregoing information is provided under the Pains and Penalty of Perjury.
Signature of each party and landowner:

_____	_____
_____	_____
_____	_____

TO:

FROM:

SUBJECT:

DATE:

REQUESTED
RETURN DATE:

HEARING DATE:

In accordance with the provisions of Section 57 (a), of Chapter 40 of the Massachusetts General Laws, the Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, I herewith request information relative to the payment of the City of Revere real estate taxes, assessments, betterments and other municipal charges concerning the following persons, corporations or business enterprises who have made application for a City of Revere license or permit or renewal thereof;

Name of Applicant: __Natalia Maria Catano, Gomez
(Person, corporation or business enterprise applying for license of permit)

Address of Applicant: _85 Arlington Street, Apt. 2 , Revere, MA 02151

(Business address of above person, corporation or business enterprise)

Location Address: **195 American Legion Highway**, Revere, MA 02151
(Location of property for which license or permit is required.

Attachment: C2508.195AmericanLegionHighway.05192025 (25-149 : Special Permit, C-25-08, 195 American Legion Highway)

EXHIBIT 1

Secretary of the Commonwealth of Massachusetts
William Francis Galvin

Business Entity Summary

ID Number: 001368628

Request certificate

New search

Summary for: 190 ALH REALTY, LLC

The exact name of the Domestic Limited Liability Company (LLC): 190 ALH REALTY, LLC		
Entity type: Domestic Limited Liability Company (LLC)		
Identification Number: 001368628		
Date of Organization in Massachusetts: 02-13-2019		Date of Revival:
Date of Involuntary Dissolution by Court Order or by the SOC: 12-31-2024		Last date certain:
The location or address where the records are maintained (A PO box is not a valid location or address):		
Address: 190 AMERICAN LEGION HIGHWAY		
City or town, State, Zip code, Country: REVERE, MA 02151 USA		
The name and address of the Resident Agent:		
Name: VINCENT R. CONTE		
Address: 190 AMERICAN LEGION HIGHWAY		
City or town, State, Zip code, Country: REVERE, MA 02151 USA		
The name and business address of each Manager:		
Title	Individual name	Address
MANAGER	DONNA M. CONTE	188 WINONA STREET PEABODY, MA 01960 USA
MANAGER	VINCENT R. CONTE	190 AMERICAN LEGION HIGHWAY REVERE, MA 02151 USA
In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division:		
Title	Individual name	Address
SOC SIGNATORY	VINCENT R. CONTE	190 AMERICAN LEGION HIGHWAY REVERE, MA 02151 USA
SOC SIGNATORY	DONNA M. CONTE	188 WINONA STREET PEABODY, MA 01960 USA
The name and business address of the person(s) authorized to execute, acknowledge, deliver, and record any recordable instrument purporting to affect an interest in real property:		
Title	Individual name	Address
REAL PROPERTY	VINCENT R. CONTE	190 AMERICAN LEGION HIGHWAY REVERE, MA 02151 USA
REAL PROPERTY	DONNA M. CONTE	188 WINONA STREET PEABODY, MA 01960 USA
<div><div>Consent</div><div>Confidential Data</div><div>Merger Allowed</div><div>Manufacturing</div></div>		
View filings for this business entity:		
<div>ALL FILINGS</div> <div>Annual Report</div> <div>Annual Report - Professional</div> <div>Articles of Entity Conversion</div> <div>Certificate of Amendment</div> <div>Certificate of Consolidation</div> <div>View filings</div>		
Comments or notes associated with this business entity:		
<div></div>		

New search

Attachment: C2508.195AmericanLegionHighway.05192025 (25-149 : Special Permit, C-25-08, 195 American Legion Highway)

EXHIBIT 2

27

Time (minutes)	Number of people
0	0
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10

36	F _{FL} (3837)	54
30		
60		

SUB AREA	SUB AREA DETAIL
	<p>A diagram showing a stepped profile. The top horizontal segment is labeled with the dimension '9'. The vertical segment is labeled with the dimension '18'.</p>

Code	Description	Area - SQ	Rate - AV	Undepr Value	Sub %	Descip	%	Qu #	Ten
FFL	FIRST FLOOR	3,837	114.980	441,163	Area	Usbl	Type		

Net Sketched Area:		3,837	Total:		441,162
Size Ad	3837	Gross Area	3837	FinArea	3837

Color:

IMAGE

AssessPro Patriot Properties, Inc

Code	Fact	Juris. Value
		400
		800
		12.200
		2.500
		7.500
		6.500

A black and white photograph of a building, likely a car service or repair shop. The building has a prominent sign that reads "VIA'S AUTO SERVICE" in large, stylized letters. Below this, there is another sign that says "MIR'S AUTO SERVICE". The building is surrounded by trees and a fence. The sky is cloudy.

Total:	140,300
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LAWRENCE A. SIMEONE JR.
ATTORNEY AT LAW
THE POST OFFICE PROFESSIONAL BUILDING
300 BROADWAY, P.O. BOX 321
REVERE, MASSACHUSETTS 02151

TELEPHONE: (781) 286-1560

FACSIMILE: (781) 286-5532

March 26, 2025

Frank Stringi, Chairman
 Site Plan Review Committee (SPRC)
 City Hall
 281 Broadway
 Revere, Ma 02151

Re: 190 ALH Realty LLC
 190 American Legion Hwy.
 Revere, Massachusetts.

Dear Mr. Stringi:

Please be advised this office represents Natalia Maria Catano, Gomez of 85 Arlington Street, Apt. 2, Revere, Massachusetts ("Client"), the latter who seeks to attain a Class II license from the City of Revere Licensing Commission ("the Commission") to be located at the above stated location.

The Property is currently owned by 190 ALH Realty LLC, 195 American Legion Highway, Revere, Massachusetts. The registered agent in accordance with the Business Entity Summary of the Massachusetts Secretary of State is Vincent R. Conte.¹

The prior Class II license holder was Mr. Christopher Viarella Jr. dba Millennium Motors, he operated a used car business for about three (3) years. Subsequently Millennium let the Class II license lapse on February 28, 2025 leaving no Class II license at the Property. The Property in accordance with the records of the Revere Assessors Office is located in the IP zoning district and has a land area of 1.8010 acres.²

¹ See attached records of the Massachusetts Secretary of State, (attached Exhibit #1)

² See attached records of the Revere Assessors Office, (attached Exhibit #2)

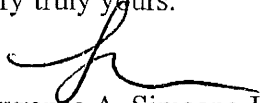
Given the lapse of license by Millennium, my Client must seek prior to filing an Application for Second Hand Used Cars with Commission a Special Permit in accordance with the Use Regulations of the City of Revere Zoning Ordinance ("Use Regulations").

A review of the Use Regulations establishes that in the IP district a Class II License is allowed by special permit.³

On behalf of my Client, I respectfully request that the SPRC issue a denial letter establishing necessity of attaining a special permit to operate a Class II used car sales license at the Property

Should there be a need for further information please, feel free to contact this office. Your expeditious reply to this request will be genuinely appreciated.

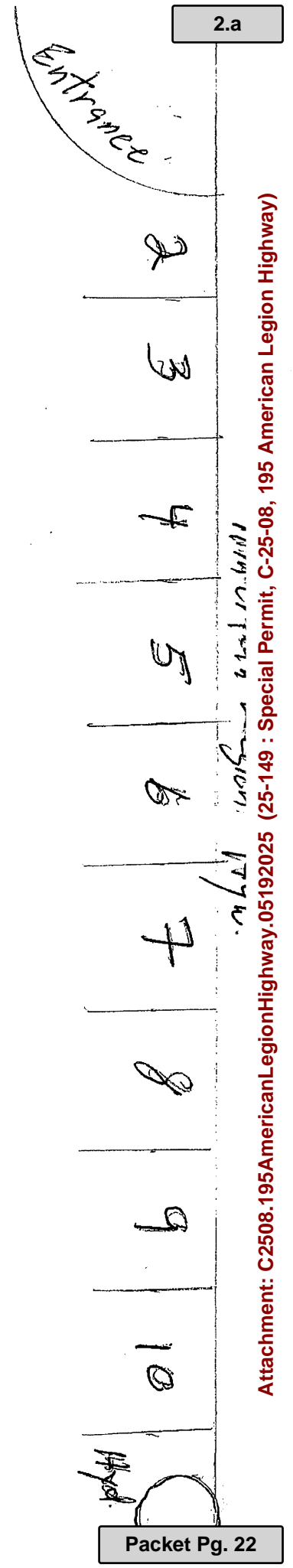
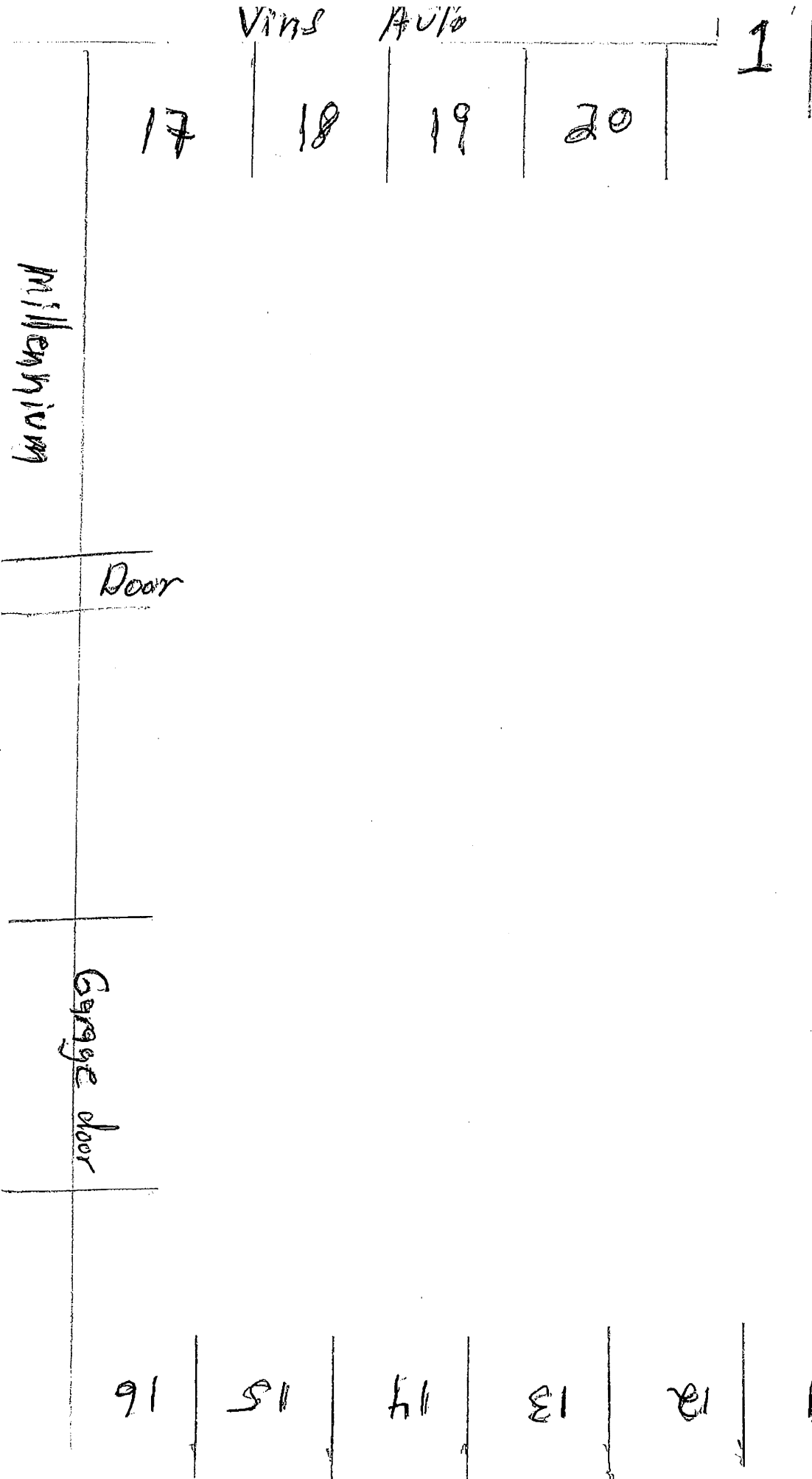
Very truly yours.

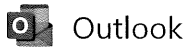


Lawrence A. Simeone Jr.

cc: Frank Stringi, SPRC
Ashley E. Melnick, City Clerk
Joeanne McKenna, Chairman Council Zoning Sub-Committee
Anthony Cogliandro, Ward Three Councilor
Maggie Haney, Licensing Administrator

³ See attached regulations.





Application Review Comments

From fstringi@revere.org <fstringi@revere.org>

Date Tue 4/1/2025 4:55 PM

To Isimeonejr simeonelaw.net <Isimeonejr@simeonelaw.net>; amelnik@revere.org <amelnik@revere.org>;
lcavagnaro@revere.org <lcavagnaro@revere.org>; mhaney@revere.org <mhaney@revere.org>

CITY OF REVERE APPLICATION REVIEW

City of Revere Site Plan Review Review Comments

From: Frank Stringi

Date: April 01, 2025

Application #: SPR25-000042

Address: 195 AMERICAN LEGION HWY

Description: Requesting Special Permit to entitle to have the licensing commission renew a class II license

Review
Status: Denied

Thank you for your recent permit application for Requesting Special Permit to entitle to have the licensing commission renew a class II license. I have completed my initial review and my comments are listed below, you can view marked up plans on our [CLICK HERE TO VIEW YOUR APPLICATION](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

Reviewer: Frank Stringi, Community Development, Denied

1. In accordance with Section 17.16.040, class 2 auto sales may only be allowed within the IP District by special permit of the city council.

Attachment: C2508.195AmericanLegionHighway.05192025 (25-149 : Special Permit, C-25-08, 195 American Legion Highway)

Map Block Lot

Lot2 Lot3

CARD

REVERSE

PROPERTY LOCATION

Alt No	Direction/Street/City
195	AMERICAN LEGION HWY, REVERE

OWNERSHIP

Owner 1: 190 ALH REALTY LLC	Unit #:
Owner 2:	
Owner 3:	
Street 1: 195 AMERICAN LEGION HWY	
Street 2:	
Town/City: REVERE	
SubProv: MA	County
Postal: 02151	Own Occ: Type:

PREVIOUS OWNER

Owner 1: 190 ALH REALTY TRUST -	
Owner 2: CONTE - VINCENT TRUSTEE	
Street 1: 190 AMERICAN LEGION HWY	
Town/City: REVERE	
St/Prov: MA	County
Postal: 02151	

NARRATIVE DESCRIPTION

This parcel contains 1.81 Acres of land mainly classified as SERV ST with a SERV/ICE ST Building built about 1952, having primarily CONC BLOCK Exterior and 3837 Square Feet, with 3 Units, 0 Bath, 0 3/4 Bath, 3 HalfBaths, 0 Rooms, and 0 Bdrm.

OTHER ASSESSMENTS

Code	Description/No	Amount	Com. Int

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value	Legal Description
334	1.810	301,100	140,300	1,506,400	1,947,800	EAST SIDE & TABLET AV LOT 1
Total Card	1.810	301,100	140,300	1,506,400	1,947,800	Entered Lot Size
Total Parcel	1.810	301,100	140,300	1,506,400	1,947,800	Total Land: 43560
Source: Market Adj Cost		Total Value per SQ unit /Card: 507.64		/Parcel: 507.64		Land Unit Type: SF

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes
2025	334	FV	301,100	140300	1.81	1,506,400	1,947,800	1,947,800	Year End Roll
2025	334	NC	301,100	140300	1.81	1,506,400	1,947,800	1,947,800	Year End Roll
2024	334	FV	279,800	140000	1.81	1,375,700	1,795,500	1,795,500	Year End Roll
2024	334	NC	279,800	140000	1.81	1,375,700	1,795,500	1,795,500	Year End Roll
2023	334	FV	253,300	140000	1.81	1,201,500	1,594,800		Year end
2023	334	NC	253,300	140000	1.81	1,201,500	1,594,800		Year End Roll
2022	334	FV	220,300	119600	1.81	1,070,800	1,410,700		Year End Roll
2022	334	NC	220,300	119600	1.81	1,070,800	1,410,700		Year End Roll

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif
190 ALH REALTY	676-167		3/12/2019	CONVENIENCE		99	No	No
190 ALH REALTY	467-170		3/6/2019	CONVENIENCE		99	No	No
UNKNOWN			12/31/1981				No	No

PAT ACT.

PRINT	DATE	TIME
	12/18/2024	11/11/2024
	12/26/2023	04/17/25 09:34:26
LAST REV	16/2023	
	10/21/2022	
	12/30/2021	
	07/17/23	10:45:13
	aprio	
	7/474	

USER DEFINED



USE VALUE: 1,947,800/
ASSESSED: 1,947,800/
1,947

BUILDING PERMITS

Date	Number	Descrip	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment
3/30/2009	6820	Commercial	7,500	C	7/14/2009		REMOVE & REPLACE K	
6/28/2000	6865	Commercial	19,000	C			Commercial 8x10 +	
4/28/1994	2363			C	8/1/1994		COMM VINYL SIDE TR	
4/6/1993	1769			C			COMM CANOPY OVER G	
1/1/1900	8734	OTHER		C	1/1/1990		CASHIER BOOTH	

ACTIVITY INFORMATION

Date	Result	By	Name
10/18/2017	MEAS & INSP	345	JAMES HALL
6/18/2006	MEASURED	197	MIKE CASSIDY

LAND SECTION (First 7 lines only)

Item	Code	Description	%	Item	Code	Description
Z		water				
O		Sewer				
n		Electri				
Census:		Exmpt				
Flood Haz:						
D		Topo				
s		Street				
t		Gas:				

Sign: VERIFICATION OF VISIT NOT DATA

Use Code	Description	LUC	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT	Factor	Base Value	Unit Price	Adj	Neigh Infru	Neigh Mod	Inf 1	%	Inf 2	%	Inf 3	%	Appraised Value	Alt Class	%	Spec Land Code	Fact Use Value	Notes
334	SERV ST		43560		SITE		1.0		0	33.	1.00	CG								1,437,480	0			1,437,500	
334	SERV ST		0.91		EXPAN				0	85,000.	1.00	CG								68,850	0			68,900	

Total AC/H.A: 1.81000	Total SF/S.M: 78844	Parcel LUC: 334	SERV ST	Prime NB Desc: COMM GOOD	Total: 1,506,330	Spl Credit	Total: 1,506,400
-----------------------	---------------------	-----------------	---------	--------------------------	------------------	------------	------------------

140 AMERICAN LEGION HWY 17-274-3A
 LUC: 931
 CITY OF REVERE
 101 SCHOOL ST
 REVERE, MA 02151

236 AMERICAN LEGION HWY 17-282-13
 LUC: 101
 LE PHUC H
 236 AMERICAN LEGION HWY
 REVERE, MA 02151

AMERICAN LEGION HWY 17-282-14
 LUC: 132
 LE PHUC H
 236 AMERICAN LEGION HWY
 REVERE, MA 02151

231 AMERICAN LEGION HWY 17-283-12
 LUC: 325
 231 AMERICAN LEGION REALTY TRU
 RIZZUTO HUGO
 231 AMERICAN LEGION HWY
 REVERE, MA 02151

98 TUTTLE ST 17-286-1
 LUC: 104
 LONARDO LIFE ESTATE THERESA L
 98 TUTTLE STREET REVERE NOMINEE TRUST
 REMAINING MA
 98 TUTTLE ST
 REVERE, MA 02151

95 STOWERS ST 17-286-20A
 LUC: 104
 LOPEZ JUAN JOSE CABRERA
 GARCIA MIRIAM
 95 STOWERS ST
 REVERE, MA 02151

STOWERS ST 17-287-1
 LUC: 106
 DEROSA-KELLEY JUDITH
 DEROSA SHARON & RHONDA
 90 STOWERS ST
 REVERE, MA 02151

135 AMERICAN LEGION HWY 17-297-1B
 LUC: 401
 CLPF REVERE LLC
 C/O CLARION PARTNERS, LLC
 2323 VICTORY AVE
 #1500
 DALLAS, TX 75219

AMERICAN LEGION HWY 17-297-1C
 LUC: 442
 CLPF REVERE LLC
 C/O CLARION PARTNERS, LLC
 2323 VICTORY AVE
 #1500
 DALLAS, TX 75219

195 AMERICAN LEGION HWY 17-297-2
 LUC: 334
 190 ALH REALTY LLC
 195 AMERICAN LEGION HWY
 REVERE, MA 02151

THIS IS A TRUE & ATTESTED
 COPY OF THE RECORDS OF THE
 ASSESSOR'S OFFICE OF THE
 CITY OF REVERE

Julia Shapley
 DATE: 4-16-25

Attachment: C2508.195AmericanLegionHighway.05192025 (25-149 : Special Permit, C-25-08, 195 American Legion Highway)

C-25-09

PUBLIC HEARING NOTICE

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Section 17.16.410 of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, May 19, 2025 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of New York Capital Investment Group, LLC, 500 Turnpike Street, Canton, MA 02021 requesting a special permit for a car wash use at 350 Squire Road, Revere, MA 02151.

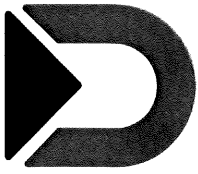
A copy of the aforementioned application (C-25-09) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM to 12:00PM. If unable to attend the public hearing, proponent/opponent testimony will be accepted in writing via email to amelnik@revere.org on or before May 13, 2025.

Attest:

Ashley E. Melnik
City Clerk

Revere Journal
Check attached #10935
04/30/2025
05/07/2025

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)



D'Ambrosio LLP
COUNSELORS AT LAW

185 Devonshire Street, 2nd Floor
Boston, Massachusetts 02110
T: (617) 720-5657
F: (617) 723-4967
www.dambrosiollp.com

3.a

April 23, 2025

Via Hand Delivery

Ashley Melnik
Revere City Clerk
City of Revere
281 Broadway
Revere, MA 02151

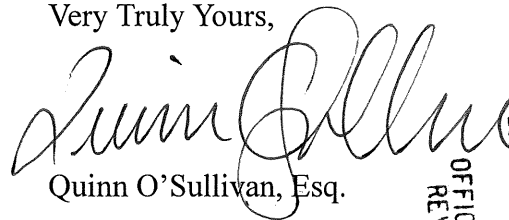
RE: Special Permit Application for 350 Squire Road, Revere

Dear Ms. Melnik,

As you know, this office represents New York Capital Investments LLC, as to its development of 350 Squire Road, Revere. Enclosed for filing please find the special permit application for the project.

Thank you in advance for your assistance.

Very Truly Yours,


Quinn O'Sullivan, Esq.

2025 APR 23 PM 2:54
OFFICE CITY CLERK
REVERE, MASS

FILED

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

FORM B

APPLICATION NO. C-25-09
DATE: 4/23/25

**City of Revere, Massachusetts,
Zoning Board of Appeals
Revere City Council Application For
Special Permit**

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the Revere City Council for the following:

- A. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.200 (Revised Ordinances of the City of Revere),
- ☒ B. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.16, Section 17.16.040 and Chapter 17.08, Section 17.08.572.
- C. Application for Special Permit for Alteration and Extension of Nonconforming Structure (Revised Ordinances of the City of Revere), Title 17, Chapter 17.40, Section 17.40.030.

1. Applicant submitting this application is:

Name: New York Capital Investment Group LLC

Address: 500 Turnpike St., Canton, MA 02021

Tel. #: c/o D'Ambrosio LLP (617) 720-5657

2. Applicant is: ☐ Tenant ☐ Licensee ☒ **Prospective Purchaser**
☐ Owner ☐ Other (Describe)

3. The following person is hereby designated to represent the applicant in matters arising hereunder:

Name: Gerry D'Ambrosio, Esq. and Nancy O'Neil, Esq.

Title: Counsel for Applicant

Address: 14 Proctor Ave, Revere, MA 02151

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

Tel. #: (617) 720-5657

4. The land for which this application is submitted is owned by:

Name: 418 RE-350 Squire, LLC

Address: 250 Dorchester Avenue, South Boston, MA 02127

Tel. #: c/o D'Ambrosio LLP (617) 720-5657

5. The land described in this application is recorded in Suffolk County Registry of Deeds, Book 55726, Page 179, attached hereto as **Exhibit A.**

6. Plans describing and defining the Special Permit for Car Wash Use are included herewith as **Exhibit B.**

7. A map describing the land uses of adjacent and nearby properties is included and made part of this application.

Please see the City of Revere, Zoning Summary Map, available at www.gis.revere.org. An enlargement is attached hereto as **Exhibit C.**

8. A locus map (8½" x 11") copy of City of Revere or USGS topographic sheet with site marked for which permit is requested is included and made part of this application.

Please see the City of Revere GIS Map and the USGS topographic maps attached hereto as **Exhibit D.**

9A. Is the site of this application subject to the Wetland Protection Act (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Sec. 105)?

Yes

No

do not know

9B. Is the location of the site of this application within 100 feet of:

_____ a coastal beach; _____ salt marsh; _____ land under the ocean;

_____ do not know; **X** **no.**

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

The land situated in Revere, Suffolk County, and being shown as Lots 698, 699, 700, 701, 702, 703, 704, 705, 706 and 707 on a plan entitled "Plan of Linden Terrace, No. 2, Revere, Mass., Property of Squire Real Estate Trust" dated September, 1918 by Whitman & Howard, which plan is recorded with Suffolk Deeds in Plan Book 4642, Page end, and being bounded and described as follows:

NORTHEASTERLY

By Squire Road as shown on said plan, also known as International Highway, 246.74 feet;

SOUTHEASTERLY

By Augustus Street, as shown on said plan, 92.81 feet;

SOUTHWESTERLY By Lots 708 and 697, as shown on said plan, 238.45 feet;

NORTHWESTERLY By Keayne Street, as shown on said plan, 99.87 feet.

Be any and all of the aforesaid measurements more or less or however otherwise the aforesaid premises may be bounded and described.

Please see **Exhibit E** for photographs of the current conditions at the Property.

11. What is the nature of the exception or special permit requested in this application?

The Applicant seeks to construct a car wash, allowable in the GB zoning district only by special permit of the City Council of the City of Revere. See, Site Plan Review Committee's Denial Letter attached hereto as **Exhibit F**. The special permit will allow the Applicant to construct a car wash at the Property.

The City Council should award this special permit because the Applicant's proposal is not detrimental to the neighborhood and would provide significant improvements to the current conditions at the Property. The current vacant and underutilized commercial property will be greatly improved by a new, modern, environmentally friendly car wash. The car wash will transform the vacant Property into a modern and state of the art car wash, providing an additional amenity for the residents of Revere.

The site is appropriate as the Applicant's proposed car wash will not have a detrimental impact on the surrounding neighborhood. The Project's design provides sufficient parking and queueing lanes to prevent traffic disruption on Squire Road. The internal traffic and pedestrian circulation are designed to maximize safety.

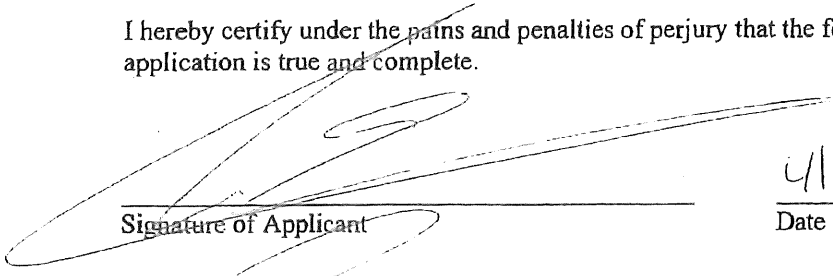
The Project is environmentally conscious. The car wash will use environmentally friendly and biodegradable cleaning products. The Project includes a water reclamation system which will treat, clean, and re-use the water which will protect the environment/groundwater, minimize water usage, and maximize water preservation. Additionally, stormwater management will be an improvement over the existing conditions at the Property. Stormwater management plans at the Property include an on-site infiltration system to pre-treat and hold the first inch of runoff before discharging into the municipal stormwater system.

Additionally, the Project mitigates sound impacts. A silencer unit will be installed at the car wash tunnel exit to mitigate sound. A landscape buffer is provided to create a dense vegetated buffer between the Project and the residential properties at its rear. The vacuum motor and separator units will be enclosed with an 8-foot-high solid wood fence with additional foam installation to reduce sound.

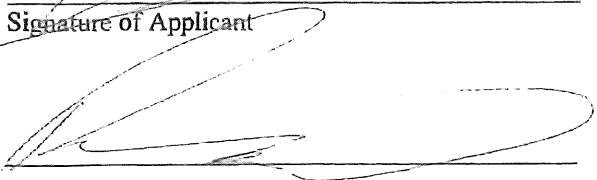
Further, the Project will increase the value of the commercially zoned Property and in turn, result in greater tax revenue for the City of Revere. The Applicant's use of the Property will conserve the value of land and prevent blight and pollution and is therefore in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere

Date of denial by the Site Plan Review Committee: April 22, 2025. Please see the Site Plan Review Committee denial letter attached hereto as **Exhibit F**.

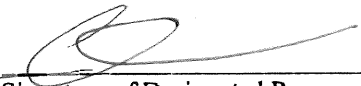
I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.



Signature of Applicant4/18/25

Date

Signature of Applicant4/18/25

Date

Signature of Designated Representative4.23.25

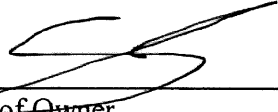
Date

Received from above applicant, the sum of \$ _____ to apply against administrative and mailing costs.

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

Signature of Applicant

Date



Signature of Owner

4/23/2025

Date

Signature of Designated Representative

Date

Received from above applicant, the sum of \$ _____ to apply against administrative and mailing costs.

**General Disclosure of Constituent Information
Relative to Applications Submitted to the Revere City Council**

**For Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions, Approvals,
Modifications and Amendments Which are Subject of Proceedings Before the Revere City Council**

1. Name and residential address of party submitting application:

Name: New York Capital Investment Group, LLC

Address: c/o D'Ambrosio LLP, 14 Proctor Ave, Revere, MA 02151

2. Name and residential address of each landowner on whose property subject matter will be exercised:
(Attach additional pages, if necessary.)

Name: 418 RE: 350 Squire, LLC

Address: 250 Dorchester Avenue, South Boston, MA 02127

3. If the party is a partnership, state the name and residential address of all partners within sixty (60) days of this application:

Partner's Name: N/A

Address: N/A

4. Name and residential address of each party to whom subject authorization will be issued:

Name New York Capital Investment Group, LLC

Address: c/o D'Ambrosio LLP, 14 Proctor Ave, Revere, MA 02151

5. If the party is a trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this application:

Trustee's Name: N/A

Address: N/A

5. If the party is a joint venture, state the name and residential address of each person, form of company that is party to the joint venture within sixty (60) days of the filing of this application.

Joint Venture Name: N/A

Address: N/A

A copy of the Joint Venture agreement is on file at _____ and will be delivered upon request.

Page 2
General Disclosure Form

7. If the party is a corporation, provide the name and residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application:

Officer's Name: N / A

Address: N / A

Director's Name: N / A

Address: N / A

Shareholder's Name: N / A
(50% or more)

Address: N / A

8. If the party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days of the date of this application.

General Partner's Name: N/A

Address: N/A

9. If the party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this application.

General Partner's Name
of Limited Partnership: N/A

Address: N/A

10. If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the certificate require by Mass. General Law, Chapter 110, Section 5, is on file:

N/A

[Signatures on following page]

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

The foregoing information is provided under the Pains and Penalty of Perjury,

Signature of each party and landowner:

Name

Date

4/18/25

Name

Date

4/18/25

Name

Date

4-18-25

Name

Date

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

The foregoing information is provided under the Pains and Penalty of Perjury,

Signature of each party and landowner:


Name Euz Azevedo

4/23/2025
Date

Name

Date

Name

Date

Name

Date

Request for Finding of Fact – Special Permit

Now comes the applicant **New York Capital Investment Group LLC** who has applied to this Honorable City Council for a special permit for property located at **350 Squire Road, Revere**, and asks that said Council make the following findings of fact:

1. **That the proposed use would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reasons:**
 - (a) The Project encourages the most appropriate use of land throughout the City and conserves the value of land and buildings by proposing to construct a new car wash along a state highway on a currently vacant and underutilized lot, in harmony with the purposes of the Revere Zoning Ordinances. *See*, Revere Zoning Ordinances, §17.04.010.
 - (b) The Project preserves and increases amenities by providing a car wash for City of Revere residents.
2. **That the specific site is an appropriate location for such use for the following reasons:**
 - (a) The proposed car wash is located in the General Business District, a commercial district, and is situated on Squire Road, a significant thoroughfare for vehicle traffic, such that car wash use is appropriate.
 - (b) Car wash use is consistent with the adjacent commercial uses along Squire Road, including a gas station and large shopping plaza.
 - (c) The site is appropriate as the Applicant's proposed car wash will not have a detrimental impact on the surrounding neighborhood.
3. **That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:**
 - (a) There are adequate utilities servicing the Property.
 - (b) The Project includes a water reclamation system which will treat, clean, and re-use the water which will protect the environment/groundwater, minimize water usage, and maximize water preservation.
 - (c) Stormwater management will be an improvement over the existing conditions at the Property. Stormwater management plans at the Property include an on-site infiltration system to pre-treat and hold the first inch of runoff before discharging into the municipal stormwater system.
4. **That the use as developed will not adversely affect the neighborhood, for the following reasons:**
 - (a) The Project will be less detrimental to the neighborhood than the existing conditions because the Project is an overall improvement over the existing aesthetics, stormwater management, utilities, lighting, and landscaping.
 - (b) An adequate screening area is provided between the car wash and the adjacent residential uses such that any impact on the residences is minimized.
 - (c) The car wash will not deviate or substantially change the character of the neighborhood along Squire Road as it is a highly traveled road with various commercial uses located along it.

5. **That there will not be a nuisance or serious hazard to vehicles or pedestrians using Squire Road, Keayne Street, and Augustus Street for the following reasons:**

- (a) Adequate parking and queueing lanes are provided to prevent traffic disruption on Squire Road.
- (b) General access to the car wash is limited to one curb cut on Squire Road. General access to or from the Property via a curb cut on Augustus Street will be prohibited by the installation of a gate and will only be utilized by emergency service personnel for access when necessary. There will be no curb cut on Keayne Street. As such, minimal impact is anticipated on the adjacent residential streets.

6. **That adequate and appropriate facilities will be provided for the proper use, for the following reasons:**

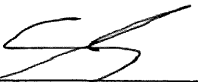
- (a) There are adequate and appropriate utilities servicing the Property.
- (b) The Project includes a water reclamation system which will treat, clean, and re-use the water which will protect the environment/groundwater, minimize water usage, and maximize water preservation.
- (c) A total of twenty-one (21) parking spaces are provided on site for employees and use of car vacuums.

Date: 4-23-25

Respectfully submitted by: Quinn O'Sullivan, Esq.

Certification

Pursuant to M.G.L. Chapter 62C, Sec. 49A, I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required by law.

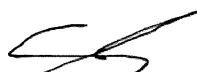


 Signature of Individual or
 Corporate Name

by: _____
 Corporate Officer (if applicable)

Certification

Pursuant to M.G.L. Chapter 40, Section 57(a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that I have paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.

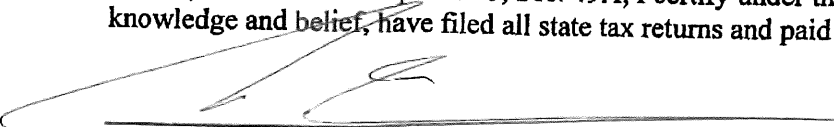


 Signature of Individual or
 Corporate Name

by: _____
 Corporate Officer (if applicable)

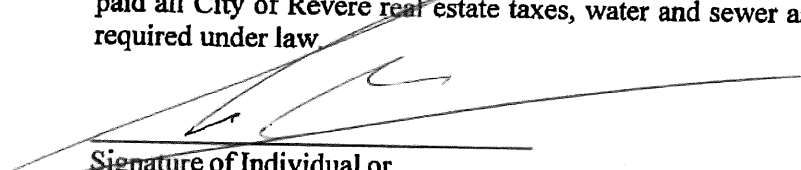
Certification

Pursuant to M.G.L. Chapter 62C, Sec. 49A, I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required by law.



Signature of Individual or
Corporate Name
by: _____
Corporate Officer (if applicable)**Certification**

Pursuant to M.G.L. Chapter 40, Section 57(a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that I have paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.



Signature of Individual or
Corporate Name
by: _____
Corporate Officer (if applicable)

EXHIBIT – A

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

MASSACHUSETTS EXCISE TAX
Suffolk County District ROD # 001
Date: 02/17/2016 03:02 PM
Ctrl# 15638630144 Doc# 00014206
Fee: \$6,840.00 Cons: \$1,500,000.00



2016 00014206
Bk: 55726 Pg: 179 Page: 1 of 3
Recorded: 02/17/2016 03:02 PM
ATTEST: Thomas M Ryan, Temp Register
Suffolk County Registry of Deeds

QUITCLAIM DEED

350 Squire Road LLC, a Massachusetts limited liability company having an office at 3 Rose Farm, Woburn, Middlesex County, Massachusetts 01801 for consideration paid and in full consideration of One Million Five Hundred Thousand Dollars (\$1,500,000.00) grants to 418 RE – 350 Squire, LLC, a Massachusetts limited liability company of 250 Dorchester Avenue, South Boston, Suffolk County, Massachusetts 02127 with quitclaim covenants, the land situated in Revere, Suffolk County, and being shown as Lots 698, 699, 700, 701, 702, 703, 704, 705, 706 and 707 on a plan entitled "Plan of Linden Terrace, No. 2, Revere, Mass., Property of Squire Real Estate Trust" dated September, 1918 by Whitman & Howard, which plan is recorded with Suffolk Deeds in Plan Book 4642, Page end, and being bounded and described as follows:

NORTHEASTERLY	by Squire Road as shown on said plan, also known as International Highway, 246.74 feet;
SOUTHEASTERLY	by Augustus Street, as shown on said plan, 92.81 feet;
SOUTHWESTERLY	by Lots 708 and 697, as shown on said plan, 238.45 feet;
NORTHWESTERLY	by Keayne Street, as shown on said plan, 99.87 feet.

Be any and all of the aforesaid measurements more or less or however otherwise the aforesaid premises may be bounded and described.

Being the same property conveyed to Grantor by Deed dated April 22, 2013 and recorded with said Deeds in Book 51321, Page 59.

Lots 698, 699, 700, 701, 702, 703, 704, 705, 706 and 707, Revere, Massachusetts
a/k/a 350 Squire Rd, Revere

Said premises are conveyed subject to all existing Engineering and Institutional Controls, easements, covenants, restrictions, reservations and exceptions set forth in the Deed to Grantor dated April 22, 2013 recorded with said Deeds in Book 51321, Page 59.

Grantor certifies that Grantor does not have a former partner or spouse and/or former partner in a civil union who can claim the benefit of the Massachusetts Homestead Act under Massachusetts General Laws, Chapter 188.

The grantor hereby certifies that it has not elected to be treated as a corporation for federal tax purposes for the current taxable year.

REMAINDER OF PAGE INTENTIONALLY LEFT BLANK

SIGNATURE PAGE TO FOLLOW

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

Witness my hand and seal this 17th day of February, 2016.

350 SQUIRE ROAD LLC
By its Manager, Northgate Partners LLC

By:

Joseph C. Prizio
Joseph C. Prizio, Manager

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

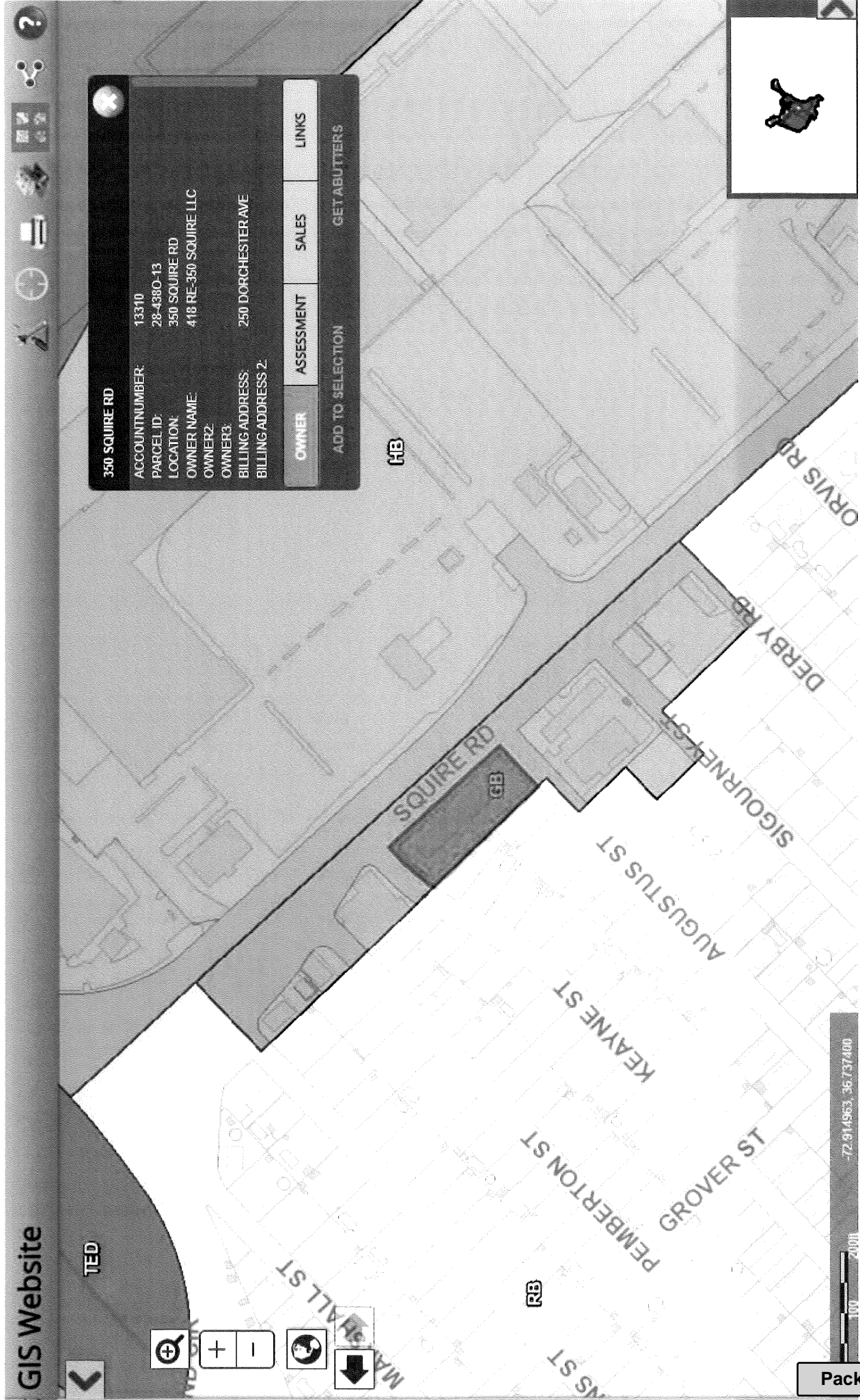
On the 17th day of February, 2016, before me, the undersigned notary public, personally appeared Joseph C. Prizio, Manager of 350 SQUIRE ROAD LLC, as aforesaid, and proved to me through satisfactory evidence of identification, being his Driver's License, or other government issued photo identification, to be the person whose name is signed on this document, and acknowledged to me that he signed it voluntarily for its stated purpose and that the foregoing instrument is his free will, act and deed.

Ryan P.B. Kelly
Notary Public:

My Commission Expires:



EXHIBIT – C



TED

350 SQUIRE RD

ACCOUNTNUMBER: 13310

PARCEL ID: 28-4380-13

LOCATION: 350 SQUIRE RD

OWNER NAME: 418 RE-350 SQUIRE LLC

OWNER2:

OWNER3:

BILLING ADDRESS: 250 DORCHESTER AVE

BILLING ADDRESS 2:

OWNER

ASSESSMENT

SALES

LINKS

ADD TO SELECTION

GET ABUTTERS

HB

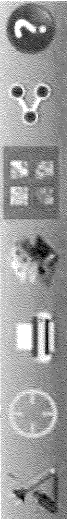
GB

RB

-72.914863, -36.737400

EXHIBIT – D

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)



350 SQUIRE RD

ACCOUNTNUMBER: 13310

PARCEL ID: 28-4380-13

LOCATION: 350 SQUIRE RD

OWNER NAME: 418 RE-350 SQUIRE LLC

OWNER2:

OWNER3: 250 DORCHESTER AVE

BILLING ADDRESS: 250 DORCHESTER AVE

BILLING ADDRESS 2:

OWNER

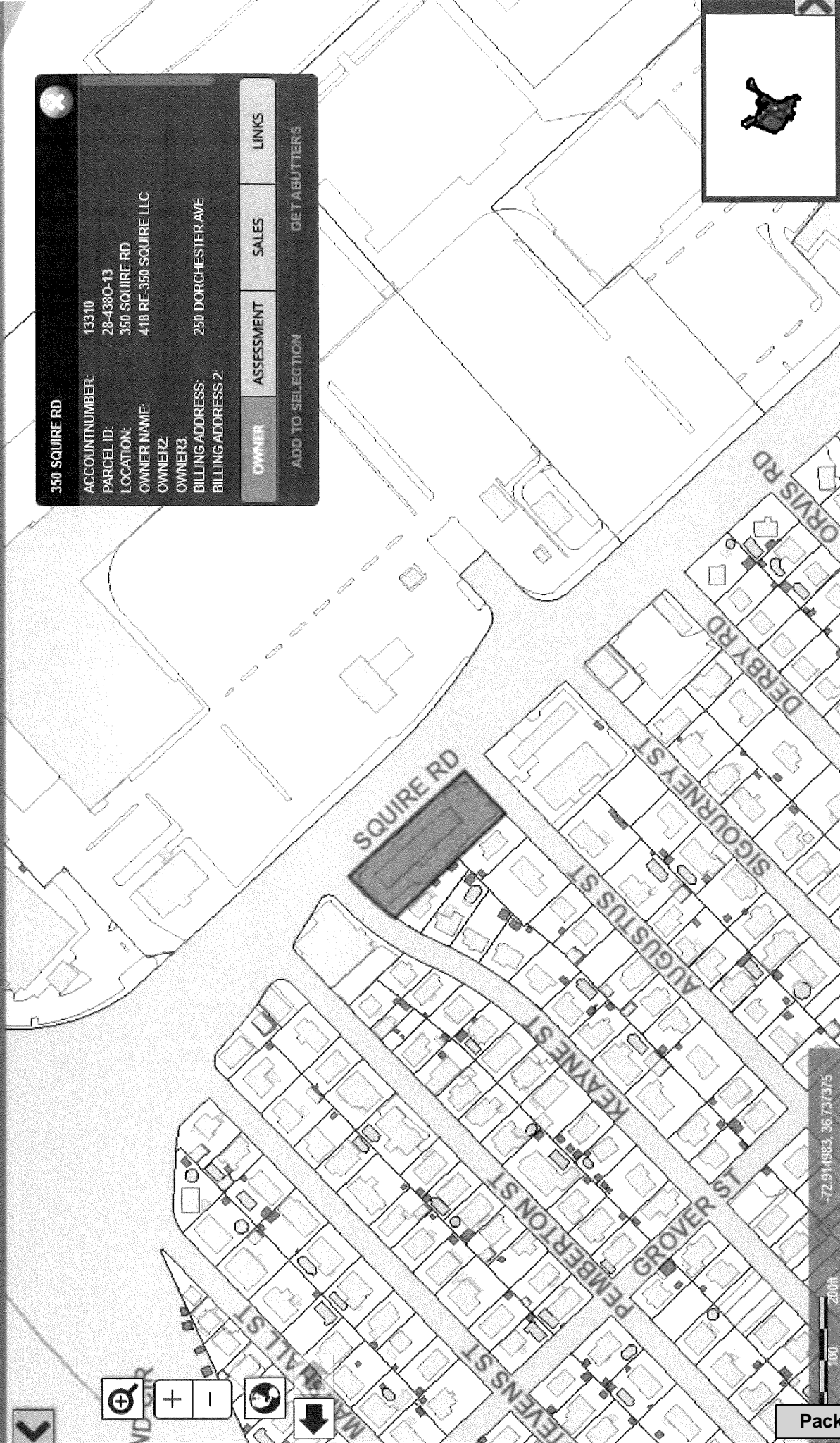
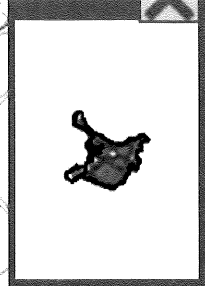
ASSESSMENT

SALES

LINKS

ADD TO SELECTION

GET ABUTTERS





topoBuilder Application v: 1.5.6

[User Guide](#)

① Map Types

② Maps

③ Cart 0

Track

Help



USGS The National Map: National Boundaries Dataset, 3DEP Elevation Program, Geographic Names Information System, National Hydrography Dataset, National Land Cover Database, National Structures Dataset, and National Transportation Dataset. Powered by Esri

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U.S. Department of the Interior | DOI Inspector General | White House | E-gov | No Fear Act | FOIA

350 Squire Road, Reverse, X Q + |



EXHIBIT – E

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

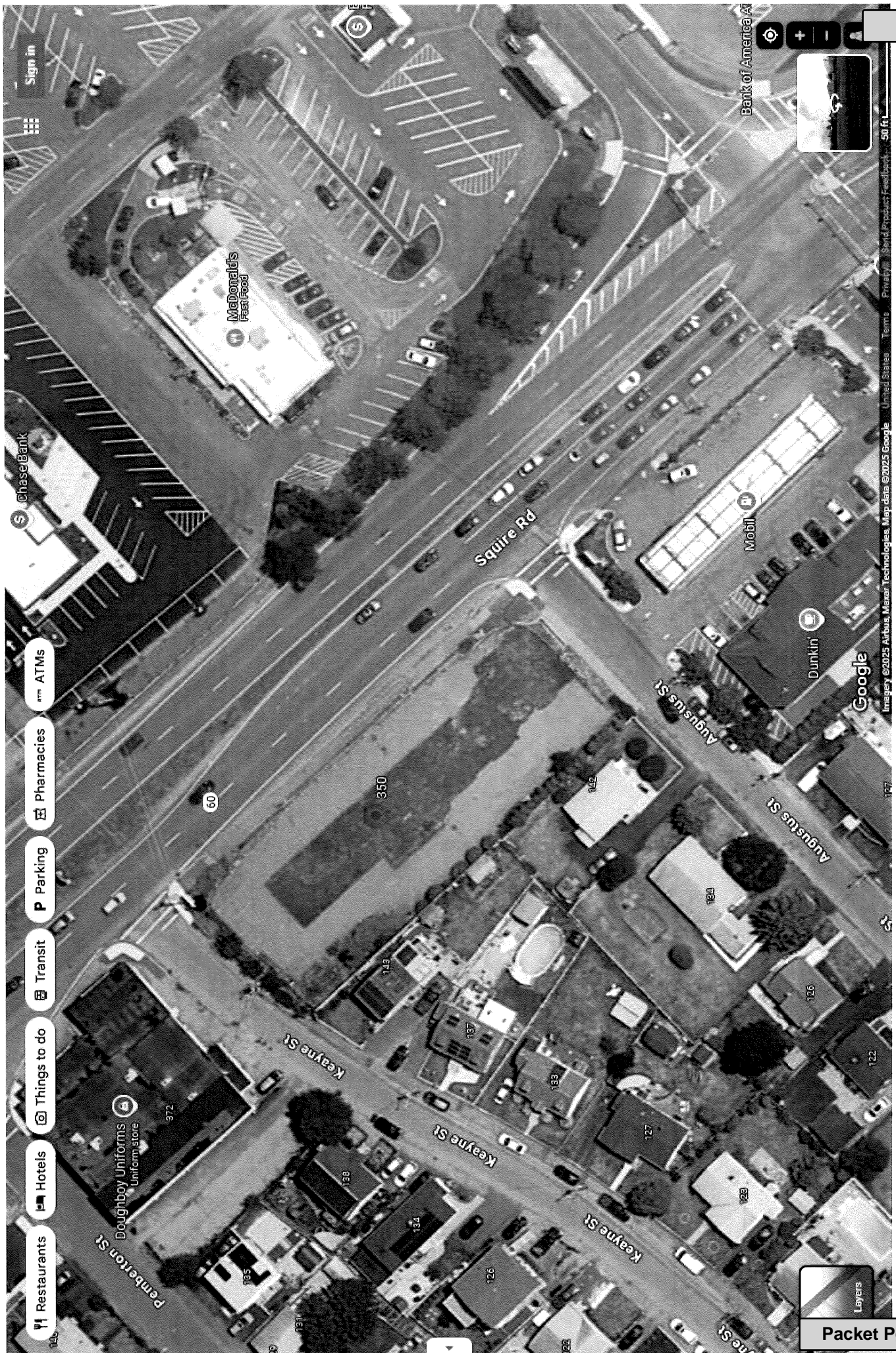












EXHIBIT – F

Quinn O'Sullivan

From: fstringi@revere.org
Sent: Tuesday, April 22, 2025 10:55 AM
To: Quinn O'Sullivan; amelnik@revere.org; lcavagnaro@revere.org
Subject: Application Review Comments

CITY OF REVERE APPLICATION REVIEW

City of Revere Site Plan Review Review Comments

From: Frank Stringi
Date: April 22, 2025
Application #: SPR25-000048
Address: 350 SQUIRE RD
Description: Car Wash
Review Status: Denied

Thank you for your recent permit application for Car Wash. I have completed my initial review and my comments are listed below, you can view marked up plans on our [CLICK HERE TO VIEW YOUR APPLICATION](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

Reviewer: Frank Stringi, Community Development, Denied

1. This plan has been denied for the following reasons: In accordance with Section 17.16.040 and Section 17.16.410 a car wash may only be allowed by special permit of the City Council within the GB District.

NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application. Log back into your account and edit either your Registration or Permit as requested in the comments.

Please do not reply to this automated email. All resubmittals should be done using our online portal at www.citizenserve.com/revere re-review. Furnishing the above requested information will help expedite the approval of your application.

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)



Brian M. Arrigo
Mayor

The City of REVERE, MASSACHUSETTS

*paid
check #
10724*

BOARD OF ASSESSORS

Andrew A. Iovanna

John J. Verriglia

Dana E. Brangiforte

Request for Abutters List

Date: January 14, 2025

Property Location: 350 Squire Road

Map: 28

Block: 4380

Parcel: 13

Property Owner: 418 RE - 350 Squire, LLC

Is request for special permit or variance? YES X NO

If yes than 300Ft is required distance. If no, than please indicate requested distance below.

Requested Distance:

_____ FT

Fee: \$80.00

Please make checks payable to City of Revere

Requester Information:

Name: Quinn O'Sullivan D'Ambrosio LLP

Address: 14 Proctor Ave

Revere, MA 02151

Telephone: 617-720-5657

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

28

Map

4380

Block

13

Lot

1 of 1

CARD

Revere

Lot3

APPAISED: 973,300/

USE VALUE: 973,300/

ASSESSED: 973,300/

Total Card / Total Parcel

973,300/ 973,300/ 973,300/

PROPERTY LOCATION

No	Alt No	Direction/Street/City
350		SQUIRE RD, REVERE

OWNERSHIP

Owner 1:	418 RE-350 SQUIRE LLC				
Owner 2:					
Owner 3:					
Street 1:	250 DORCHESTER AVE				
Street 2:					
Twn/City:	SOUTH BOSTON				
St/Prov:	MA	Cntry:		Own Occ:	
Postal:	02127	Type:			

PREVIOUS OWNER

Owner 1:	350 SQUIRE ROAD LLC -		
Owner 2:	-		
Street 1:	3 ROSE FARM LN		
Twn/City:	WOBURN		
St/Prov:	MA	Cntry:	
Postal:	01801		

NARRATIVE DESCRIPTION

This Parcel contains .539 Acres of land mainly classified as LAND-C

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
390	0.539			973,300	973,300

Total Card

	0.539			973,300	973,300
--	-------	--	--	---------	---------

Total Parcel

	0.539			973,300	973,300
--	-------	--	--	---------	---------

Source: Market Adj Cost

		Total Value per SQ unit /Card:	N/A	/Parcel:	N/A
--	--	--------------------------------	-----	----------	-----

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2025	390	NC		0	.539	973,300	973,300	973,300	Year End Roll	11/1/2024
2024	390	FV		0	.539	884,800	884,800	884,800	Year End Roll	12/26/2023
2024	390	NC		0	.539	884,800	884,800	884,800	Year End Roll	11/20/2023
2023	390	FV		0	.539	766,800	766,800	766,800	Year end	1/6/2023
2023	390	NC		0	.539	766,800	766,800	766,800	Year End Roll	10/21/2022
2022	390	FV		0	.539	678,300	678,300	678,300	Year End Roll	12/30/2021
2022	390	NC		0	.539	678,300	678,300	678,300	Year End Roll	11/9/2021
2021	390	FV		0	.539	619,400	619,400	619,400	Year End Roll	12/15/2020

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
350 SQUIRE ROAD	55726-179		2/17/2016	INTRA-CORP	1,500,000	No		No	
GLOBAL COMPANIE	51321-59		4/22/2013	INTRA-CORP	2,000,000	No		No	
MOBIL OIL CORPO	46894-267		9/2/2010	MULTIPLE PAR	6,355,000	No		No	SALE INCLS SALES IN HYDE PARK/DORCHESTER AND
UNKNOWN	16934/295		7/10/1991		200,000	No		No	

TAX DISTRICT

--	--	--	--	--	--	--	--	--	--	--

PAT ACCT.

--	--	--	--	--	--	--	--	--	--	--

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z				water		
o				Sewer		
n				Electri		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / Price/Units	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Infl	Neigh Mod	Appraised Value	Alt Class	% Land	Spec Code	J Code	Fact Use Value	Notes
390	LAND-C		23464		Sq Feet	SITE	1.0	0	33.	1.26	CG			973,264	0				973,300	

ACTIVITY INFORMATION

Date	Result	By	Name
10/5/2016	PERMIT	336	MATT MCGRATH
3/7/2015	MEASURED	372	Patrick W
7/14/2010	PERMIT	TO	Town
5/19/2006	MEAS & INSP	345	JAMES HALL

VERIFICATION OF VISIT NOT DATA

Sign: / /

BUILDING PERMITS

Date	Number	Descrp	Amount	C/O	Last Visit	Fed Code	F. Descrp	Comment
6/15/2011	8955	SIGN	4,000	C			FLORESCENT	
5/5/2010	7747	WINDOWS	19,000	C			STOREFRONT FRAME A	
6/13/2001	7684	Commerci	7,500	C			Commercial REPAIR	
6/8/2001	7668	Commerci	2,600	C			Commercial REFACE	
5/10/2001	7562	Commerci	29,560	C			Commercial RENOVAT	
6/27/1991	9445			C	7/1/1991		COMM DEMOLISH & CO	

Packet Pg. 60

Attachment: C2509.350SquireRoad.Packet (25-150 : Special Permit, C-25-09, 350 Squire Road, Car Wash)

3.a

139 SIGOURNEY ST 28-438K-12

LUC: 104

DERBY REALTY TRUST
 PEDICINI JERRY TRUSTEE
 10 MILANO DR
 SAUGUS, MA 01906

318 SQUIRE RD 28-438K-14

LUC: 325

TRIPLE SINGH LLC
 30 EDWARD AVE
 LYNNFIELD, MA 01940

304 SQUIRE RD 28-438K-15A

LUC: 326

REVERE DEV LLC
 301 ROUTE 17 N, SUITE 802
 RUTHERFORD, NJ 07070

133 SIGOURNEY ST 28-438K-9

LUC: 104

FAZZOLARI VINCENZO
 FAZZOLARI LINA
 11 ANTONIO DR
 PEABODY, MA 01960

338 SQUIRE RD 28-438M-13A

LUC: 333

REVERE SQUIRE ROAD LLC
 338 SQUIRE RD
 REVERE, MA 02151

SIGOURNEY ST 28-438M-23A

LUC: 130

REVERE SQUIRE ROAD LLC
 338 SQUIRE RD
 REVERE, MA 02151

128 SIGOURNEY ST 28-438M-25

LUC: 101

ROTONDO PASQUALE
 ROTONDO ADELIN
 128 SIGOURNEY ST
 REVERE, MA 02151

127 AUGUSTUS ST 28-438M-9A

LUC: 104

NGUYEN TU QUANG
 127 AUGUSTUS ST
 REVERE, MA 02151

137 KEAYNE ST 28-438O-11

LUC: 101

SHERMAN JAMES
 SHERMAN DONNA M
 137 KEAYNE ST
 REVERE, MA 02151

143 KEAYNE ST 28-438O-12

LUC: 101

PETRILLO GEORGE J LIFE ESTATE
 PETRILLO FRANCES M LIFE ESTATE
 143 KEAYNE ST
 REVERE, MA 02151

350 SQUIRE RD 28-438O-13

LUC: 390

418 RE-350 SQUIRE LLC
 250 DORCHESTER AVE
 SOUTH BOSTON, MA 02127

142 AUGUSTUS ST 28-438O-14

LUC: 101

ANDREW DONALD DEFRANCESCO &
 SHARON LOUIS DEFRANCESCO IRREVOCABLE TRUST
 142 AUGUSTUS ST
 REVERE, MA 02151

134 AUGUSTUS ST 28-438O-15

LUC: 101

LAMBORGHINI SUSAN C
 BERNIER THERESA G
 134 AUGUSTUS ST
 REVERE, MA 02151

145 STEVENS ST 29-437J-14

LUC: 105

SQUIRE ROAD REALTY LLC
 1 HUNT DR
 STOUGHTON, MA 02074

386 SQUIRE RD 29-437J-15

LUC: 325

RIGONATTI NILSON
 BENATTI ANGELICA C
 1200 SALEM ST
 UNIT 114
 LYNNFIELD, MA 01940
 140 PEMBERTON ST
 FEOLA GUISEPINA
 aka JOSEPHINE FEOLA
 4733 SCOTT MILL CT
 SAUGUS, MA 01906

372 SQUIRE RD 29-438Q-12A

LUC: 031

372 SQUIRE ROAD REALTY TRUST
 HELMS MARK T TRUSTEE
 372 SQUIRE RD
 Revere, MA 02151

138 KEAYNE ST 29-438Q-17A

LUC: 101

DJUIKOUO EDWIGE KE
 8717 ARBOR LAKE DR
 APT 1423
 INDIANAPOLIS, IN 46268

135 PEMBERTON ST 29-438Q-17B

LUC: 101

GALVIS CRISTIAN C
 HENAO NATALIA A
 135 PEMBERTON ST
 REVERE, MA 02151

339 SQUIRE RD 30-435C-6A

LUC: 323

NORTHGATE SHOPPING CENTER LTD
 PARTNERSHIP
 POST OFFICE BOX 590249
 NEWTON CENTER, MA 02459

THIS IS A TRUE & ATTESTED
 COPY OF THE RECORDS OF THE
 ASSESSOR'S OFFICE OF THE
 CITY OF REVERE
Susan Shaffer
 DATE: 1-17-25

EXHIBIT – B

PROPOSED CAR WASH FACILITY AT 350 SQUIRE ROAD, REVERE, MA



GENERAL NOTES

1. ALL LANDSCAPING SHOWN ON PLANS SHALL CONFORM TO THE CITY OF REVERE ZONING REGULATIONS.

2. ALL SITE LIGHTING SHOWN ON PLANS SHALL BE DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF REVERE ZONING REGULATIONS.

3. SITE IMPROVEMENTS DEPICTED ON THESE PLANS INCLUDING THE PROPOSED BUILDING, PARKING, WALKWAY CURB CUTS AND REQUIRED SIGNAGE SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) MAAB AND WEYMOUTH COMMISSION ON DISABILITIES IF APPLICABLE WITH REGARD TO DIMENSIONS, GRADE AND NUMBER OF SPACES.

4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES (ELECTRIC, GAS, TELEPHONE, WATER AND SEWER) SHOWN ON THESE PLANS IS APPROXIMATE AND WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.

5. THE LOCATION OF EXISTING UTILITIES, TOPOGRAPHY AND PROPERTY LINE INFORMATION ARE TAKEN FROM A PLAN ENTITLED, "EXISTING CONDITIONS PLAN, IN REVERE, MASSACHUSETTS", PREPARED BY E.T. ENGINEERING ENTERPRISES INC. 481 BEDFORD ST. (ROUTES 18 & 28) BRIDGEWATER, MA 02324-3152, PREPARED FOR NIR & RONEN DRORY, DATED DECEMBER 07, 2024, SCALE 1 INCH = 20 FEET.

6. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF MASSACHUSETTS AND THE CITY OF REVERE PRIOR TO COMMENCING ANY WORK.

7. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE CONSTRUCTION DRAWING AND TO NOTIFY THE ENGINEER WITH ANY DISCREPANCY BETWEEN THE PROPOSED WORK SHOWN ON THESE PLANS AND THE REQUIREMENTS OF LOCAL AND STATE CODES.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.

10. ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL CONFORM TO APPLICABLE CITY OF REVERE ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE TESTING, START-UP AND COMPLETION OF THIS WORK.

12. THE CONTRACTOR SHALL MAINTAIN EXCAVATION IN DRY CONDITIONS.

13. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.

14. ALL EXISTING UTILITIES WATER, GAS, DRAINS, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD. ANY DEVIATION FROM THE CONTENT OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS ENGINEER WOULD MAKE IT NULL AND VOID.

15. IN CASE OF A CONFLICT BETWEEN THE PROPOSED WORK SHOWN ON THIS PLAN AND THE APPLICABLE LOCAL AND STATE CODES, THE APPLICABLE CODES SHALL GOVERN.

16. THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING UTILITIES AND STREETS NEXT TO THE PROPOSED WORK.

17. ALL CONSTRUCTION MATERIAL, COMPONENTS, AND METHODS EMPLOYED ON THIS PROJECT WORK SHALL CONFORM TO THE CITY OF REVERE OR THE MASS DOT FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT.

18. DESIGN LOADING FOR ALL PRE-CAST UNITS TO BE AASHTO-H20 UNLESS OTHERWISE NOTED.

19. RESTORE ALL DISTURBED AREAS BEYOND PROJECT LIMITS AND 6" LOAM AND SEED ALL AREAS NOT PAVED.

20. COORDINATE UTILITY INSTALLATION WITH APPROPRIATE VENDORS.

21. ALL OUTSIDE MECHANICAL APPURTENANCES TO BE PLACED ON CONCRETE UTILITY PADS AND SCREENED WITH FINISH TO MATCH BUILDING.

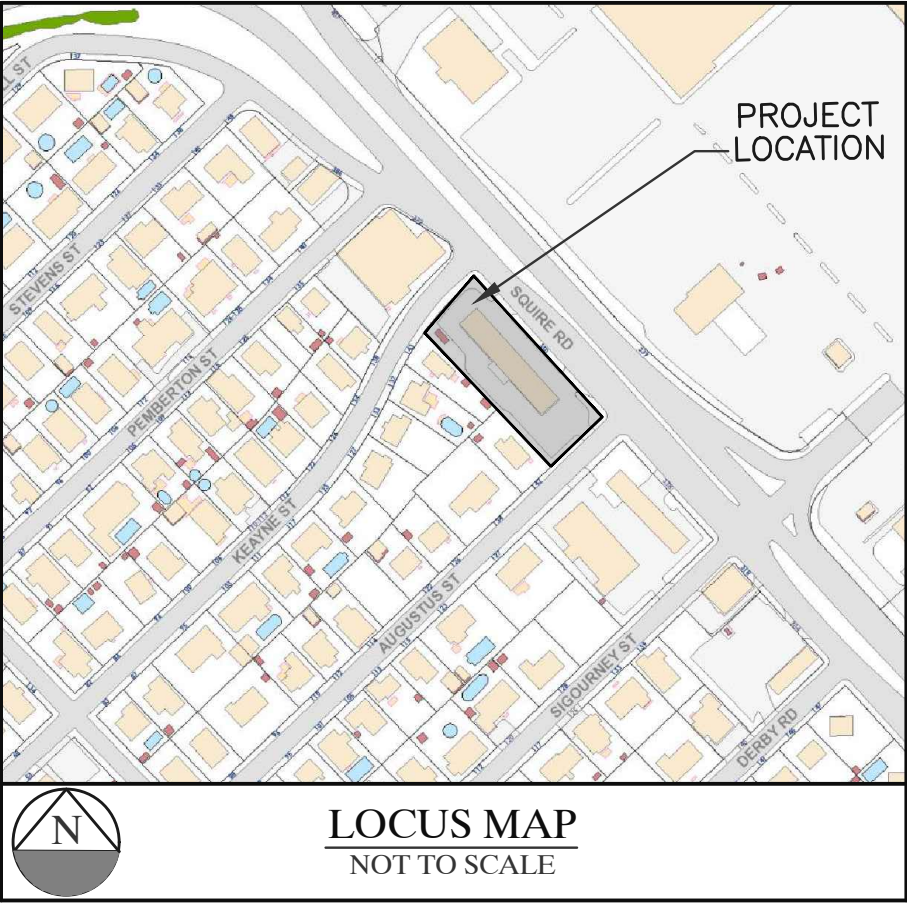
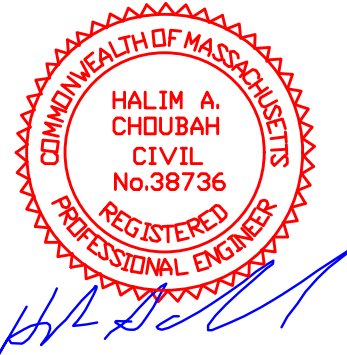
22. ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.

23. 6" LOAM AND SEED ALL DISTURBED AREAS NOT PAVED.

24. DRIVEWAY, WALKWAYS, PATIO, DRAINAGE SYSTEM, LANDSCAPING, LIGHTING, STORMWATER INFILTRATION SYSTEM AND COMMON AREAS SHALL BE OWNED, INSPECTED, MAINTAINED AND REPAIRED BY THE APPLICANT AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY TO MAINTAIN.

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1.	COVER SHEET
2.	DEMOLITION, EROSION & SEDIMENT CONTROL PLAN
3.	EROSION CONTROL DETAILS & NOTES
4.	SITE LAYOUT PLAN
5.	GRADING & DRAINAGE PLAN
6.	UTILITY PLAN
7.	LANDSCAPE PLAN
8.	SITE DETAILS #1
9.	SITE DETAILS #2
10.	SITE DETAILS #3
11.	GRAYWATER SYSTEM & TANKS DETAILS
12.	CAR WASH FLOOR LAYOUT & ELEVATIONS
1 OF 1.	EXISTING CONDITIONS (E.T. ENGINEERING INC.)



LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXIST. CONTOUR		EXIST. ELECTRIC LINE
	PROP. CONTOUR		PROP. ELECTRIC LINE
	EXISTING SPOT GRADE		EXIST. GAS LINE
	PROPOSED SPOT GRADE		PROP. GAS LINE
	EASEMENT LINE		EXIST. TELEPHONE LINE
	PROPERTY LINE		PROP. TELEPHONE LINE
	NUMBER OF PARKING SPACES		EXIST. DRAINAGE LINE
	PROP. UTILITY POLE		PROP. DRAINAGE LINE
	EXIST. LIGHT POLE		EXIST. OVERHEAD WIRE
	SINGLE PROP. LIGHT POLE		PROP. OVERHEAD WIRE
	DOUBLE PROP. LIGHT POLE		EXIST. EDGE OF PAVEMENT
	GROUND CLEANOUT		PROP. EDGE OF PAVEMENT
	EXIST. CATCH BASIN		EXIST. VERTICAL GRANITE CURB
	PROP. CATCH BASIN		PROP. VERTICAL GRANITE CURB
	EXIST. ELECTRIC MANHOLE		CONCRETE CURB
	PROP. ELECTRIC MANHOLE		PROP. FENCE
	EXIST. SEWER MANHOLE		PROP. PYLON SIGN
	PROP. SEWER MANHOLE		EXIST. GATE
	EXIST. ELECTRIC MANHOLE		MA HIGHWAY BOUND
	EXIST. SEWER LINE		EXIST. LANDSCAPE AREAS
	PROP. SEWER LINE		PROP. LANDSCAPE AREAS
	EXIST. WATER LINE		DIRECTION OF RUN-OFF
	PROP. WATER LINE		

PREPARED BY:



112 STATE ROAD, NORTH DARTMOUTH, MA 02747
TEL: (508) 858-5040 FAX: (508) 858-5041 www.choubahgroup.com

APRIL 15, 2025
PROJECT No. 24-681

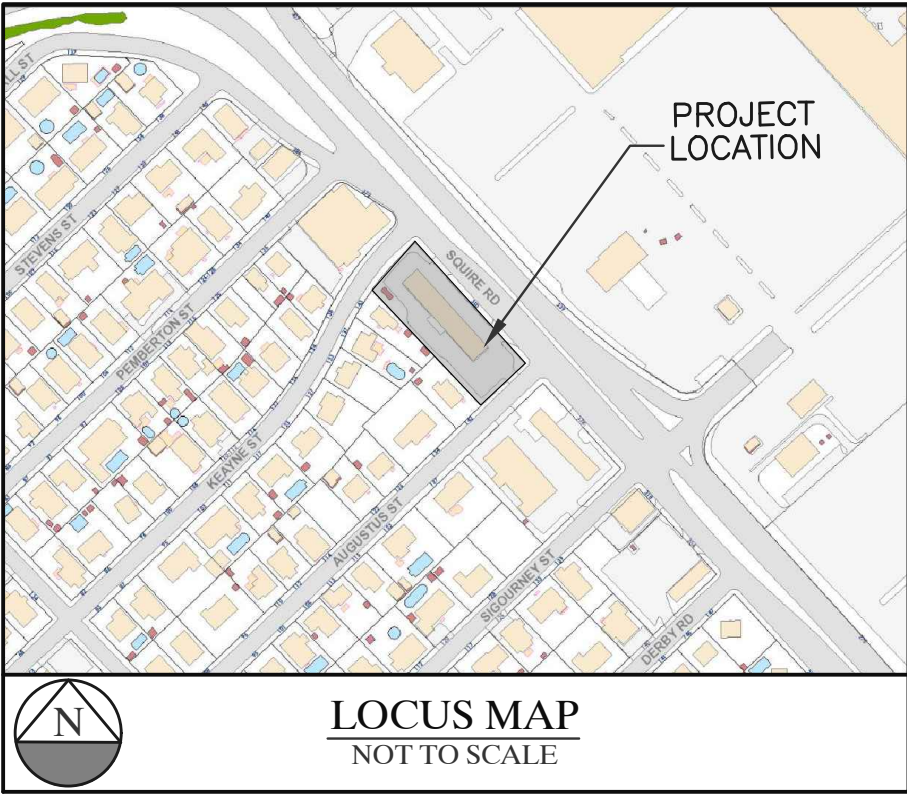
Prepared For:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON, MA 02021

SPECIAL PERMIT SET

SITE DATA :
ADDRESS:
350 SQUIRE ROAD,
REVERE, MA 02151
ZONING DISTRICT:
(GB)—GENERAL BUSINESS
AREA:
23,470 Sq.Ft.
EXISTING USE:
FORMALLY MOBILE GAS
STATION

350 SQUIRE ROAD, REVERE, MA		
ZONING ANALYSIS TABLE		
(GB)—GENERAL BUSINESS		
ZONING CRITERIA	REQUIRED	EXISTING
MIN. LOT SIZE	10,000 S.F.	23,470 S.F.
MIN. LOT FRONTAGE	100'	246.74'
MIN. FRONT SETBACK	N/A	N/A
MIN. SIDE SETBACK	20 q.v	N/A
MIN. REAR SETBACK	20 q.v	N/A
MAX. BUILDING HEIGHT	50' (5 STORIES)	N/A
MAX. LOT COVERAGE	N/A	N/A
MAX. OPEN SPACE	N/A	N/A
FLOOR AREA RATIO (FAR)	1.5	N/A

q) FOR ALL RESIDENTIAL USES IN GB AND CB DISTRICTS THE YARD DIMENSIONS SHALL BE AS FOLLOWS: FRONT 20', SIDE 15', REAR 20'
v) WHERE ABUTTING A RESIDENTIAL DISTRICT AND/OR USE.

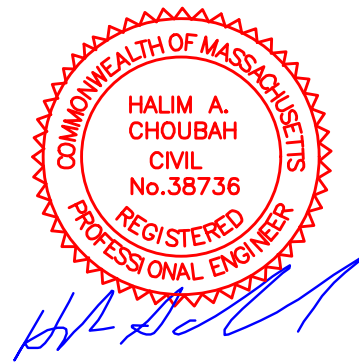


CHOUBAH ENGINEERING GROUP, P.C.
CEG
CONSULTING PROFESSIONAL ENGINEERS

112 STATE ROAD (ROUTE 6),
No. DARTMOUTH, MA 02747
TEL: (508) 858-5040 FAX: (508) 858-5041
www.choubahgroup.com

PROJECT:
**PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA**

PREPARED FOR:
**NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON MA**



Issue Date: 04/15/2025

Revisions		
No.	Date	Description

Project Number: 24-681

Scale: AS SHOWN

Designed By: CMS

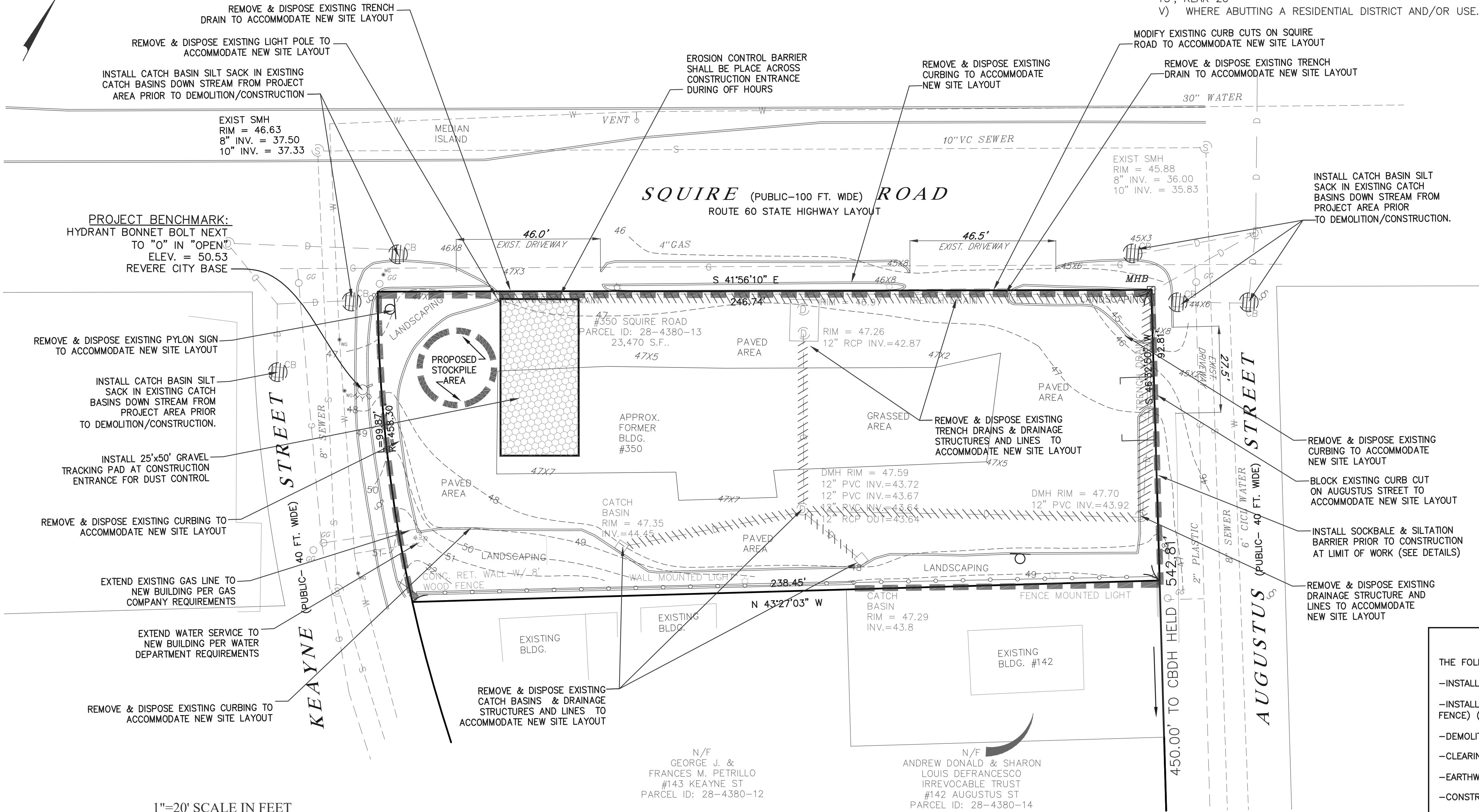
Drawn By: CMS

Checked By: HC

Sheet Title:

**DEMOLITION, EROSION &
SEDIMENT CONTROL PLAN**

Sheet Number: 2 OF 12



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
■ ■ ■ ■	SOCK BALES
---	EXIST. CONTOUR
52X40	EXIST. SPOT GRADE
---	EXIST. SEWER LINE
---	EXIST. WATER LINE
---	EXIST. ELECTRIC LINE
---	EXIST. GAS LINE
---	EXIST. DRAINAGE LINE
---	EXIST. OVERHEAD WIRE
UP	EXIST. UTILITY POLE
UP	PROP. UTILITY POLE
LP	EXIST. LIGHT POLE
LP	PROP. LIGHT POLE
---	EXIST. FIELD STONE WALL
EP	EXIST. EDGE OF PAVEMENT
---	CUT & MATCH PAVEMENT
---	EXIST. GATE
MA	MA HIGHWAY BOUND
---	EXIST. MONITORING WELL
5	NUMBER OF SPACES
R & D	REMOVE AND DISPOSE

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW WATTLES AND SILT FENCE) (AS SHOWN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE THIS SHEET)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- SECURE REQUIRED DEMOLITION PERMITS.
- ARRANGE WITH OWNER AND/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATION.
- RELOCATE ALL EXISTING ACTIVE GAS, WATER, VENTILATION, DRAIN, ELECTRIC AND OTHER UTILITY LINES AS REQUIRED FOR NEW CONSTRUCTION.
- TAKE SPECIAL CARE TO CONTROL DUST AND NOISE TO AVOID DISTURBING NEARLY PERSONS OR PROPERTY.
- GENERAL CONTRACTOR, DEMO CONTRACTOR RESPONSIBLE FOR REMOVAL OF ALL ABOVE GRADE AND BELOW GRADE BUILDING MATERIALS, PIPES, CONDUITS, STUMPS AND DEBRIS FROM SITE AND DISPOSED OF PER REGULATION REQUIREMENTS AND CONTRACT.
- DEMO CONTRACTOR TO INCUR ALL COST RELATING TO EXISTING CURB CUT, SIDEWALK, PROTECTED AREAS. DAMAGE IF REPLACEMENT IS REQUIRED.
- AMPLE EQUIPMENT & MANPOWER ON SITE TO COMPLETE TASK IN TIME AGREED.
- PROVIDE RODENT CONTROL PER HEALTH DEPARTMENT.

DUST CONTROL

- WIND-BORNE DUST FROM EXPOSED SOIL SURFACES DURING LAND DISTURBING/CONSTRUCTION ACTIVITIES SHALL BE CONTROLLED WITH FREQUENT WATER IRRIGATION APPLICATIONS AND/OR CALCIUM CHLORIDE. CALCIUM CHLORIDE SHALL BE APPLIED WITH A MECHANICAL SPREADER IN STRICT ACCORDANCE WITH THE SUPPLIER'S SPECIFIED RATES.
- INSTALL CATCH BASIN SILT SACKS IN EXISTING CATCH BASINS ON-SITE AND ON SQUIRE ROAD, KEYNE & AUGUSTUS STREETS DOWN STREAM FROM PROJECT AREA PRIOR TO DEMOLITION/CONSTRUCTION.

REMOVAL AND DISPOSAL OF:

ABOVE GRADE	BELOW GRADE	STABILIZE RESPECTIVE AREA OF SITE
LIGHTS/SIGN BASES	MAT, PIPING AND ELECTRICAL CONDUIT	BEFORE BACK FILLING OF HOLES ALL DEBRIS TO BE REMOVED FOR RECONSTRUCTION
I.D. SIGN	FOOTING	BEFORE BACK FILLING OF HOLES ALL DEBRIS TO BE REMOVED FOR RECONSTRUCTION
GENERAL DEBRIS	DISTURB ONLY MINIMAL AMOUNT OF AREA TO COMPLETE TASK	CONTRACTOR SHALL BE RESPONSIBLE FOR OVERVIEW ACTION & CONSULTATION RE:SOIL DISTURBANCE, SORTING AND RELATED PERMITS, REPORTS.

EROSION & SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSURE. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
- SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
- FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOY MAY BE SUBSTITUTED FOR SEED.
- STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS	275 POUNDS
	STRAW (ANCHORED)*	100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT AS REQUIRED	
GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)		

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON straw MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK). MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STOW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
- BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
- MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

SUBSURFACE INFILTRATION CHAMBERS NOTES

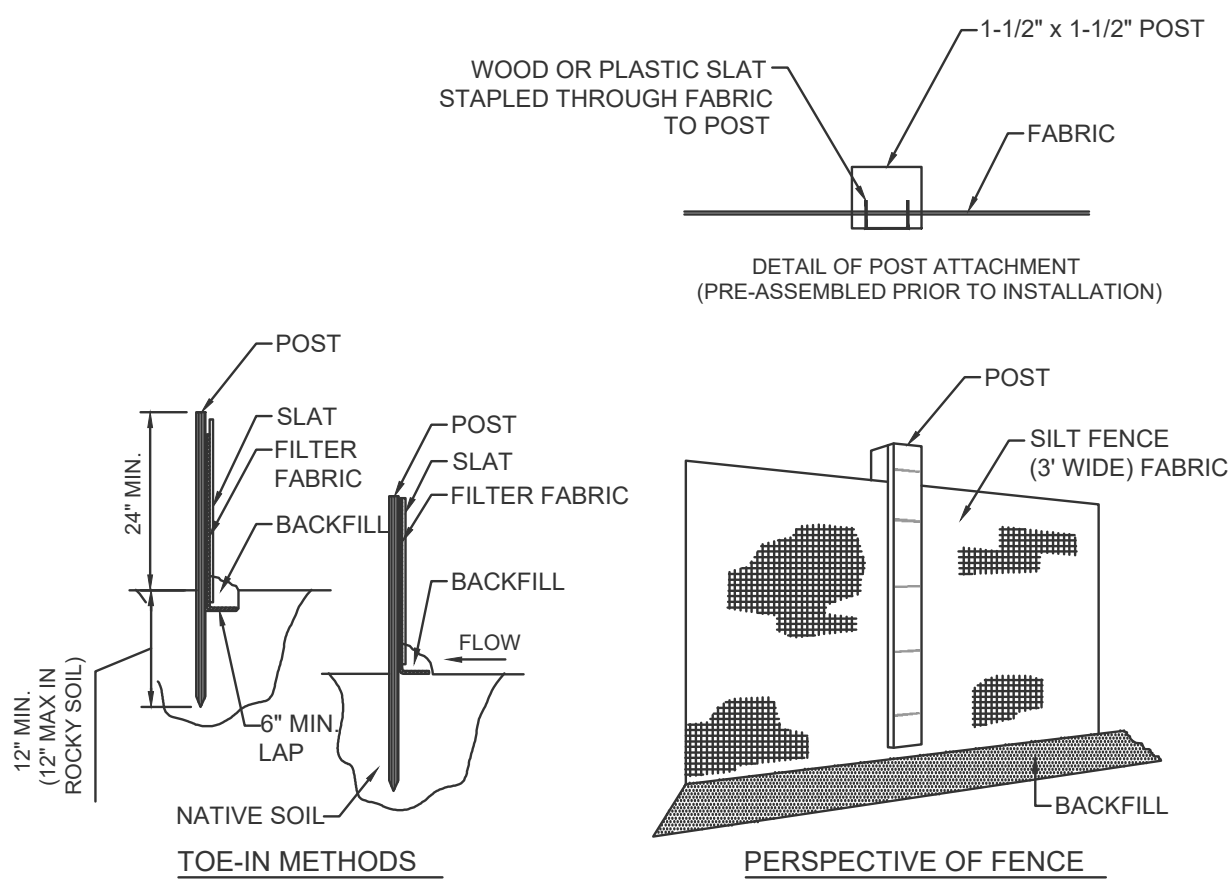
DURING CONSTRUCTION OPERATIONS THE SUBSURFACE INFILTRATION CHAMBERS SHOULD NOT RECEIVE ANY FLOW UNTIL UPSTREAM AREAS ARE COMPLETELY STABILIZED. THE SUBSURFACE INFILTRATION CHAMBERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT AND SHALL BE MONITORED FOR ANY PONDING AND ACCUMULATION OF SEDIMENT. IMMEDIATELY CLEAN THE SUBSURFACE INFILTRATION CHAMBERS IF SIX INCHES OR MORE OF SEDIMENT HAS BEEN ACCUMULATED WITHIN ANY CHAMBER BY USE OF VAC-TRUCK.

AFTER CONSTRUCTION AND THE SITE HAS BEEN STABILIZED THE SUBSURFACE INFILTRATION CHAMBERS MUST BE INSPECTED ANNUALLY AND AFTER EVERY RAIN EVENT OF TWO INCHES OR MORE. THE CHAMBERS MUST BE INSPECTED FOR PONDING AND ACCUMULATION OF SEDIMENT. THE CHAMBERS ARE TO BE CLEANED ON AN ANNUAL BASIS BY THE USE OF A VAC-TRUCK. IMMEDIATELY CLEAN THE SUBSURFACE INFILTRATION CHAMBERS IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN ANY CHAMBER BY USE OF VAC-TRUCK.

CONSTRUCTION SEQUENCE

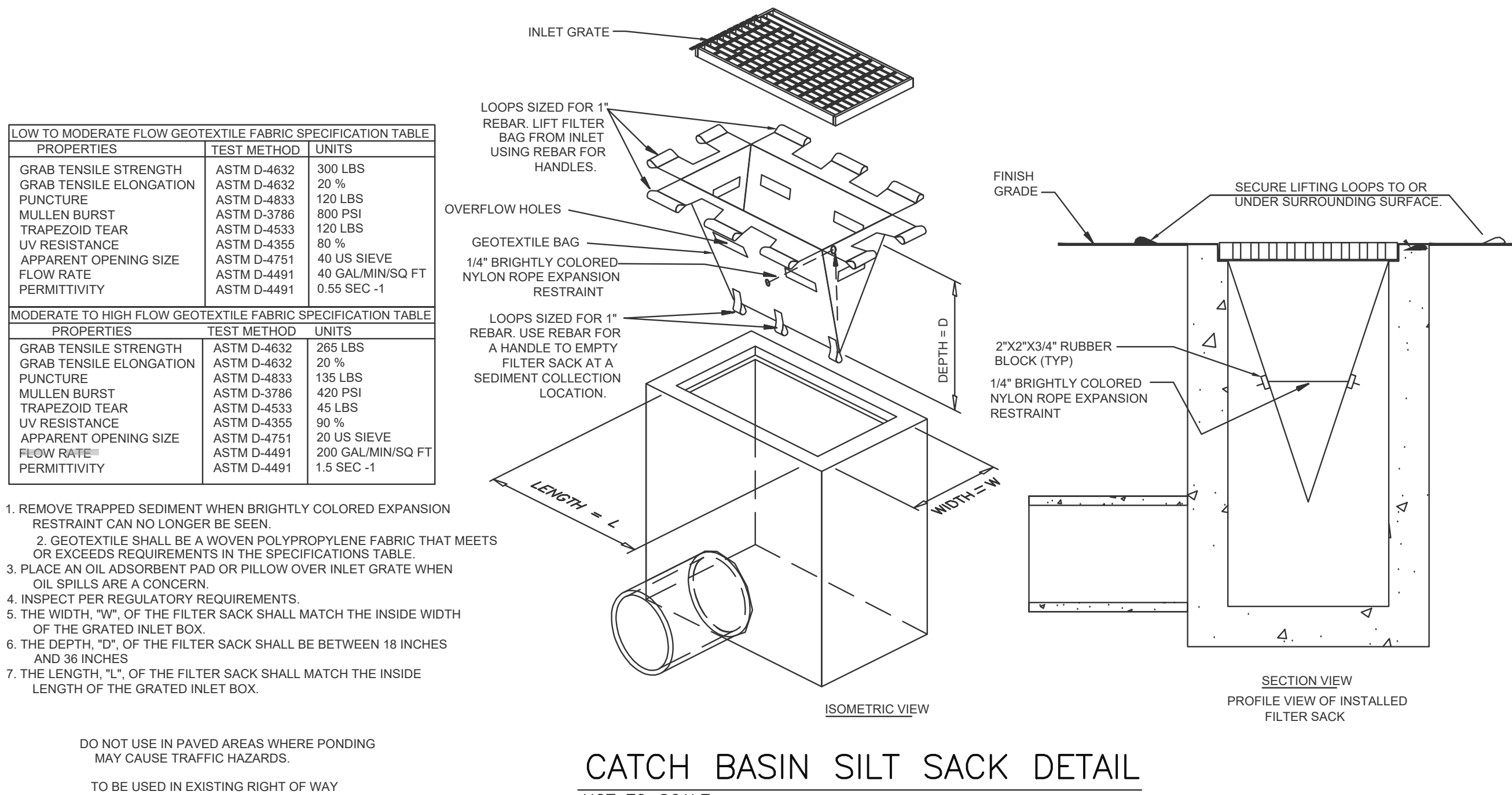
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW WATTLES AND SILT FENCE) (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE SHEET #2)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE SHEET #2)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



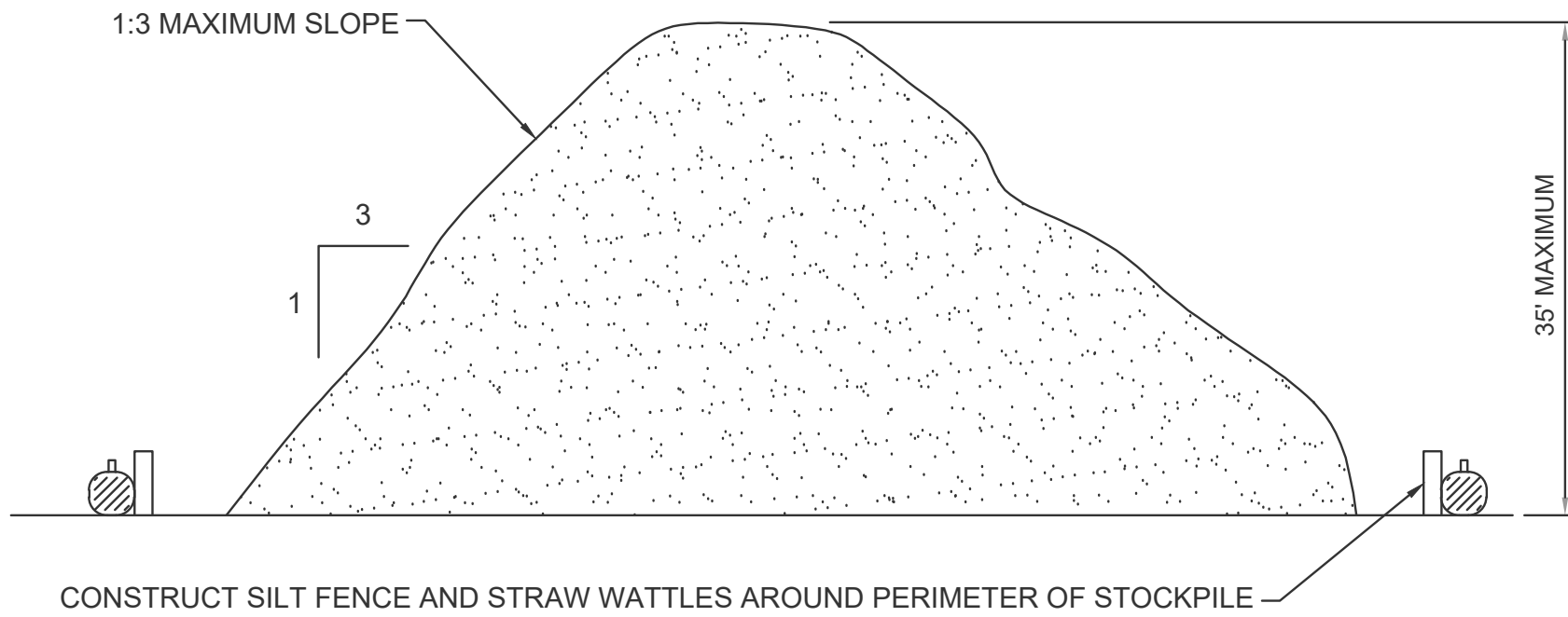
TYPICAL SILTATION FENCE DETAIL

NOT TO SCALE



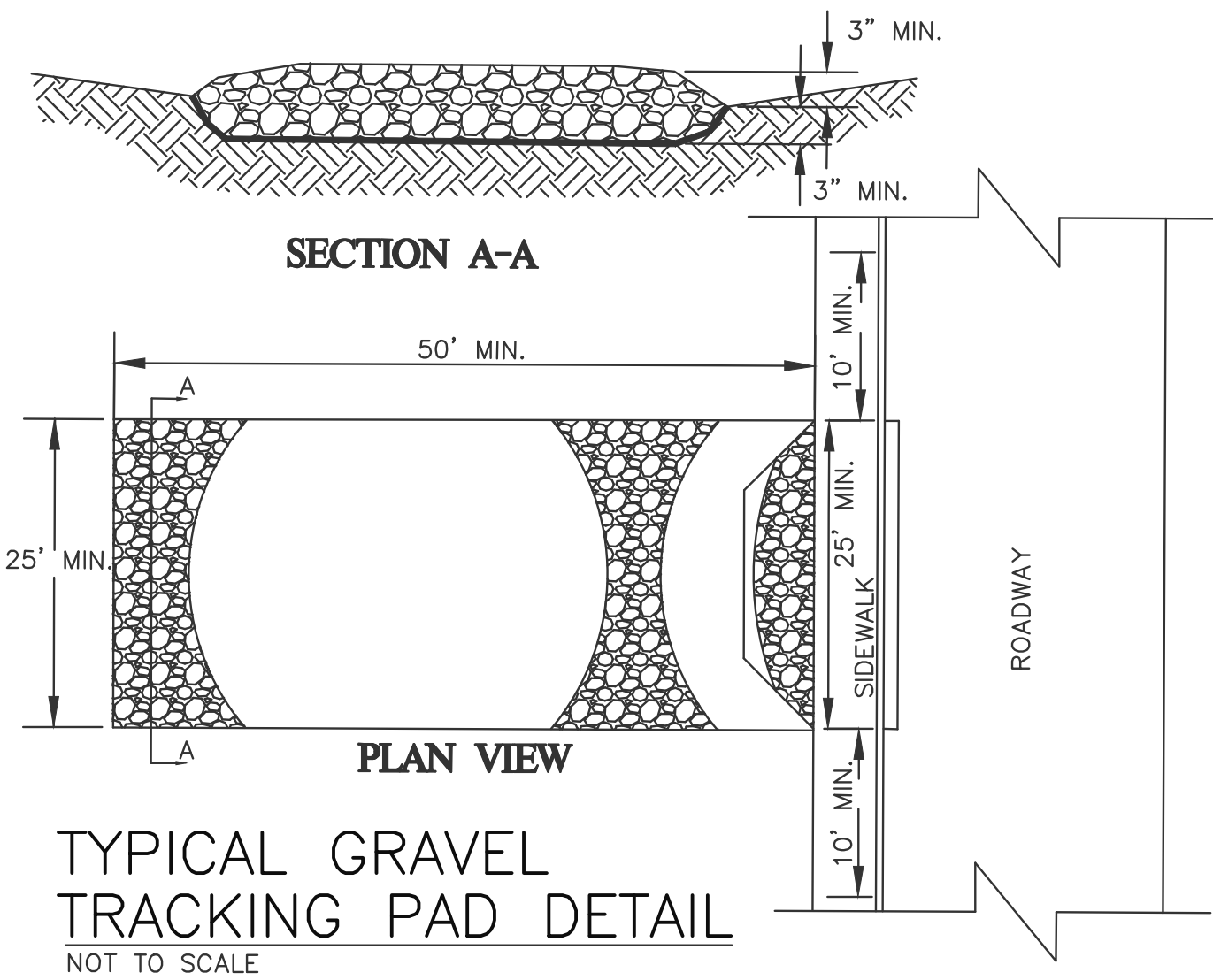
CATCH BASIN SILT SACK DETAIL

NOT TO SCALE



TYPICAL STOCKPILE DETAIL

NOT TO SCALE



TYPICAL GRAVEL TRACKING PAD DETAIL

NOT TO SCALE

CHOUBAH ENGINEERING GROUP, P.C.
CEG
CONSULTING PROFESSIONAL ENGINEERS

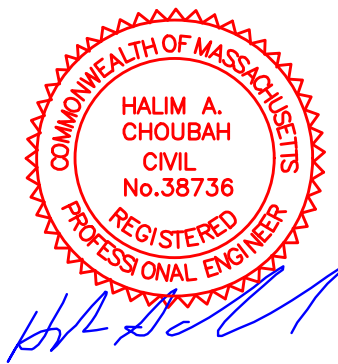
112 STATE ROAD (ROUTE 6),
No. DARTMOUTH, MA 02747
TEL: (508) 858-5040 FAX: (508) 858-5041
www.choubahgroup.com

PROJECT:

PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

PREPARED FOR:

NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON MA



Issue Date: 04/15/2025

Revisions

No.	Date	Description

Project Number: 24-681

Scale: AS SHOWN

Designed By: CMS

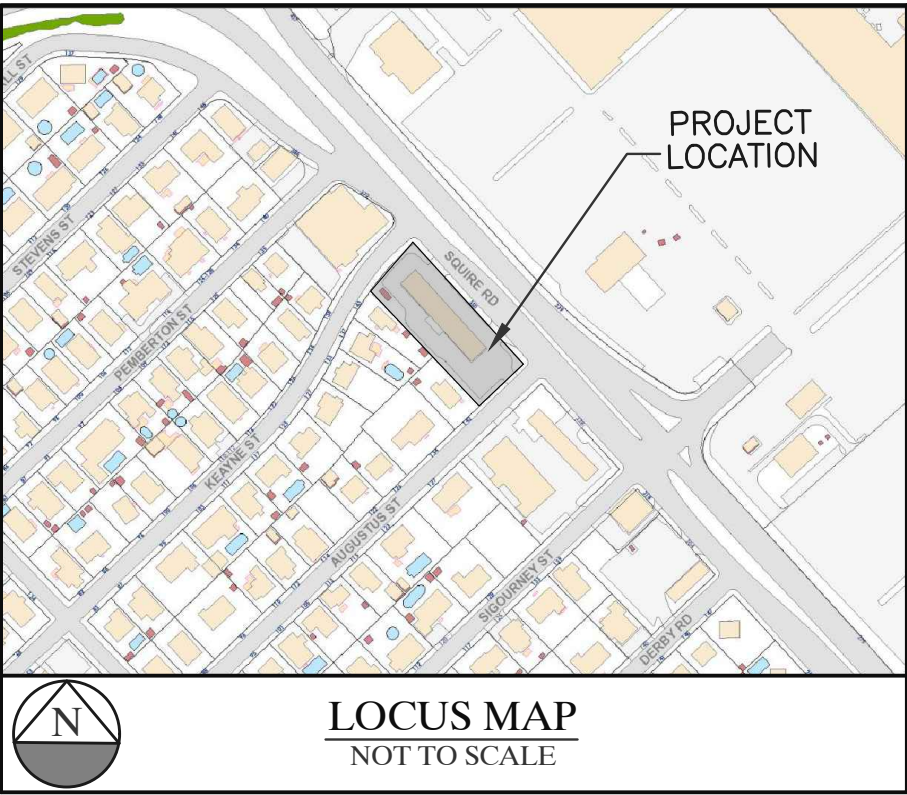
Drawn By: CMS

Checked By: HC

Sheet Title:

EROSION CONTROL
DETAILS & NOTES

Sheet Number: 3 OF 12



CHOUBAH ENGINEERING GROUP, P.C.
CEG
CONSULTING PROFESSIONAL ENGINEERS

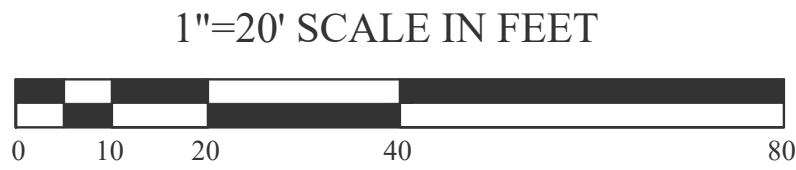
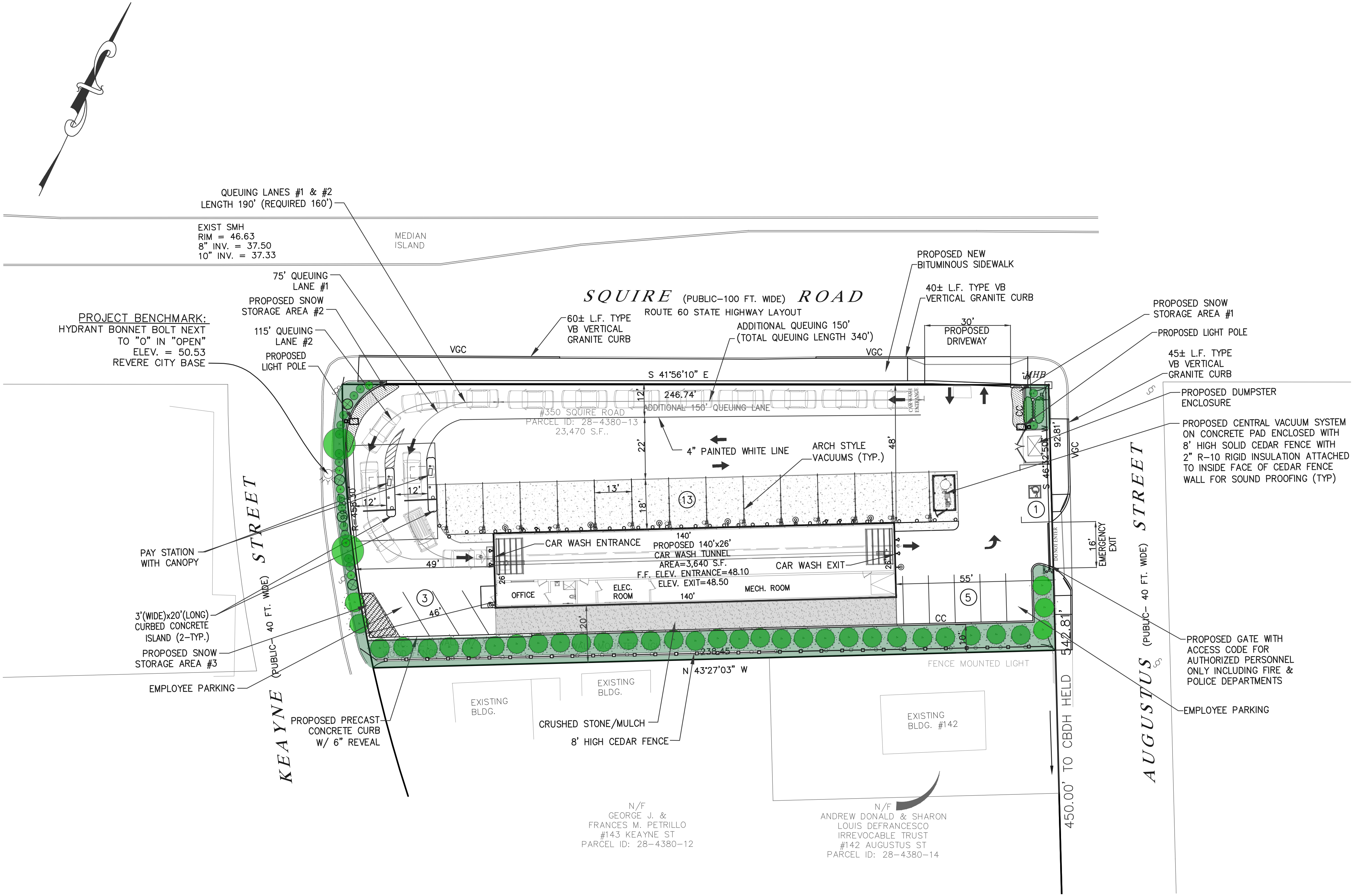
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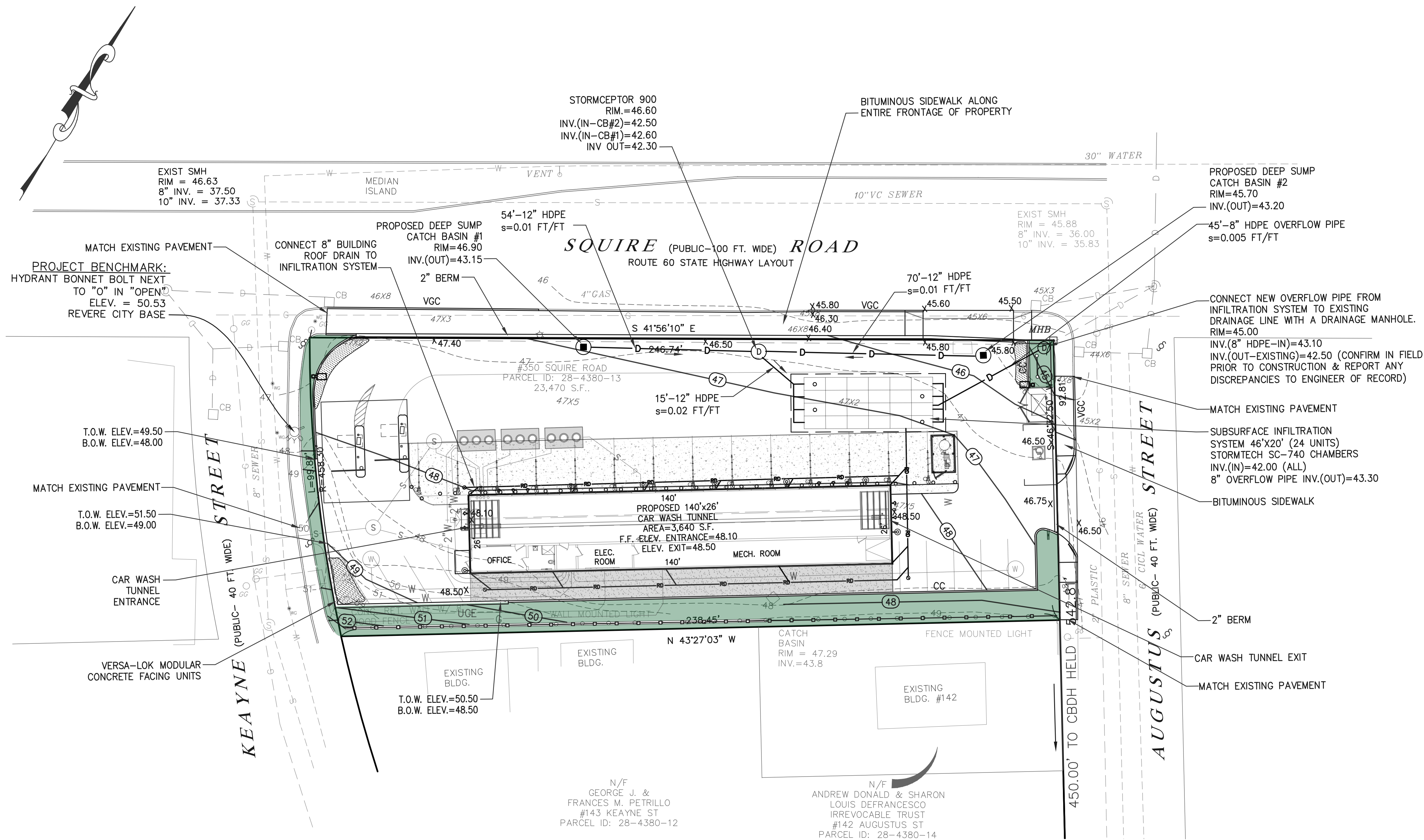
LEGEND	
SYMBOL	DESCRIPTION
	EXIST. CONTOUR
	PROP. CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EASEMENT LINE
	PROPERTY LINE
	SOCK BALES
	EDGE OF TREES/WOODED AREA
	EXIST. SEWER LINE
	PROP. SEWER LINE
	EXIST. WATER LINE
	PROP. WATER LINE
	EXIST. ELECTRIC LINE
	PROP. ELECTRIC LINE
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	PROP. GAS LINE
	EXIST. TELEPHONE LINE
	PROP. TELEPHONE LINE
	EXIST. DRAINAGE LINE
	PROP. DRAINAGE LINE
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	PROP. OVERHEAD WIRE
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	PROP. UTILITY POLE
	EXIST. LIGHT POLE
	PROP. LIGHT POLE
	EXIST. EDGE OF PAVEMENT
	EXIST. VERTICAL GRANITE CURB
	PROP. VERTICAL GRANITE CURB
	PROP. VERTICAL CONC. CURB
	PROP. PYLON SIGN
	EXIST. GATE
	MA HIGHWAY BOUND
	NUMBER OF PARKING SPACES
F.F. ELEV.	FINISH FLOOR ELEVATION
T.O.F. ELEV.	TOP OF FOUNDATION ELEVATION
T.O.W.	TOP OF WALL
B.O.W.	BOTTOM OF WALL



SITE DATA :
ADDRESS:
350 SQUIRE ROAD
REVERE, MA 02151
ZONING DISTRICT:
(GB)—GENERAL BUSINESS
AREA:
23,470 Sq.Ft.
PROPOSED USE:
CAR WASH FACILITY

PROPOSED PARKING DATA	
CAR WASH (PER SECTION 17.28.020 PARKING AND LOADING REQUIREMENTS) (1)—ONE SPACE PER NO. OF EMPLOYEES ON LARGEST SHIFT; NOT LESS THAN 4	
MINIMUM 4 EMPLOYEES	= 4 SPACES
PARKING SPACES REQUIRED:	= 4 SPACES
TOTAL PARKING PROVIDED	= 22 SPACES

350 SQUIRE ROAD, REVERE, MA ZONING ANALYSIS TABLE (GB)—GENERAL BUSINESS			
ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	10,000 S.F.	23,470 S.F.	23,470 S.F.
MIN. LOT FRONTAGE	100'	246.74'	246.74'
MIN. FRONT SETBACK	N/A	N/A	48'
MIN. SIDE SETBACK	20' q.v	N/A	46'
MIN. REAR SETBACK	20' q.v	N/A	20'
MAX. BUILDING HEIGHT	50'(5 STORIES)	N/A	30'-2" (MAIN RIDGE) 1 STORY (INCLUDING CUPOLA 33'-8")
MAX. LOT COVERAGE	N/A	N/A	N/A
MAX. OPEN SPACE	N/A	N/A	N/A
FLOOR AREA RATIO (FAR)	1.5	N/A	0.15
q) FOR ALL RESIDENTIAL USES IN GB AND CB DISTRICTS THE YARD DIMENSIONS SHALL BE AS FOLLOWS: FRONT 20', SIDE 15', REAR 20'			
v) WHERE ABUTTING A RESIDENTIAL DISTRICT AND/OR USE.			



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DUST CONTROL

1. WIND-BORNE DUST FROM EXPOSED SOIL SURFACES DURING LAND DISTURBING/CONSTRUCTION ACTIVITIES SHALL BE CONTROLLED WITH FREQUENT WATER IRRIGATION APPLICATIONS AND/OR CALCIUM CHLORIDE. CALCIUM CHLORIDE SHALL BE APPLIED WITH A MECHANICAL SPREADER IN STRICT ACCORDANCE WITH THE SUPPLIER'S SPECIFIED RATES.
2. INSTALL CATCH BASIN SILT SACKS IN EXISTING CATCH BASINS ON-SITE AND ON SQUIRE ROAD, KEAYNE & AUGUSTUS STREETS DOWN STREAM FROM PROJECT AREA PRIOR TO DEMOLITION/CONSTRUCTION.

DRAINAGE & MAINTENANCE SCHEDULE

ONCE ACCEPTED AS-BUILT, THE OWNER SHALL PERFORM ROUTINE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE OWNER SHALL COORDINATE/SCHEDULE STORMCEPTOR TO BE CLEANED IN COMPLIANCE WITH ALL STATE, FEDERAL GUIDELINES AND REGULATIONS.

DRAINAGE MANHOLES, & CATCH BASINS
DRAINAGE MANHOLES, AND CATCH BASINS SHOULD BE INSPECTED (4) FOUR TIMES PER YEAR.

ROUTINE SITE MAINTENANCE
PARKING LOT MAINTENANCE IN THE FORM OF SWEEPING WITH HIGH EFFICIENCY VACUUM SWEEPER SHALL BE CONDUCTED MONTHLY THROUGH THE MONTHS OF APRIL THROUGH NOVEMBER. SWEEPING PROVIDES IMPORTANT NON-POINT SOURCE POLLUTION CONTROL. WHEN PRACTICAL AND AS WEATHER PERMITS, ACCUMULATED SEDIMENTS SHOULD BE SWEEPED AND REMOVED ON AN AS NEEDED BASIS DURING THE MONTH OF JANUARY THROUGH MARCH.

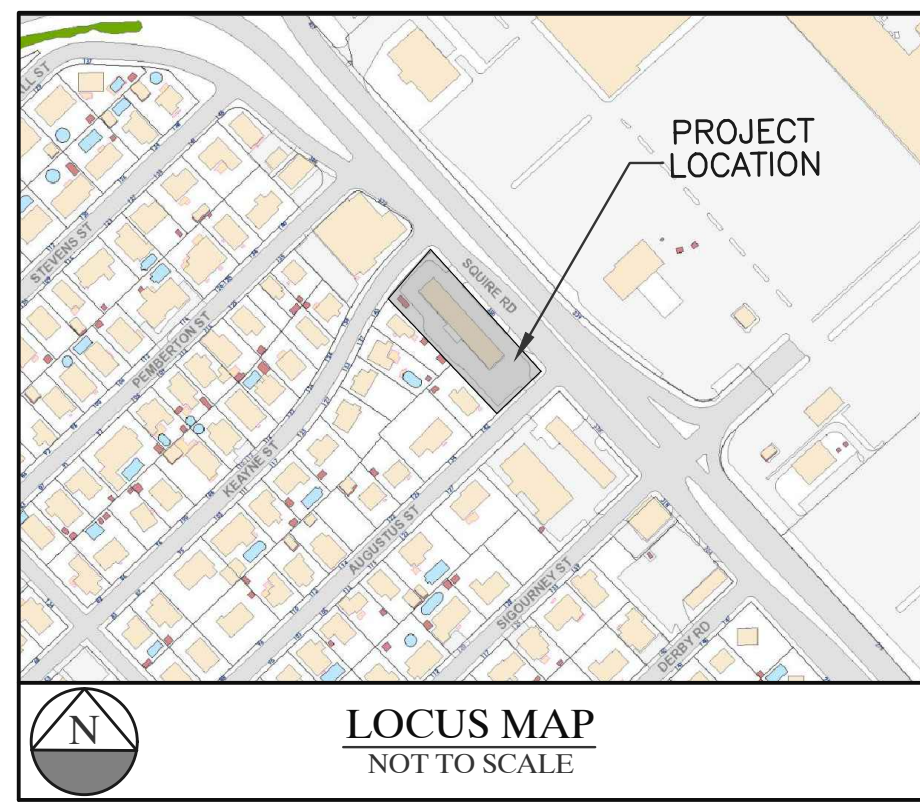
STORMCEPTOR
STORMCEPTOR WILL BE INSPECTED IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS BUT NO LESS THAN TWICE A YEAR FOLLOWING INSTALLATION, AND NO LESS THAN ONCE A YEAR THEREAFTER.

PROPOSED UNDERGROUND INFILTRATION SYSTEMS MAINTENANCE
INFILTRATION SYSTEMS WILL BE AGGRESSIVELY MAINTAINED ON A REGULAR SCHEDULE. UNITS WILL BE INSPECTED EVERY SIX MONTHS. FOR THE FIRST YEAR OF INSTALLATION INFILTRATION UNITS SHALL BE CHECKED AND INSPECTED AFTER EVERY MAJOR STORM EVEN (2 YEAR RETURN FREQUENCY). INLET PIPES WILL BE CHECKED TO DETERMINE IF THEY ARE CLOGGED AND ACCUMULATED SEDIMENT, TRASH, DEBRIS, LEAVES AND VEGETATION WILL BE REMOVED. IF INFILTRATION SYSTEM FAILS TO FULLY DEWATER WITHIN 72 HOURS OF A STORM EVEN, THEN THE RESPONSIBLE PARTY (FACILITY OWNER/OPERATOR) SHALL RETAIN A QUALIFIED PROFESSIONAL ENGINEER TO ASSESS THE CAUSE OF THE FAILURE OF THE SYSTEM AND DEVELOP RECOMMENDATIONS FOR CORRECTIVE ACTION. CORRECTIVE ACTION MUST BE IMPLEMENTED TO RESTORE SYSTEM FUNCTION.

DURING CONSTRUCTION OF THE FACILITY AND THE STORMWATER MANAGEMENT SYSTEM THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAY TO DAY OPERATIONS AND MAINTENANCE OF ALL STORMWATER CONTROL SYSTEMS. AFTER CONSTRUCTION IS COMPLETED, THE OWNER WILL TAKE OVER ALL MAINTENANCE REQUIREMENTS FOR THE STORMWATER CONTROL SYSTEM IN COMPLIANCE WITH THE OPERATION AND MAINTENANCE PLAN.

CONSTRUCTION SEQUENCE

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (STRAW WATTLES AND SILT FENCE) (AS SHOWN)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE SHEET #2)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE SHEET #2)
 - CLEARING AND GRUBBING
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



LEGEND

SYMBOL	DESCRIPTION
	EXIST. CONTOUR
	PROP. CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EASEMENT LINE
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	SOCK BALES
	EDGE OF TREES/WOODED AREA
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	PROP. DRAINAGE LINE
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	PROP. OVERHEAD WIRE
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	PROP. CATCH BASIN
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	PROP. ELECTRIC MANHOLE
	EXIST. SEWER MANHOLE
	PROP. SEWER MANHOLE
	PROP. ELECTRIC MANHOLE
	PROP. ELECTRIC MANHOLE
	PROP. UTILITY POLE
	EXIST. LIGHT POLE
	PROP. LIGHT POLE
	EXIST. EDGE OF PAVEMENT
	EXIST. VERTICAL GRANITE CURB
	PROP. VERTICAL GRANITE CURB
	PROP. VERTICAL CONC. CURB
	PROP. PYLON SIGN
	PROP. SIGN
	EXIST. GATE
	MA HIGHWAY BOUND
	NUMBER OF PARKING SPACES
	FINISH FLOOR ELEVATION
	TOP OF FOUNDATION ELEVATION
	TOP OF WALL
	BOTTOM OF WALL

CHOUBAH ENGINEERING GROUP, P.C.
CEG
CONSULTING PROFESSIONAL ENGINEERS

112 STATE ROAD (ROUTE 6),
No. DARTMOUTH, MA 02747
TEL:(508) 858-5040 FAX:(508) 858-5041
www.choubahgroup.com

PROJECT:
PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

PREPARED FOR:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON MA



Issue Date: 04/15/2025

Revisions		
No.	Date	Description

Project Number: 24-681

Scale: AS SHOWN

Designed By: CMS

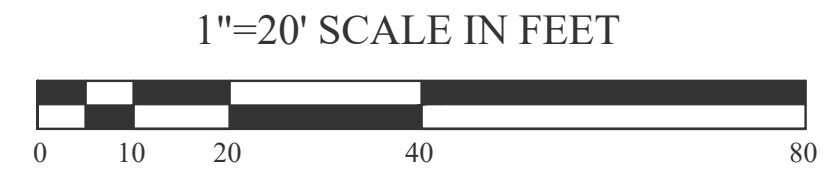
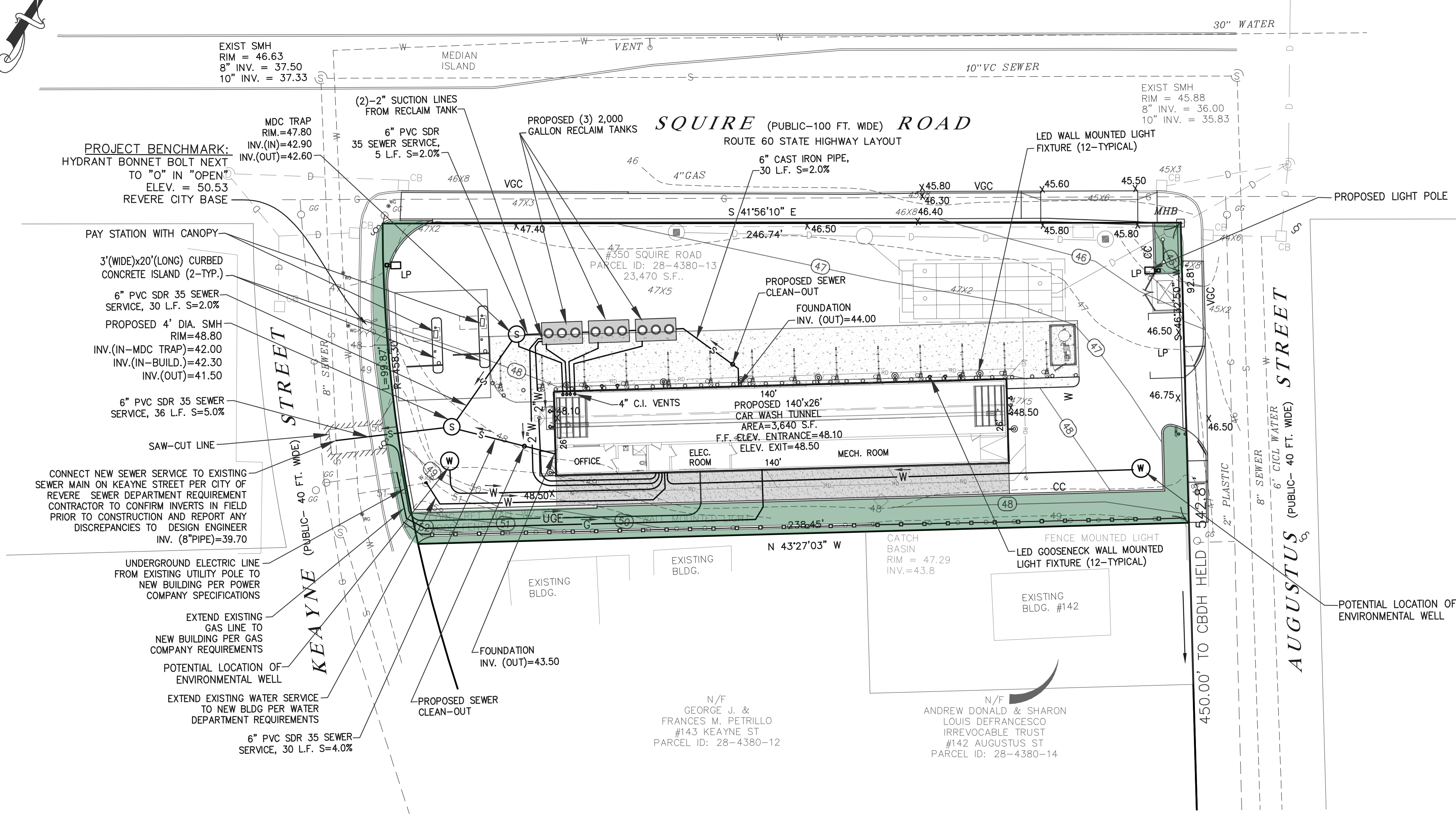
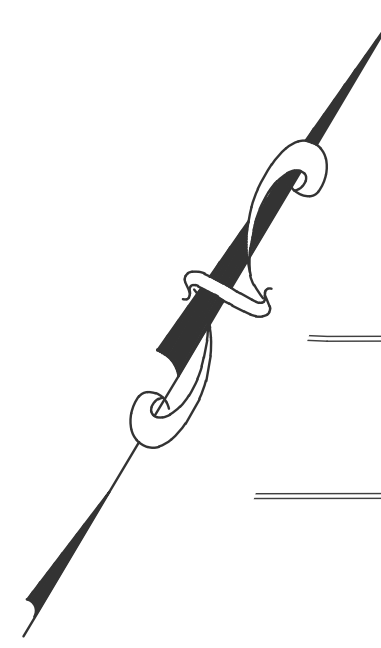
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Checked By: HC

Sheet Title:

GRADING & DRAINAGE
PLAN

Sheet Number: 5 OF 12



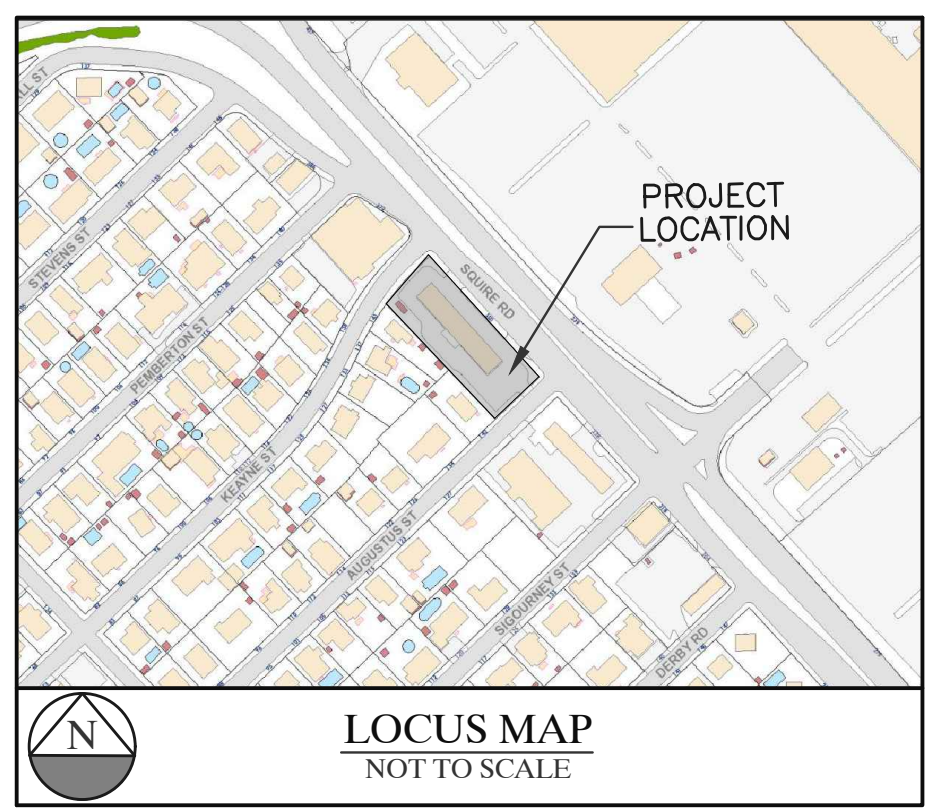
UTILITY NOTES

1. CONTRACTOR TO LOCATE ALL EXISTING UTILITY SERVICES ON LOT PRIOR TO CONSTRUCTION.
2. RECONNECTION OF EXISTING SEWER SERVICE AND OTHER UTILITIES TO NEW BUILDING ARE SUBJECT TO THE INSPECTION & APPROVAL OF THE CITY OF REVERE OFFICIALS HAVING JURISDICTION OVER COMPLETED WORK.
3. CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH NEW BUILDING LOCATION IN COMPLIANCE WITH APPLICABLE REQUIREMENTS BY LOCAL DEPARTMENTS HAVING JURISDICTION OVER PROPOSED WORK.
4. THIS ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY AND LOCATION OF UNDERGROUND EXISTING UTILITIES ON SITE.
5. ALL PROPOSED LIGHT FIXTURES SHALL HAVE A MAX TEMPERATURE OF 4,000K, DARK-SKY COMPLIANT, AND BE EQUIPPED WITH SHIELDING TO PREVENT LIGHT SPILLOVER.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (SOCK BALES AND SILT FENCE) (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE SHEET #2)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE SHEET #2)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

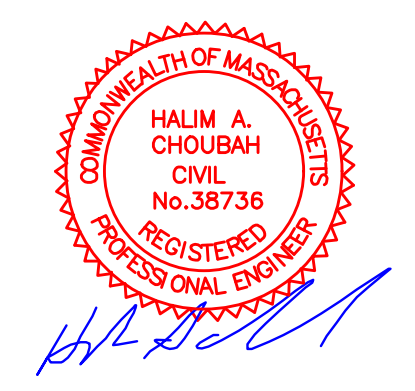


LEGEND	
SYMBOL	DESCRIPTION
	EXIST. CONTOUR
	PROP. CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EASEMENT LINE
	PROPERTY LINE
	SOCK BALES
	EDGE OF TREES/WOODED AREA
	EXIST. SEWER LINE
	PROP. SEWER LINE
	EXIST. WATER LINE
	PROP. WATER LINE
	EXIST. ELECTRIC LINE
	PROP. ELECTRIC LINE
	EXIST. GAS LINE
	PROP. GAS LINE
	EXIST. TELEPHONE LINE
	PROP. TELEPHONE LINE
	EXIST. DRAINAGE LINE
	PROP. DRAINAGE LINE
	EXIST. OVERHEAD WIRE
	PROP. OVERHEAD WIRE
	EXIST. CATCH BASIN
	PROP. CATCH BASIN
	EXIST. ELECTRIC MANHOLE
	PROP. ELECTRIC MANHOLE
	EXIST. SEWER MANHOLE
	PROP. SEWER MANHOLE
	PROP. ELECTRIC MANHOLE
	PROP. UTILITY POLE
	EXIST. LIGHT POLE
	PROP. LIGHT POLE
	EXIST. EDGE OF PAVEMENT
	EXIST. VERTICAL GRANITE CURB
	PROP. VERTICAL GRANITE CURB
	PROP. VERTICAL CONC. CURB
	PROP. PYLON SIGN
	PROP. SIGN
	EXIST. GATE
	MA HIGHWAY BOUND
	NUMBER OF PARKING SPACES
F.F. ELEV.	FINISH FLOOR ELEVATION
T.O.F. ELEV.	TOP OF FOUNDATION ELEVATION
T.O.W.	TOP OF WALL
B.O.W.	BOTTOM OF WALL

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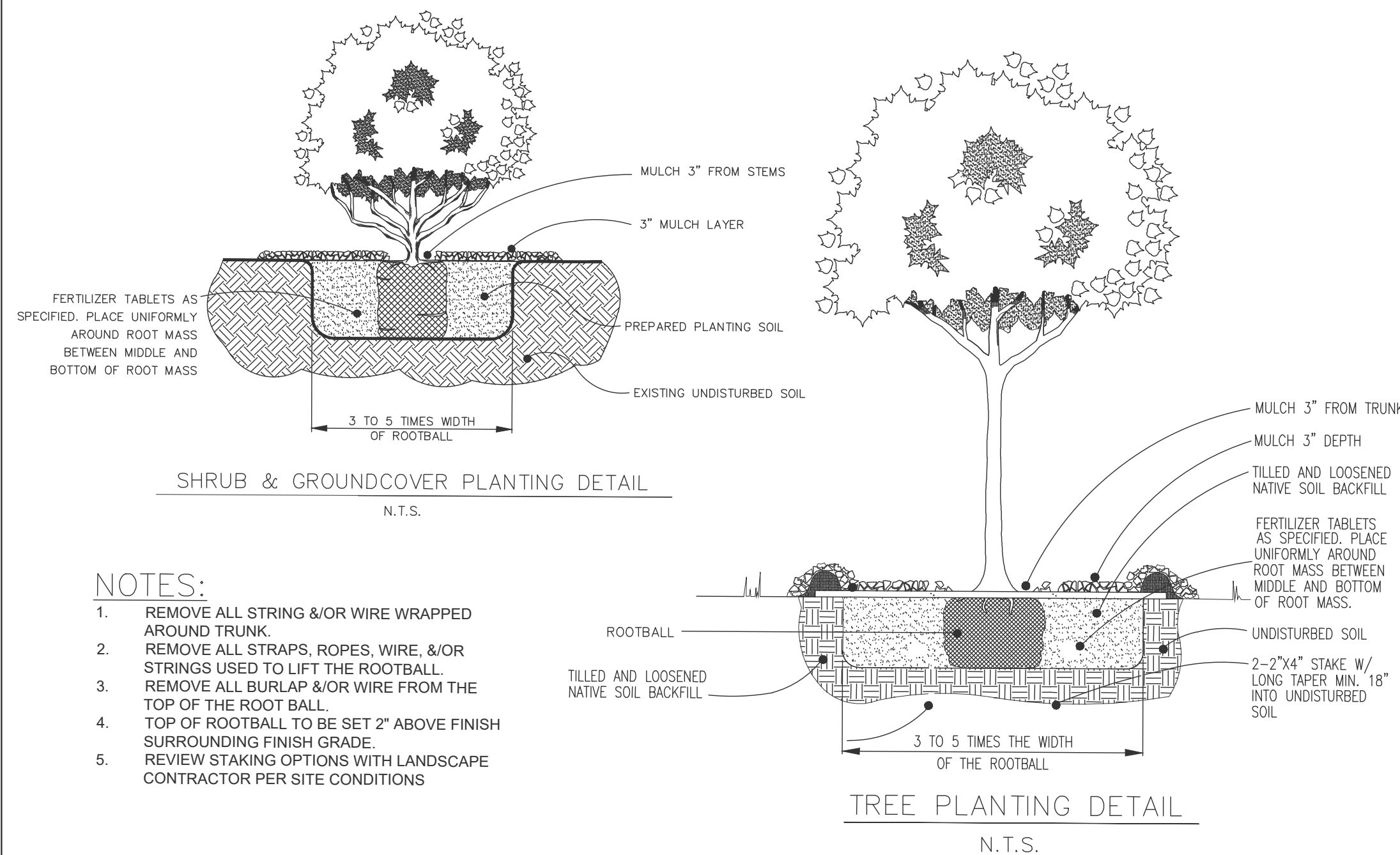
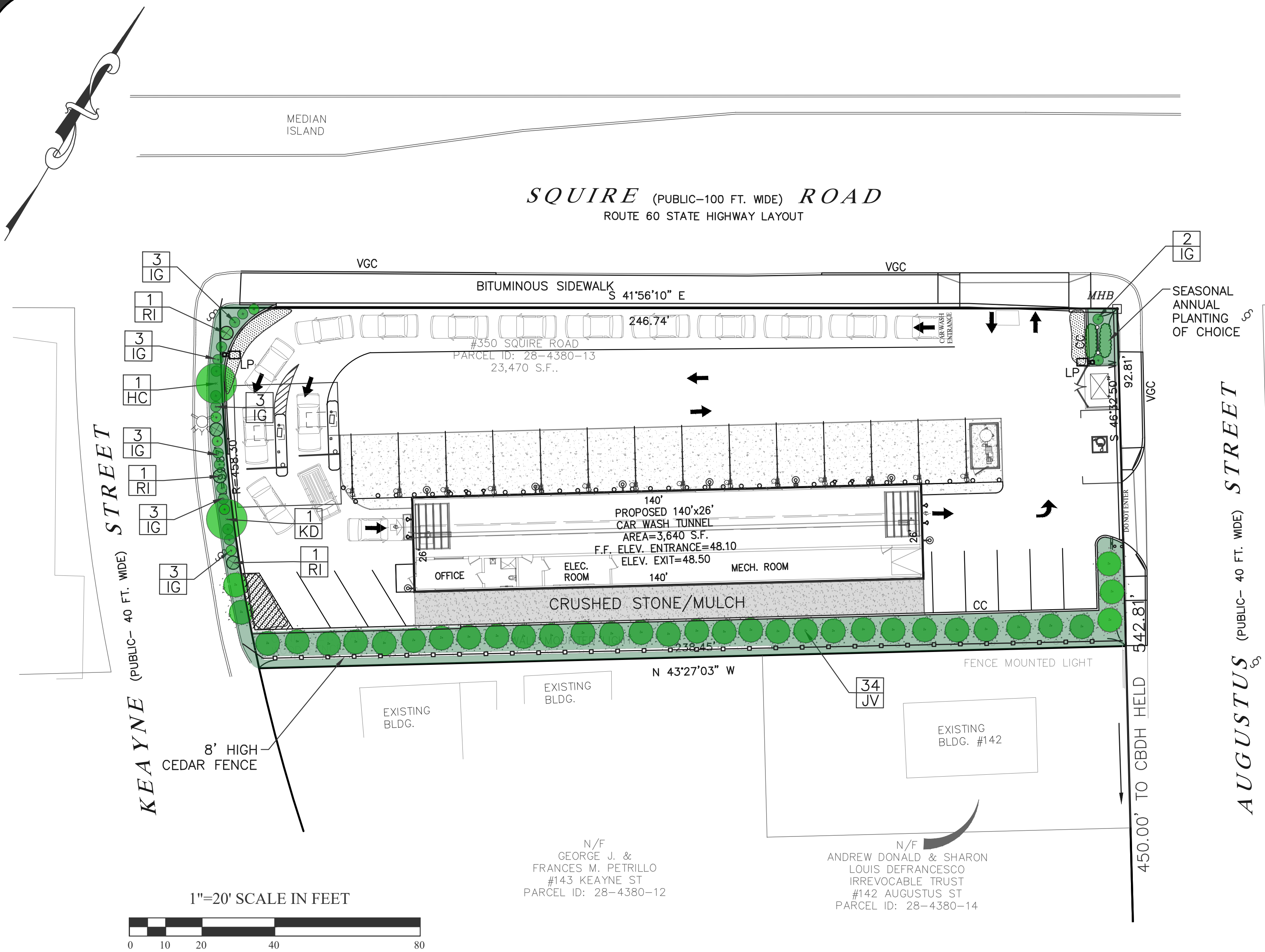
PREPARED FOR:
**NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON MA**



Issue Date: 04/15/2025		
Revisions		
No.	Date	Description
Project Number: 24-681		
Scale: AS SHOWN		
Designed By: CMS		
Drawn By: CMS		Checked By: HC
Sheet Title:		

UTILITY PLAN

Sheet Number: 6 OF 12



PLANTING NOTES

- DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO THE ENGINEER PRIOR TO PLANTING. QUANTITIES REPRESENTED ON THE DRAWING PLANT LABELS SHALL SUPERCEDE THOSE ON THE PLANT LIST.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL BY THE ENGINEER AND/ OR OWNER.
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- ALL PLANTS SHALL BE APPROVED BY THE ENGINEER AND/OR OWNER PRIOR TO THEIR INSTALLATION.
- ANY PLANTS LABELED 'SPECIMEN' ON THE PLANT LIST SHALL BE TAGGED AT SOURCE BY THE ENGINEER AND/OR OWNER UNLESS DIRECTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ABOVE AND BELOW GRADE UTILITIES AND SERVICES AND SHALL PROVIDE APPROPRIATE PROTECTIONS DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LOCAL UTILITY LOCATION SERVICE PROVIDER PRIOR TO COMMENCING WORK. ANY UTILITIES DAMAGED DURING SITE WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL POSITION ALL PLANT MATERIAL IN LOCATIONS SHOWN ON THE PLAN FOR REVIEW BY ENGINEER AND/OR OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE PLANTS AS NEEDED TO ACCOMMODATE FOR LEDGE AND SHALL CONTACT THE ENGINEER IF PLANTING IS IMPEDED BY LEDGE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION. THE CONTRACTOR SHALL INSTALL PLANTS USING THE METHODS OUTLINED IN THE "RECOMMENDATIONS FOR PLANTING TREES AND SHRUBS"- UMASS EXTENSION FACT SHEET SERIES, MAY 1996, AND COMMONLY ACCEPTED REGIONAL PRACTICE STANDARDS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL TILL ALL NEW PLANT PLANTING BEDS FOR SHRUBS AND PERENNIALS TO A DEPTH OF 12" FOR PERENNIALS AND 18" FOR SHRUBS BEFORE PLANTING. IN CONDITIONS WHERE THIS IS NOT ACHIEVABLE BECAUSE OF TREE ROOTS, UTILITIES OR OTHER OBSTACLES, THE PLANTING AREA SHALL BE TURNED OVER BY HAND. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND OWNER PRIOR TO BEGINNING SITE WORK TO DETERMINE THE PLANTING SOIL AMENDMENTS REQUIRED - SUCH AS THE ADDITION OF COMPOST AND/OR PEAT MOSS. UNLESS OTHERWISE DIRECTED, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING GENERALLY ACCEPTED SOIL BACKFILL RATIO: ½ NATIVE SOIL, ¼ IMPORTED LOAM, ¼ COMPOST/PEAT MOSS. INITIALLY, THE CONTRACTOR SHALL ASSUME THE INCORPORATION OF 1-2 CUBIC YARDS OF COMPOST/PEAT MOSS PER 1000 SQUARE FEET OF PLANT BED. IN ADDITION, THE CONTRACTOR SHALL INCORPORATE A PLANT STARTER FERTILIZER SUCH AS 10-10-10 IN THE PLANTING SOIL MIX.
- THE CONTRACTOR SHALL REVIEW ANY ADDITIONAL SITE DRAINAGE REQUIREMENTS WITH THE OWNER AND/OR ENGINEER AND COORDINATE POTENTIAL IMPROVEMENTS IN ORDER TO ATTAIN POSITIVE DRAINAGE IN ALL CONDITIONS.
- THE CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD BARK MULCH, SUCH AS PINE BARK MULCH THAT IS MEDIUM TO DARK BROWN IN COLOR AND FREE OF ANY DEBRIS OR LARGE PIECES OF WOOD. MULCHES WITH DYES WILL NOT BE ACCEPTED. MULCH ALL PLANT BEDS AFTER PLANTING TO THE FOLLOWING 'LOOSE MEASURE' DEPTHS:
 - TREES AND SHRUBS - 3"
 - PERENNIAL GROUND COVER AND ORNAMENTAL GRASS BEDS - 1.5"
- THE CONTRACTOR IS RESPONSIBLE FOR SEEDING ALL AREAS DISTURBED DURING CONSTRUCTION ACCORDING TO THE PLANTING PLAN OR AS DIRECTED BY THE ENGINEER AND/OR OWNER. GRASS SEED SHALL BE A CAPE COD FESCUE SEED BLEND: 60% TALL FESCUE, 10% BORNITO HARD FESCUE, 10% JAMESTOWN CHEWING FESCUE, 20% PERENNIAL RYE.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. THERE SHALL BE NO PARKING OR STOCKPILING OF CONSTRUCTION MATERIAL WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT IS ISSUED BY THE ENGINEER. ALL PLANTS SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE (1) FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. FINAL ACCEPTANCE WILL BE MADE BY THE ENGINEER AND OWNER AT THE END OF THE GUARANTEE PERIOD. ANY PLANTS DEEMED UNACCEPTABLE PRIOR TO THE END OF THE GUARANTEE PERIOD SHALL BE PROMPTLY REPLACED AT THE CONTRACTOR'S EXPENSE. LANDSCAPE CONTRACTOR SHALL REMOVE INVASIVE PLANT MATERIAL PRIOR TO COMMENCEMENT OF PLANTING BED PREPARATION. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE CITY OF REVERE TO VERIFY INVASIVE SPECIES AND METHOD OF REMOVAL.
- TYP. PLANTING SEASON IS BETWEEN MID-APRIL AND MID-NOVEMBER, BUT EACH YEAR IS DEPENDENT ON CURRENT WEATHER CONDITIONS AND PLANT MATERIAL AVAILABILITY.
- IRRIGATION LAYOUT IS SCHEMATIC IRRIGATION CONTRACTOR IS RESPONSIBLE FOR IRRIGATION PUMP & PIPE SIZING, SPRINKLER HEAD TYPE & LAYOUT TO COVER ALL LANDSCAPED AREAS.

LANDSCAPE SCHEDULE

TYPE	QTY	SIZE	COMMON NAME	BOTANICAL NAME	PLANTING HT	MATURE HT	MATURE SPREAD	REMARKS
EVERGREEN TREES								
JV	34	3" CAL.	RED CEDAR	JUNIPERUS VIRGINIANA	6'-8'	15'-25'	8'-20'	
DECIDUOUS TREES								
HC	1	3" CAL.	HAWTHORN THORNLESS COCKSPUR	CRATAEGUS CRUSGALLI INERMIS	10'-12'	15'-25'	15'-25'	
KD	1	3" CAL.	CORNUS KOUSA	KOUSA DOGWOOD	10'-12'	15'-25'	15'-25'	
SHRUBS								
IG	20	24"	INKBERRY	IIEX "GLABRA"	24"	36"	18"-24"	SPACING 4' O.C.
RI	4	36"	DWARF RHODODENDRON	RHODODENDRON IMPEDITUM	36"	36"	24"-36"	SPACING 2' O.C.

- All Landscaping shown on plans shall conform to the City of Revere zoning regulations.
- Mulch planting beds after shrubs, to a 3 inch depth, dark brown mulch.
- Location of Perennial plantings to be approved by the City of Revere Planning Staff.

WARRANTY

- A. Special Warranty: Warrant the following exterior plants, for the warranty period of one year against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by owner, or incidents that are beyond contractor's control.
- B. Warrant period for Trees and Shrubs: one year from the date of substantial completion.
- C. Remove dead exterior plants immediately. Replace immediately unless required to plant in the succeeding planting season.
- D. Replace exterior plants that are more than 25 percent dead or in an unhealthy condition at the end of the warranty period.
- E. A limit of one replacement of each exterior plant will be required, except for losses or replacements due to failure to comply with requirements.
- MAINTENANCE**
- A. Trees and Shrubs" Maintain for the following maintenance period by pruning, cultivating, watering, weeding, fertilizing, restoring planting saucers, tightening and repairing stakes and guy supports, and resetting to proper grades or vertical position, as required to establish healthy, viable plantings. Spray as required to keep trees and shrubs free of insects and disease. Restore or replace damaged tree wrappings
- Maintenance Period: 1 year from date of substantial completion.
- B. Ground Cover and Plants: Maintain for the following maintenance period by watering, weeding, fertilizing, and other operations as required to establish healthy, viable planting:
- Maintenance Period: 1 year from date of substantial completion.

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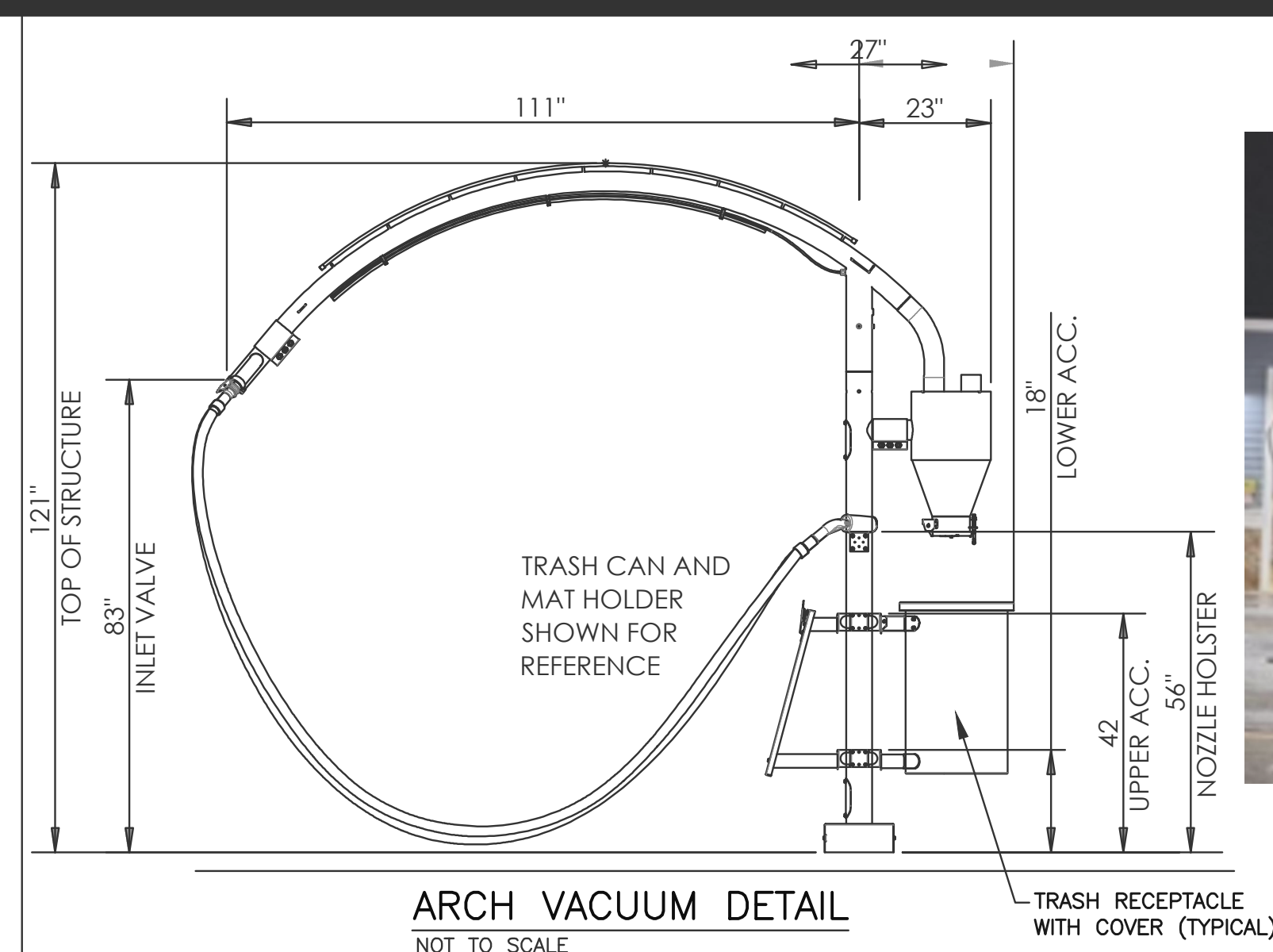
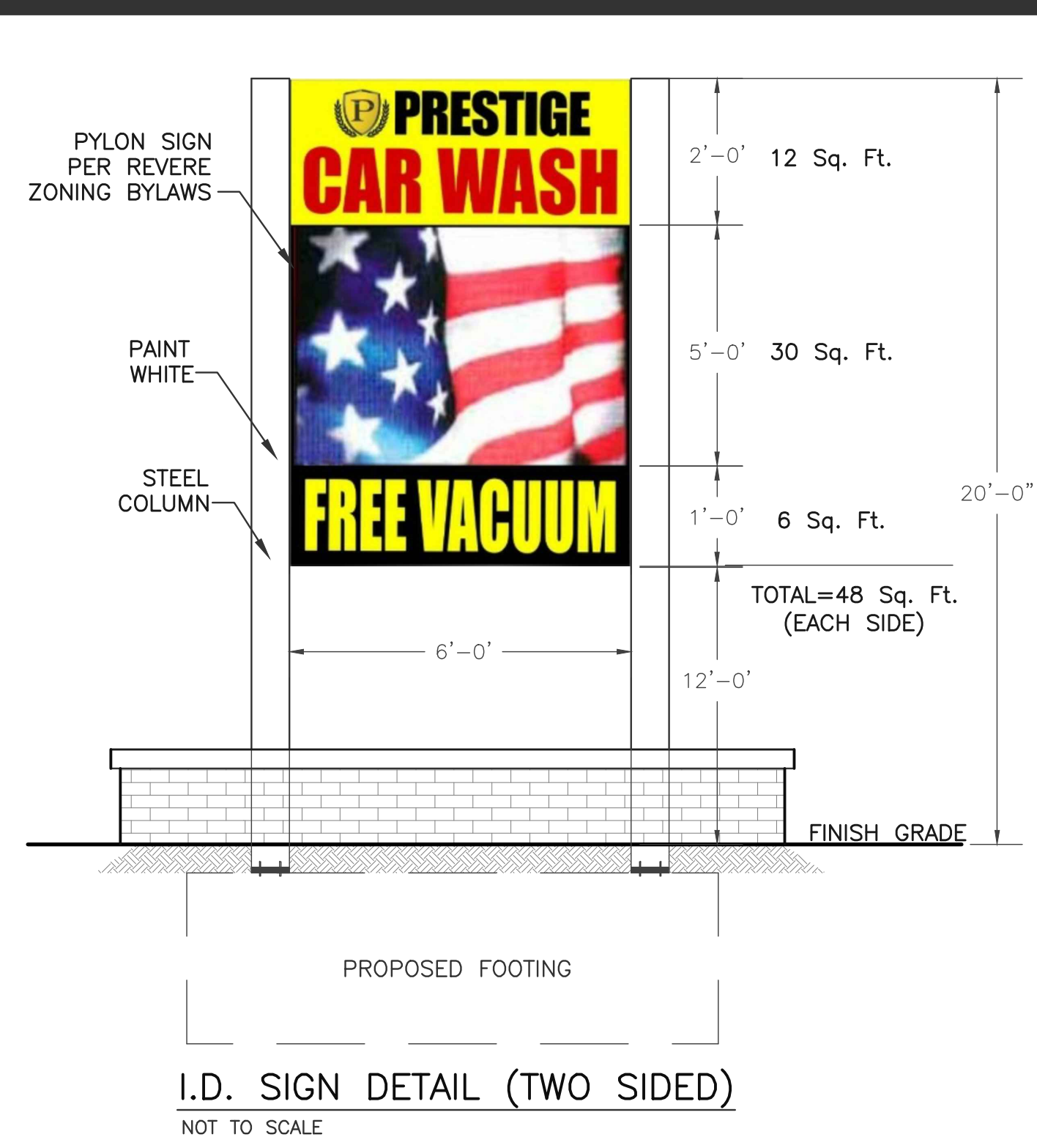
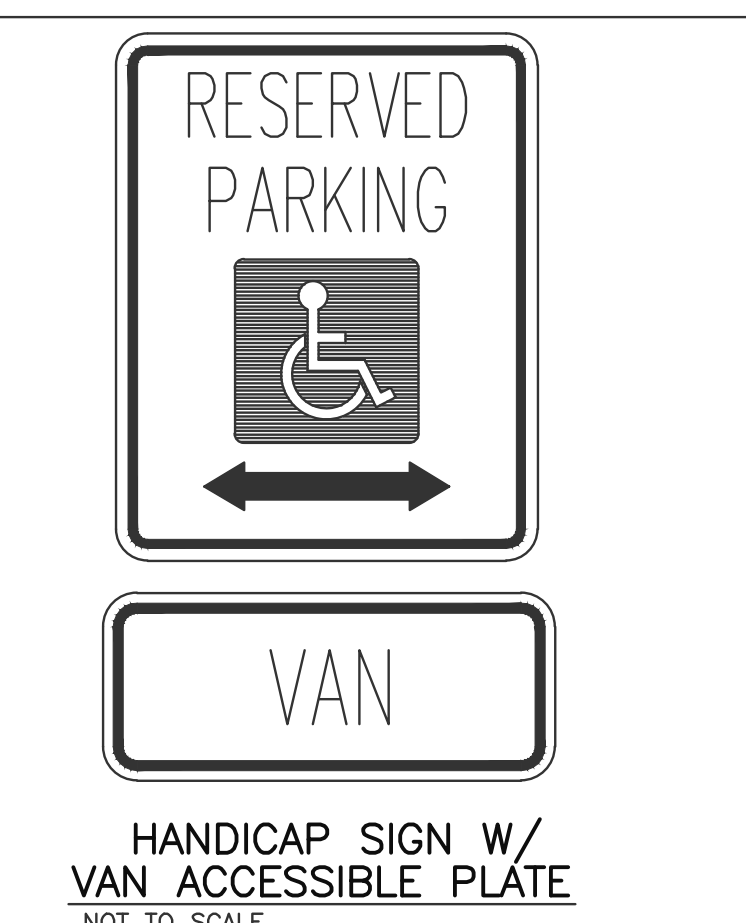
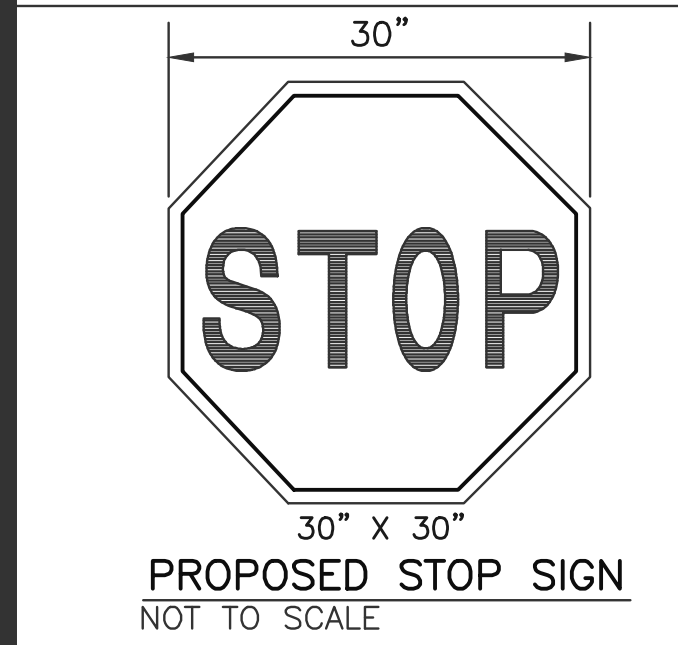
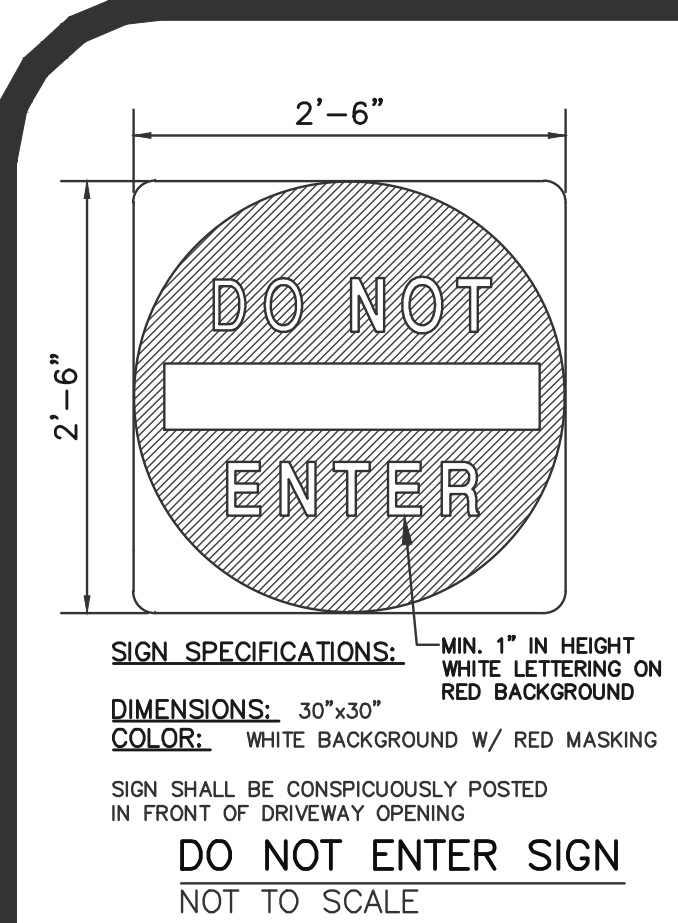
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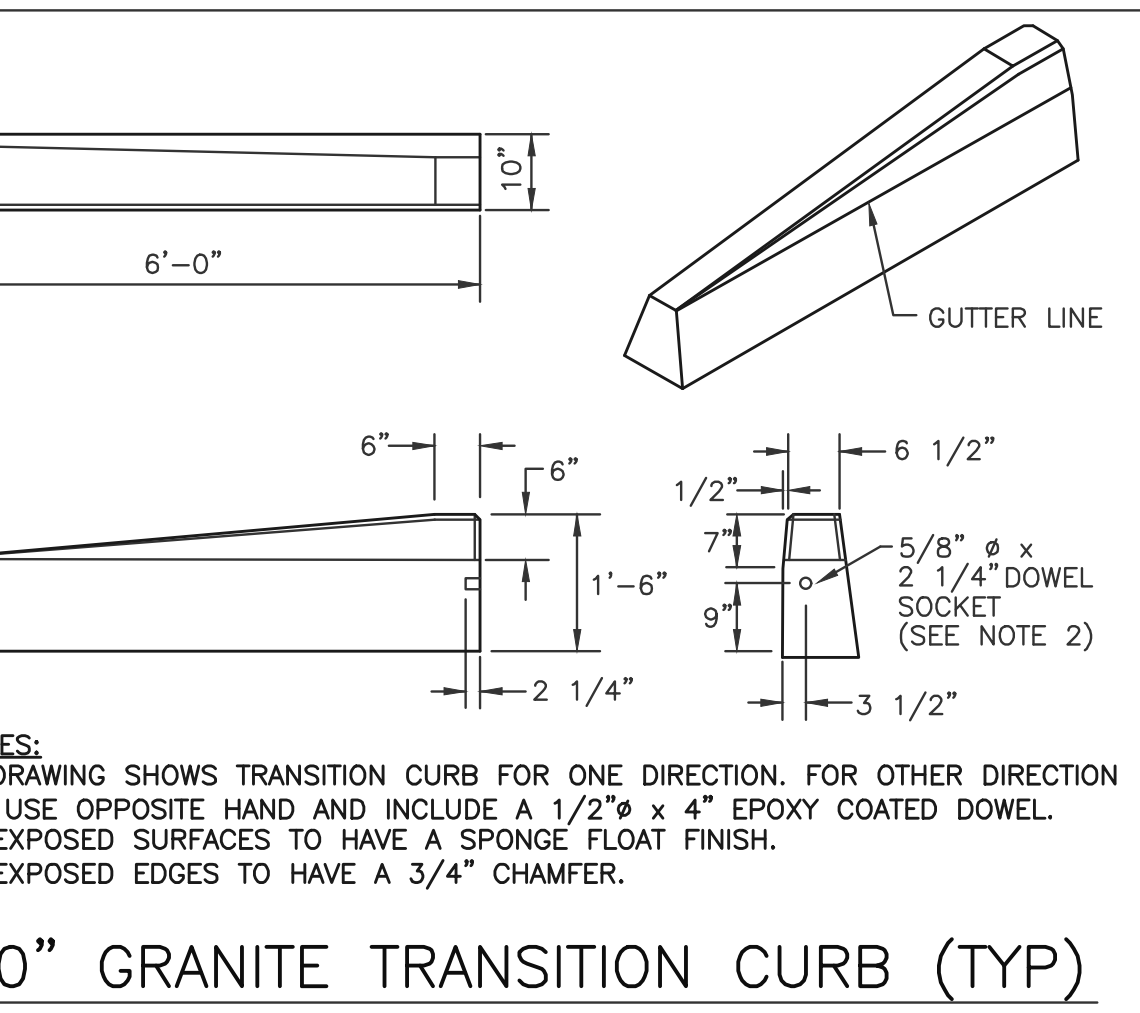
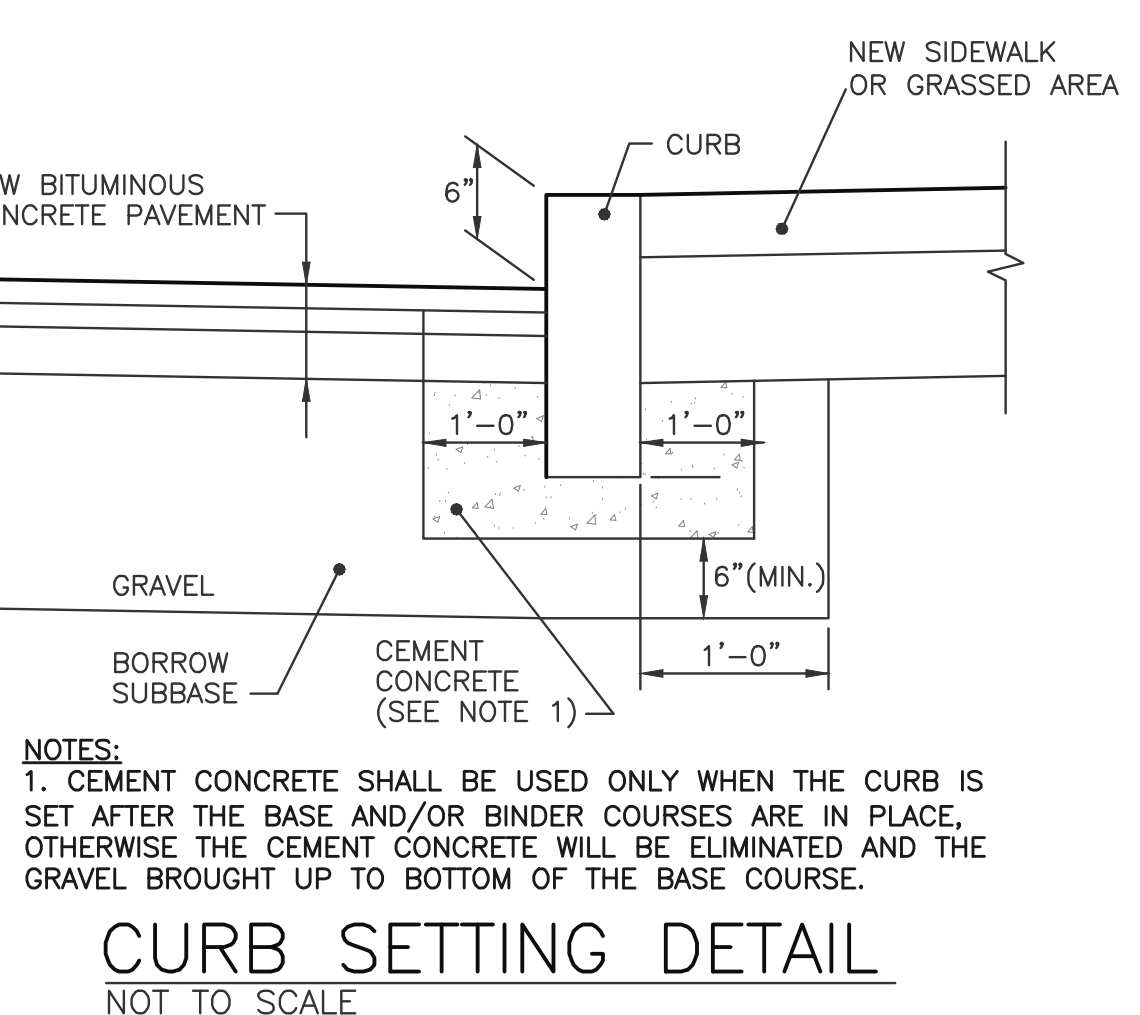
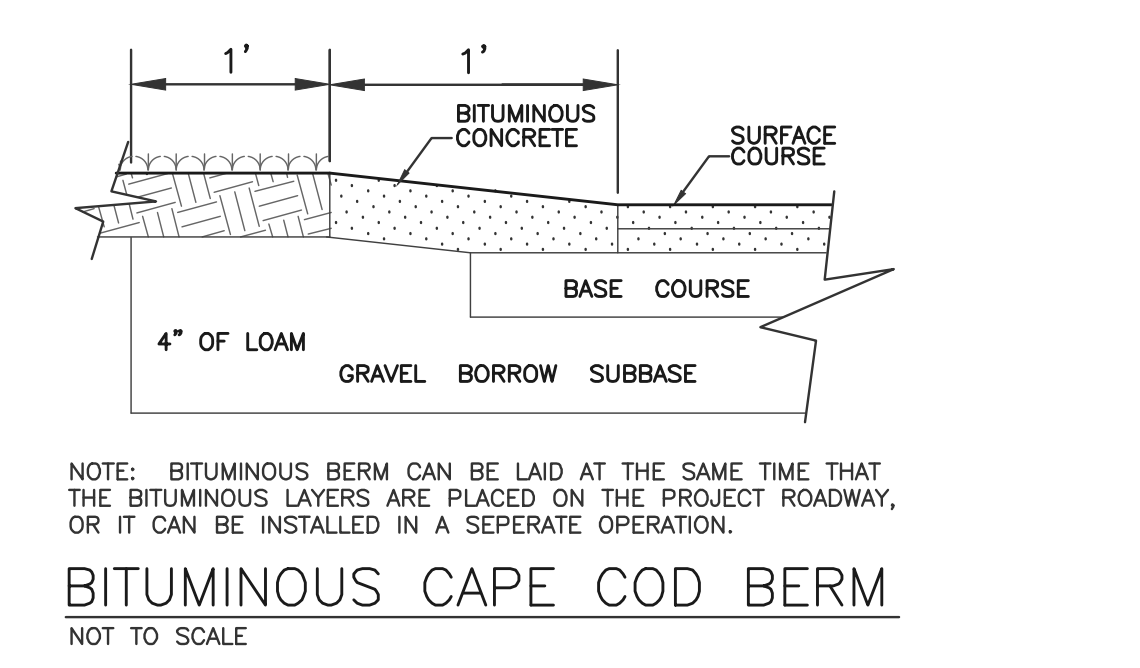
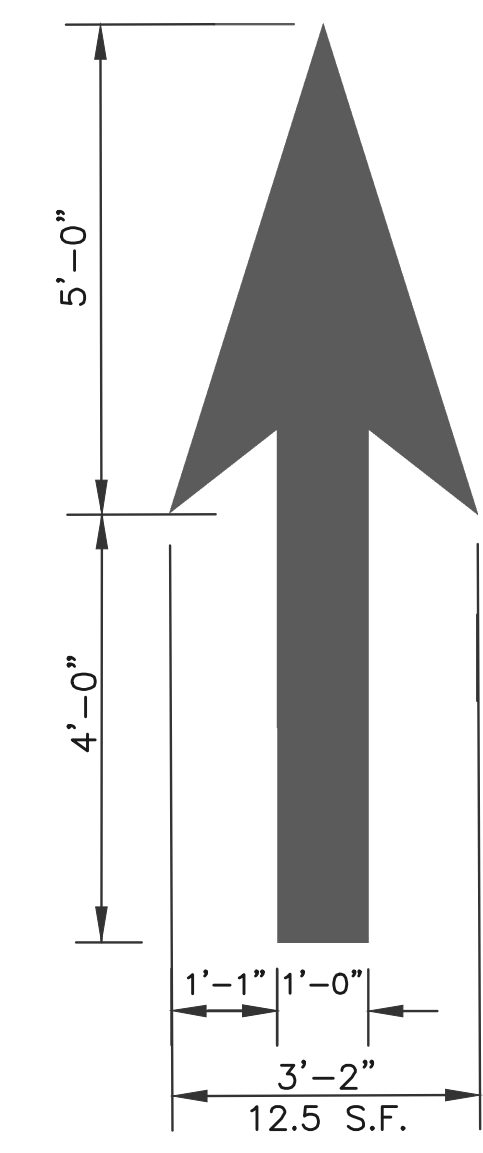
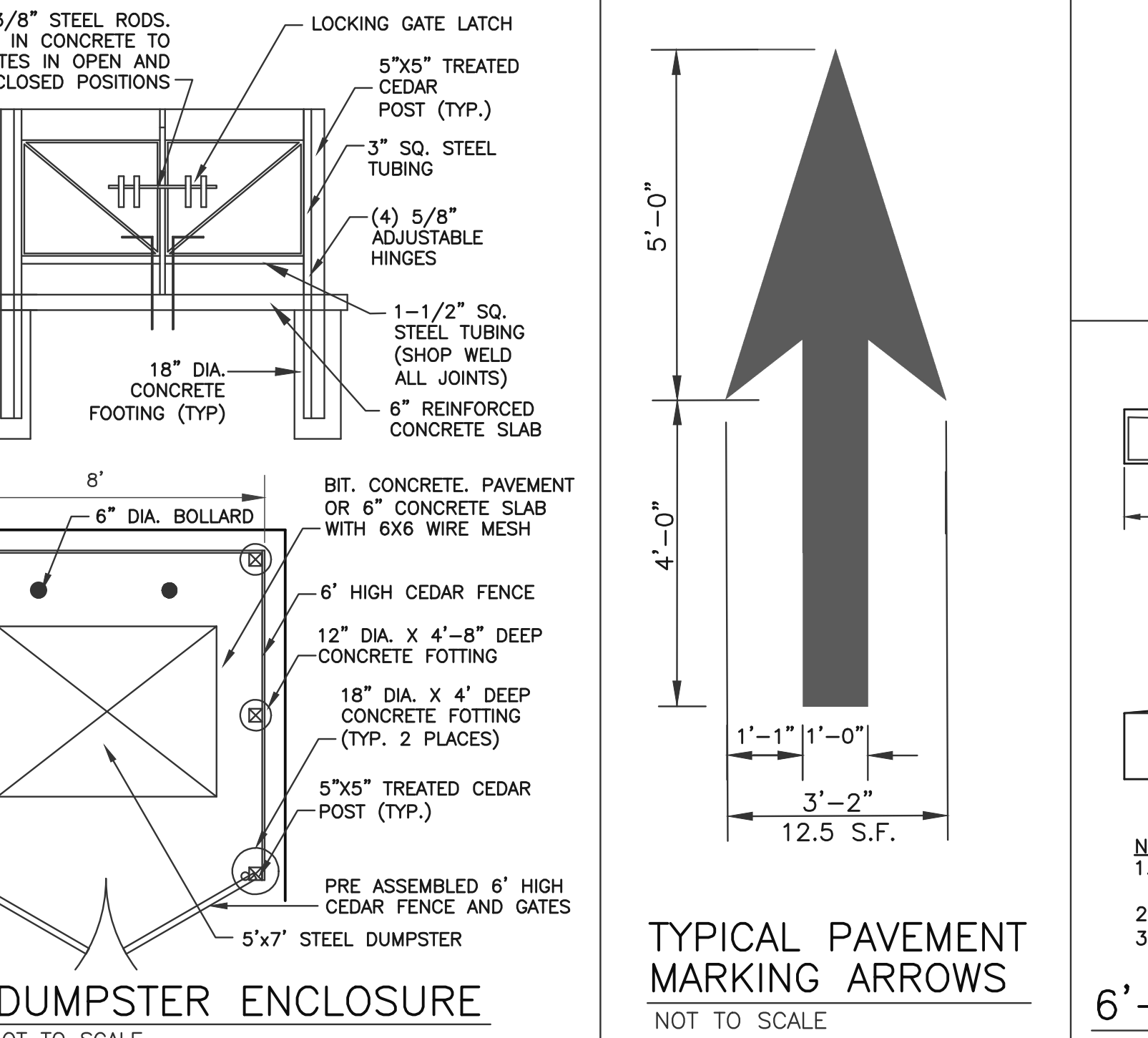
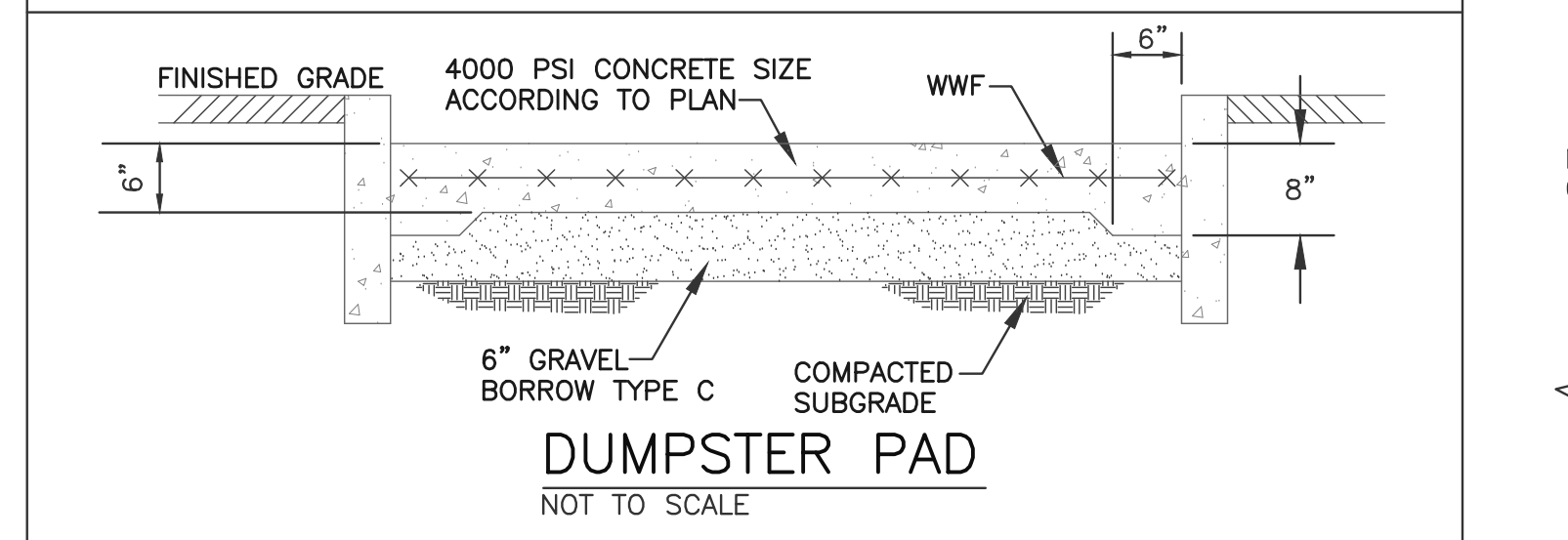
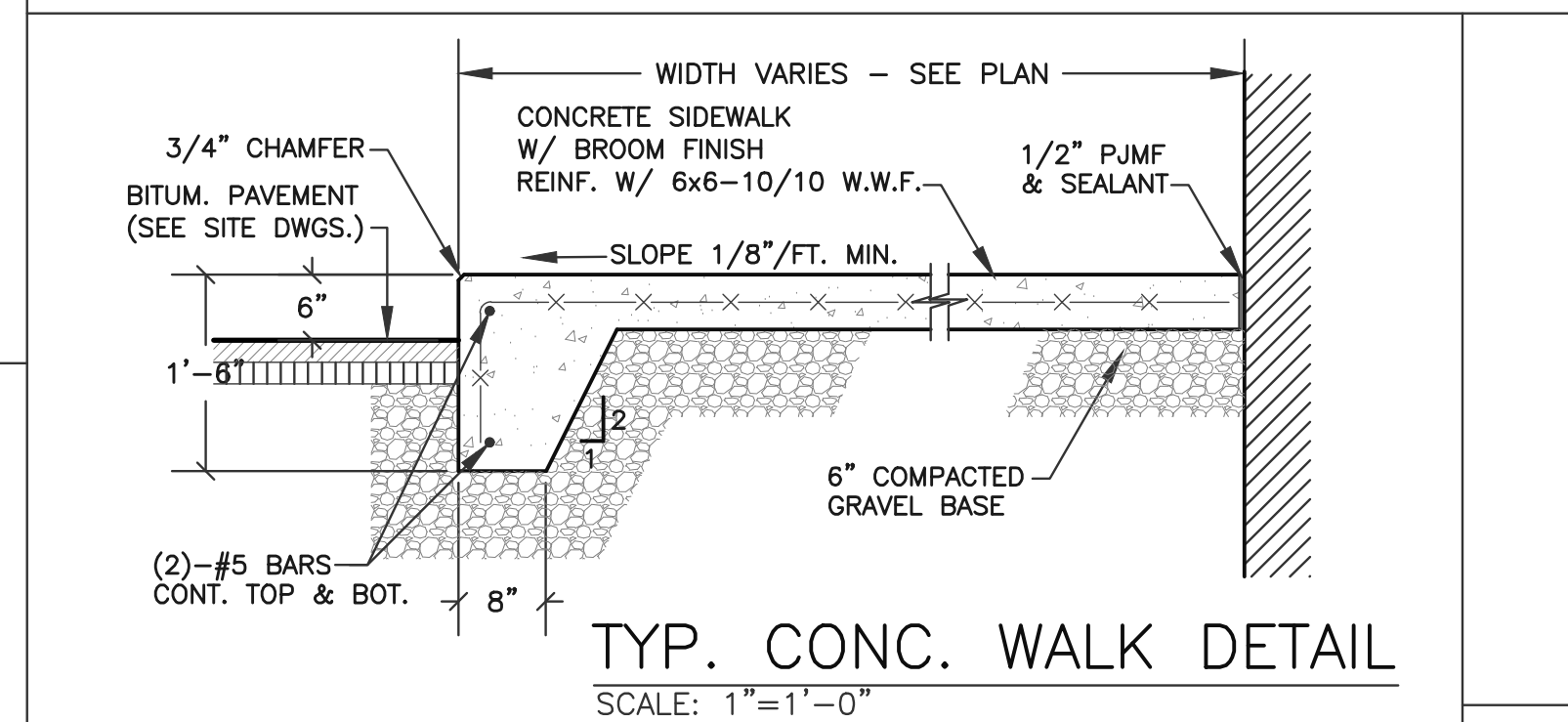
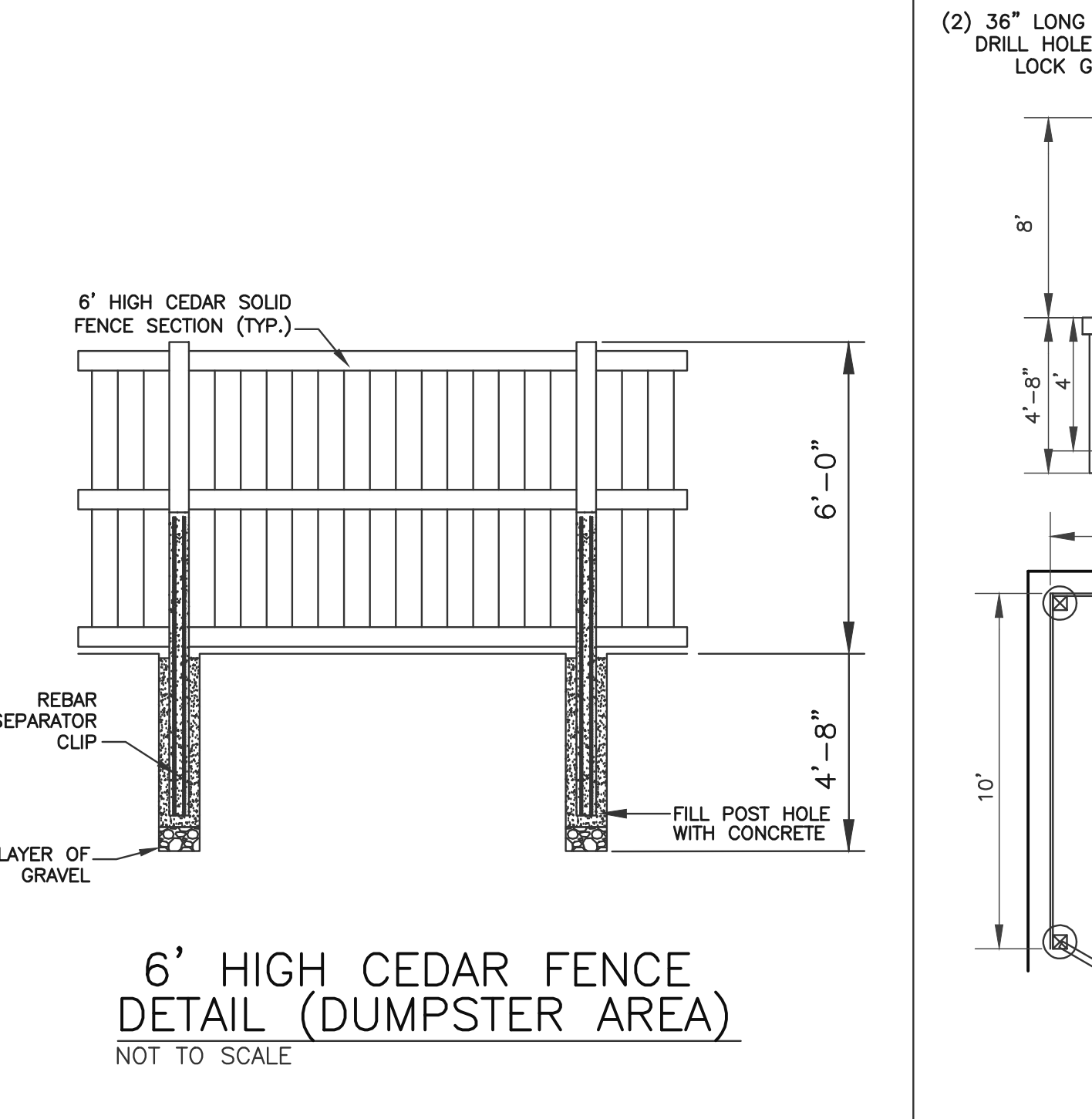
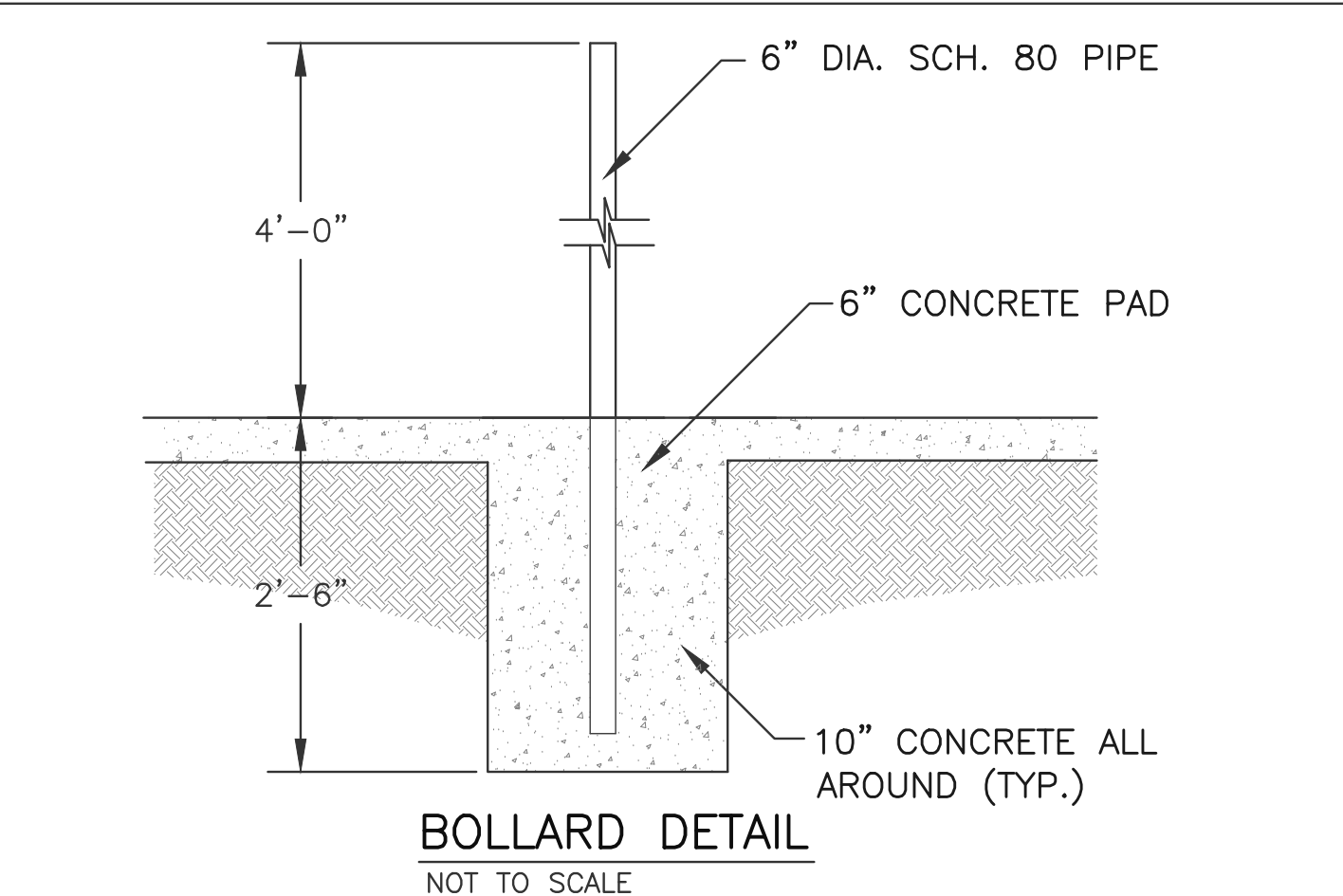
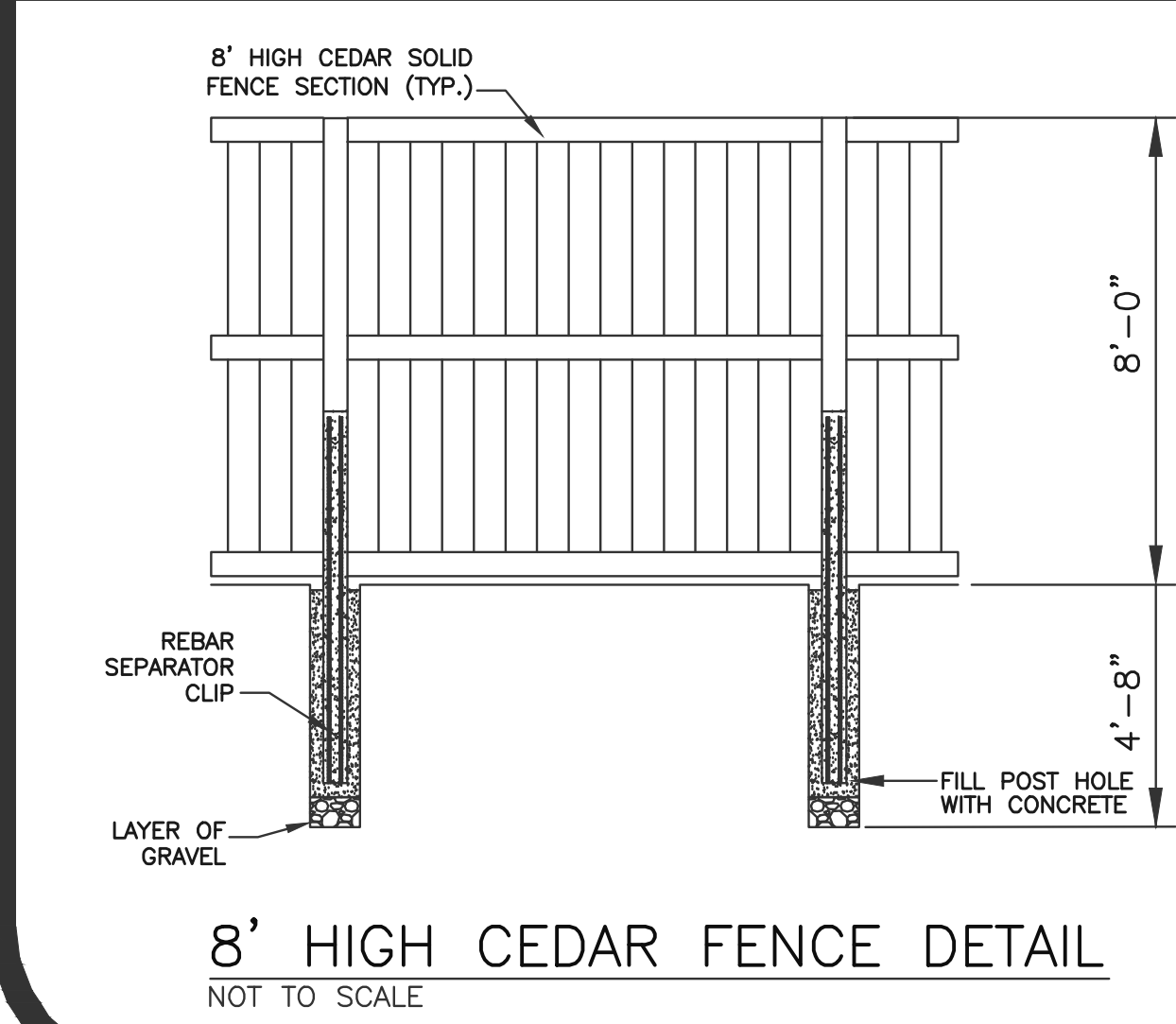
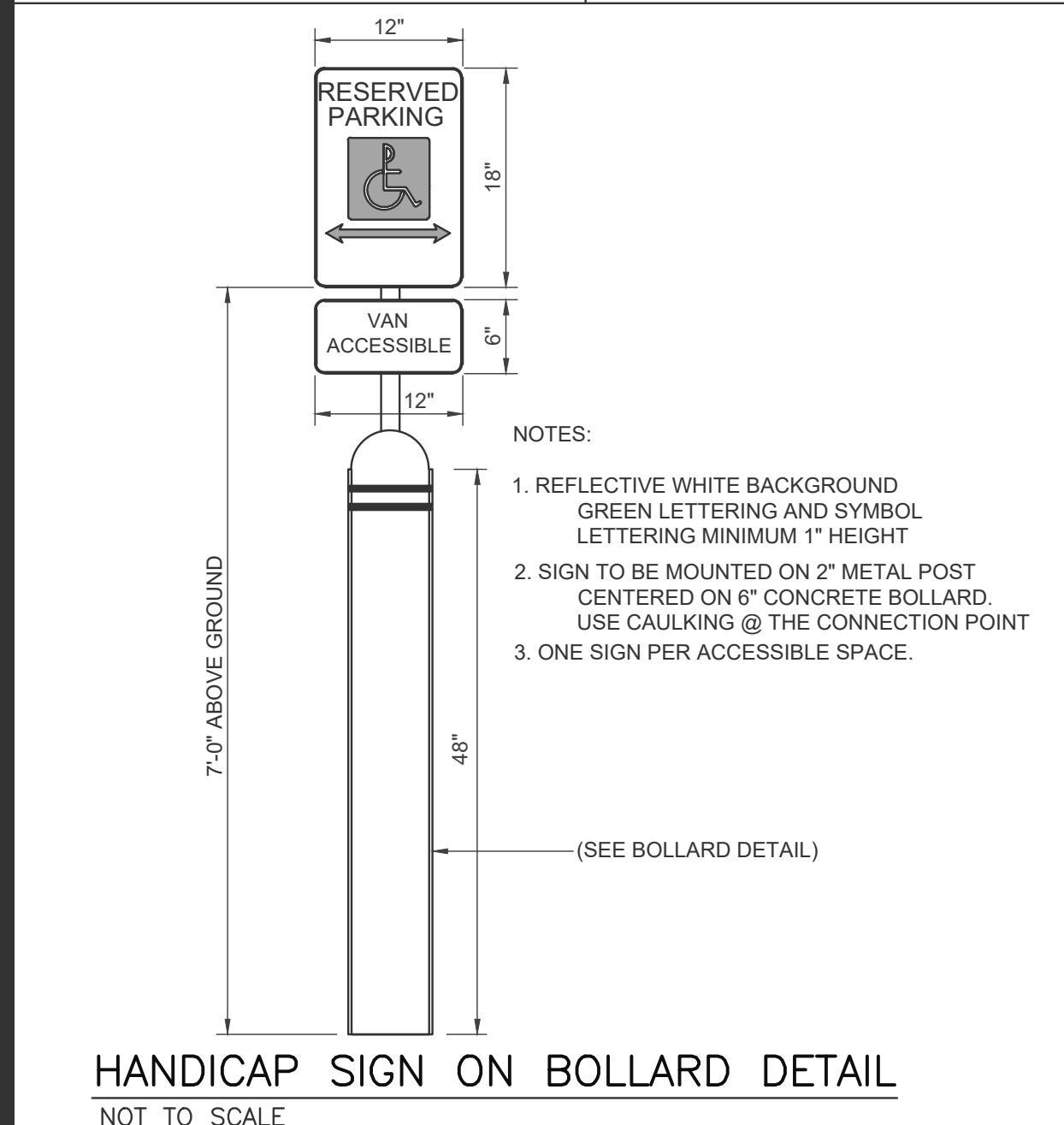
Sheet Title:

LANDSCAPE PLAN

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TRASH RECEPTACLE WITH COVER (TYPICAL)



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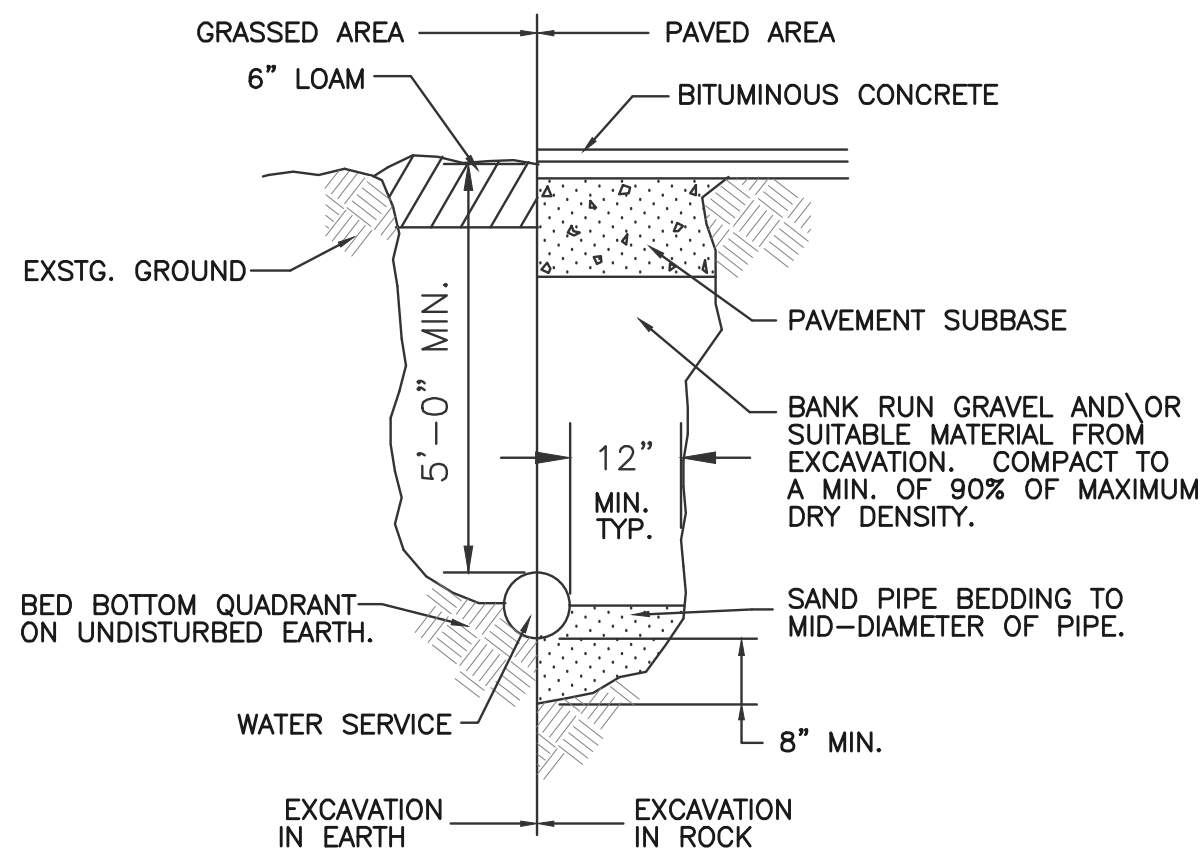


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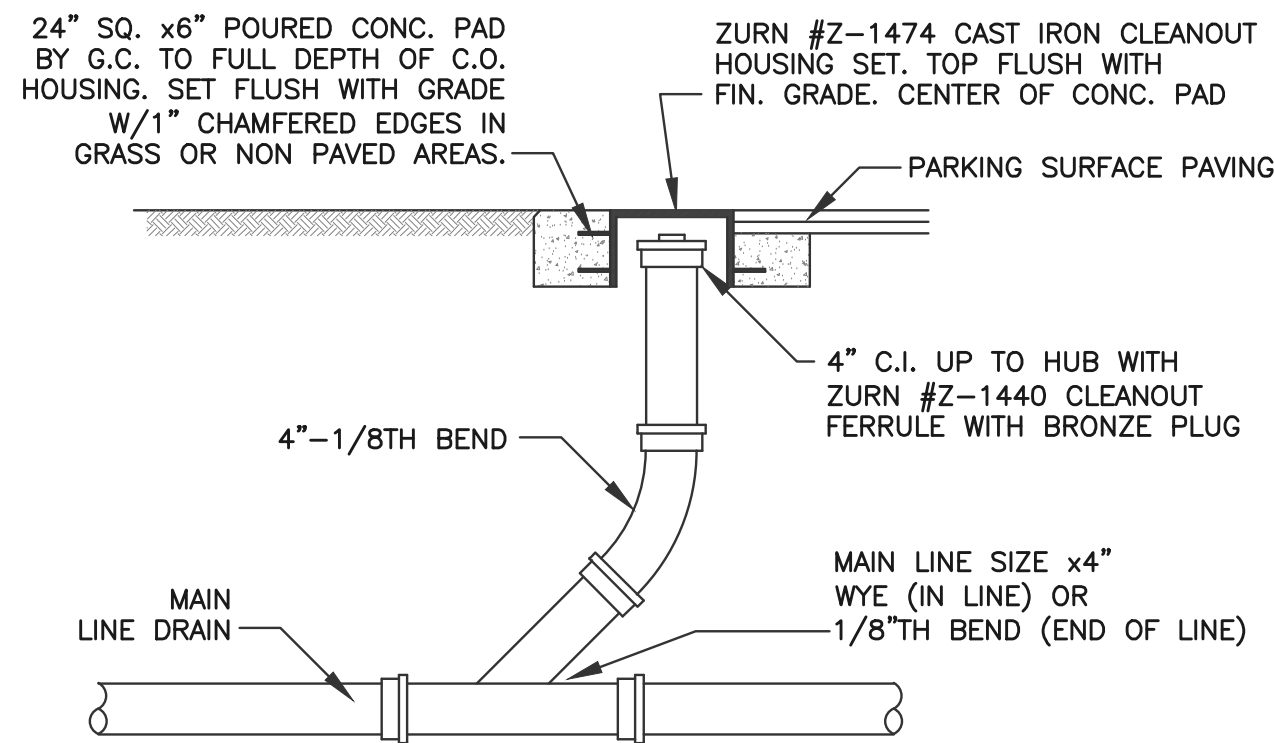
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SITE DETAILS #1

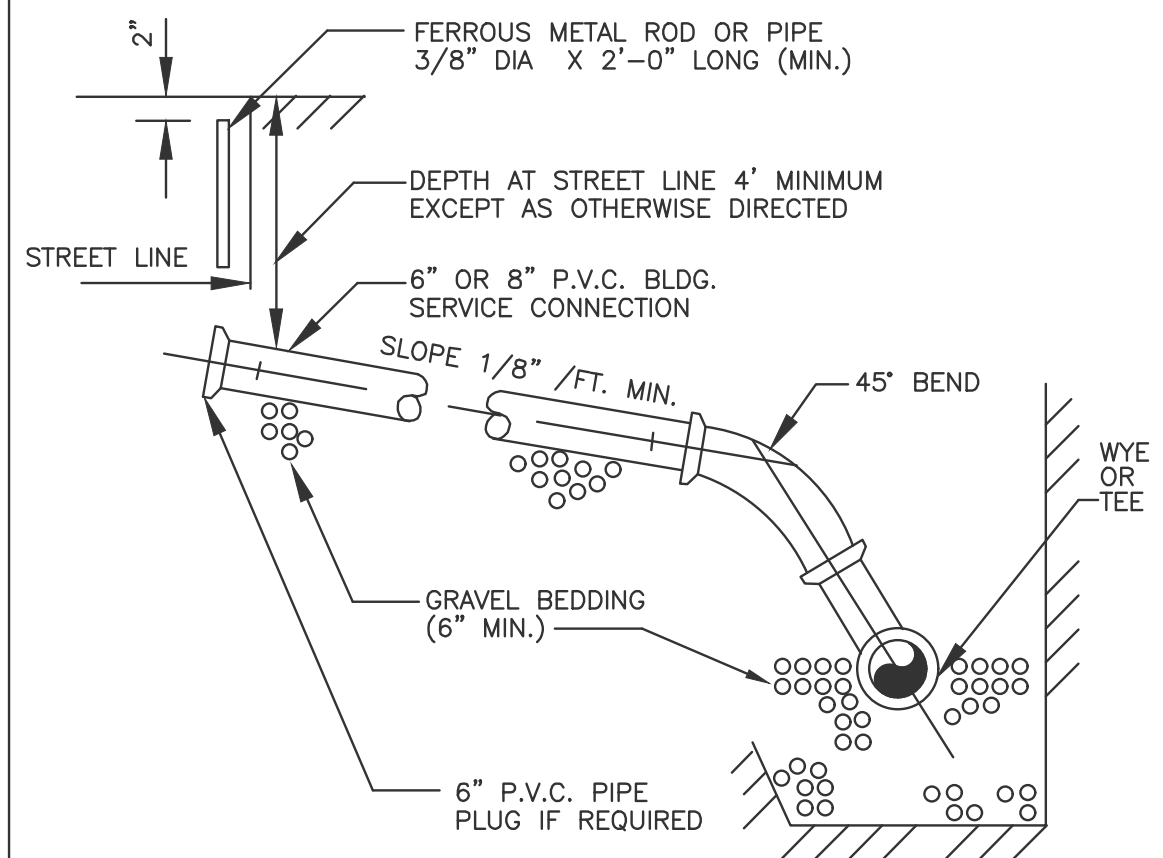
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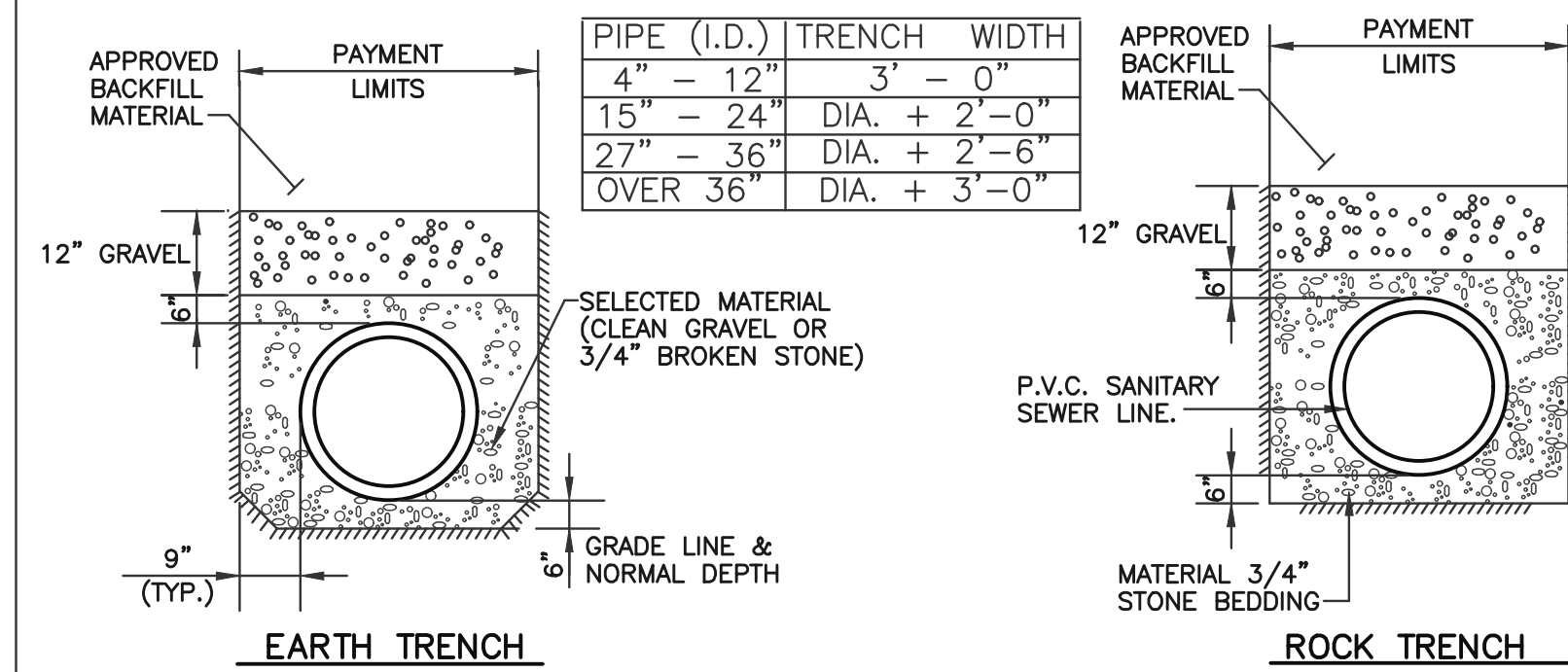
WATER SERVICE TRENCH DETAIL
SCALE: 1/2"=1'-0"



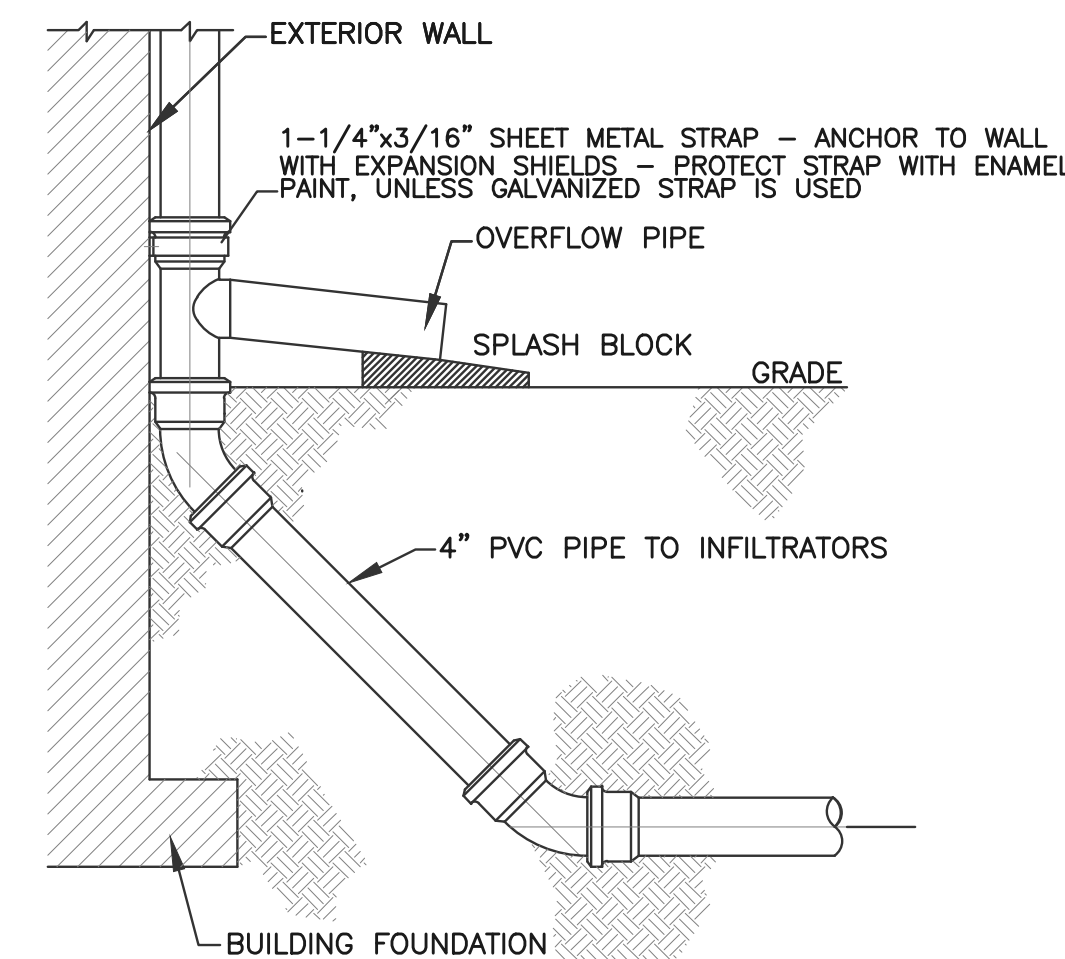
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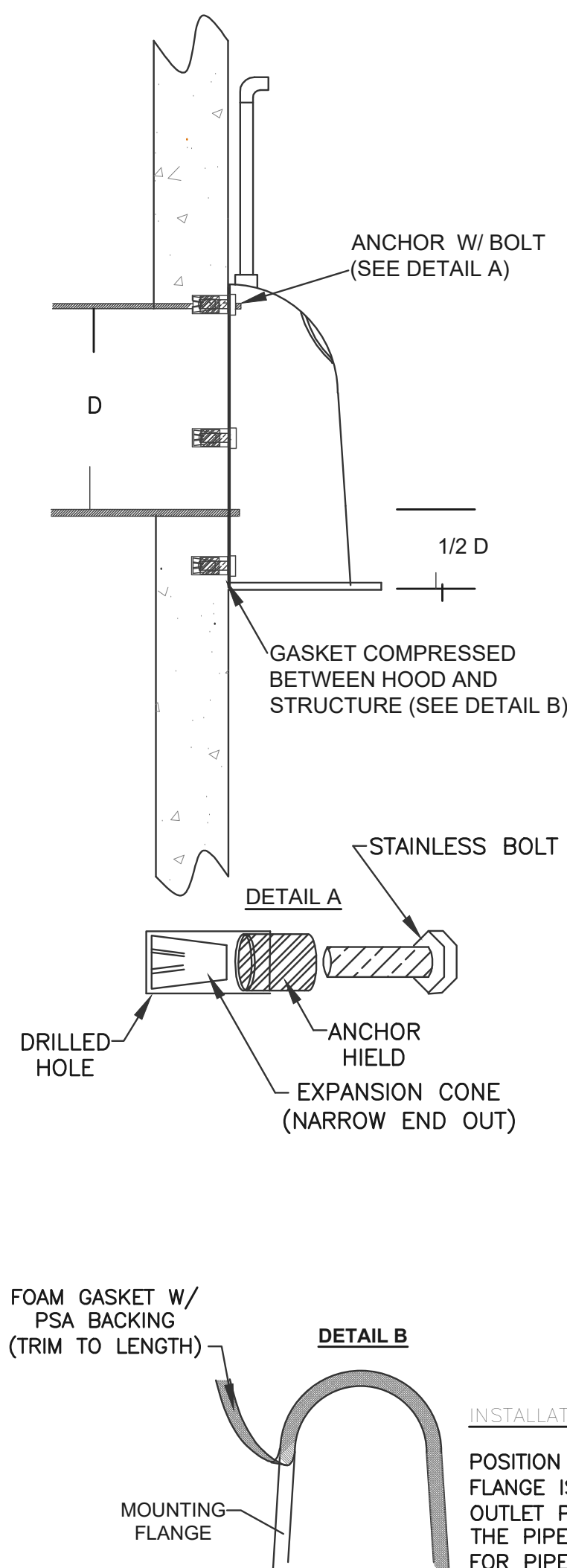
SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE



TYPICAL PIPE BEDDING
& TRENCH DETAILS
NOT TO SCALE



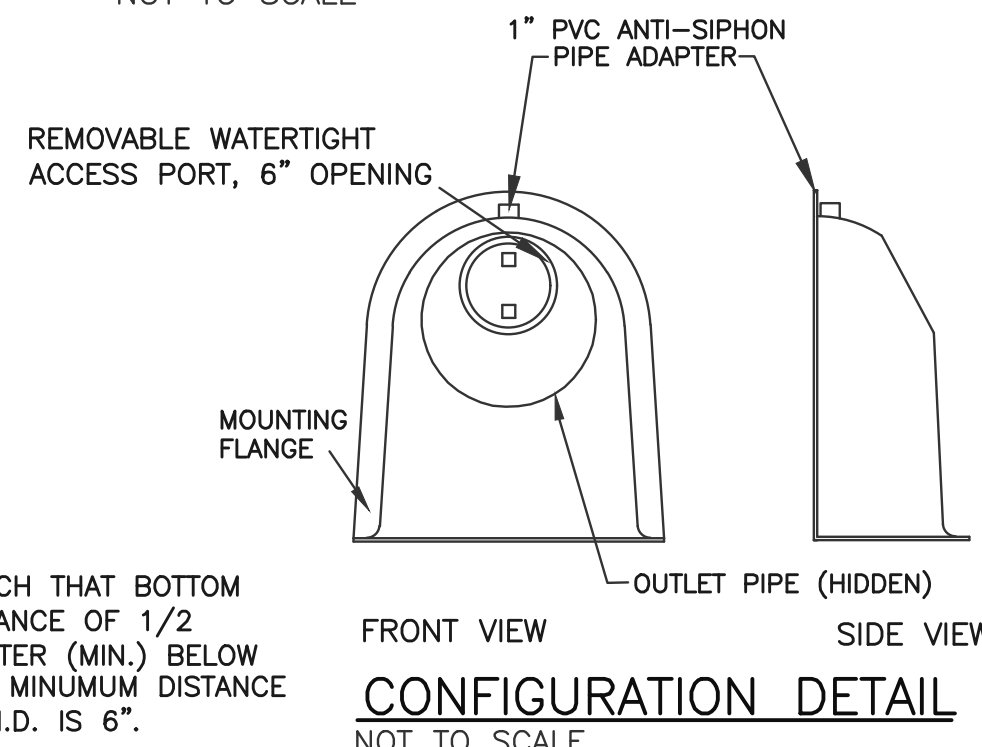
TYPICAL ROOF DRAIN
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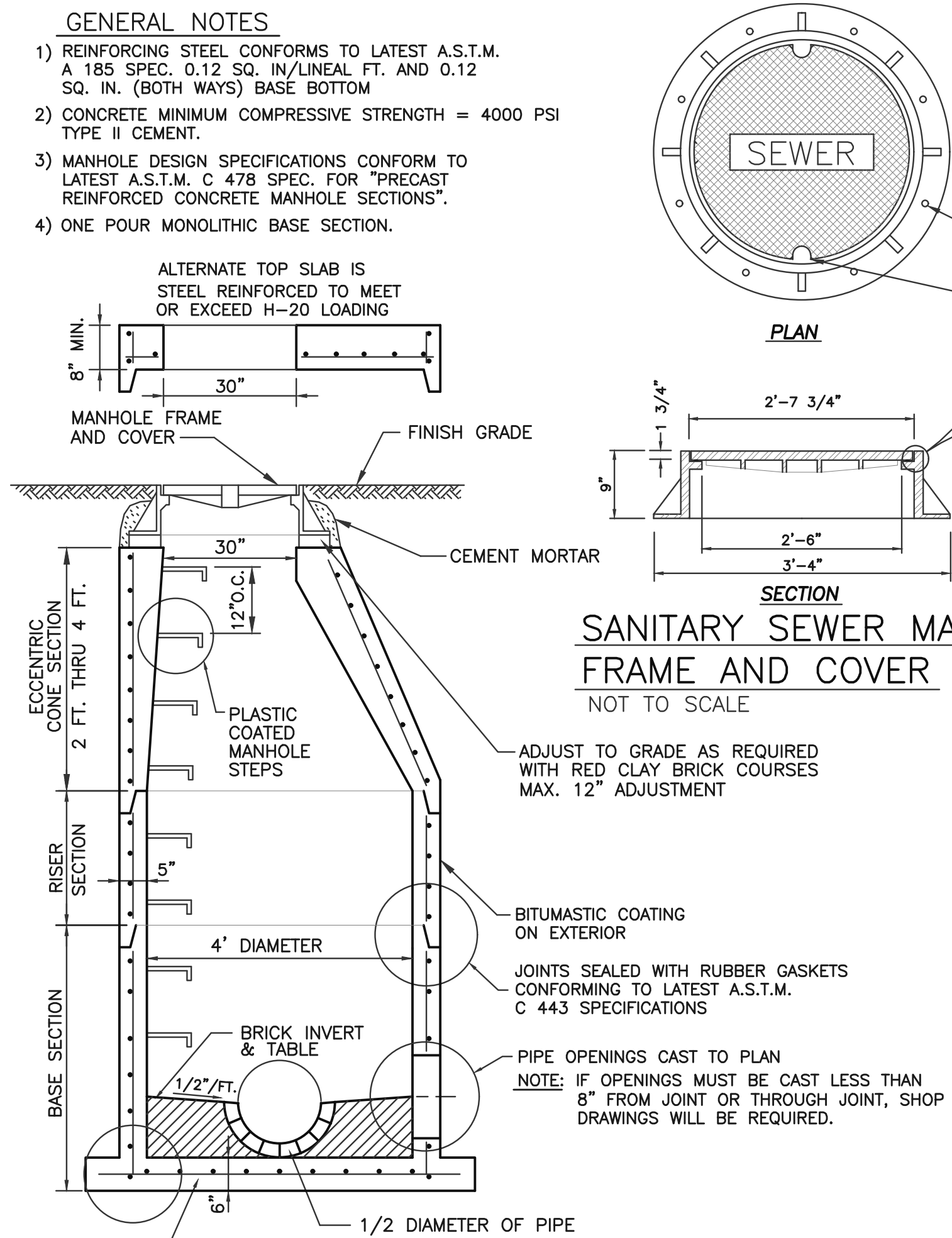
SNOUT OIL-WATER-DEBRIS SEPARATOR
NOT TO SCALE

- NOTES:**
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC.
53 MT. ARCHER RD. LYME, CT 06371
(860) 434-0277, (860) 434-3195 FAX
TOLL FREE: (800) 504-8008 OR (888) 354-7585
WEB SITE: www.bmpinc.com OR PRE-APPROVED EQUAL
 2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
 3. ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
 4. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
 5. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.
 6. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
 7. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
 8. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
 9. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.
INSTALLATION KIT SHALL INCLUDE:
A. INSTALLATION INSTRUCTIONS
B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
D. 3/8" STAINLESS STEEL BOLTS
E. ANCHOR SHIELDS

INSTALLATION DETAIL
NOT TO SCALE



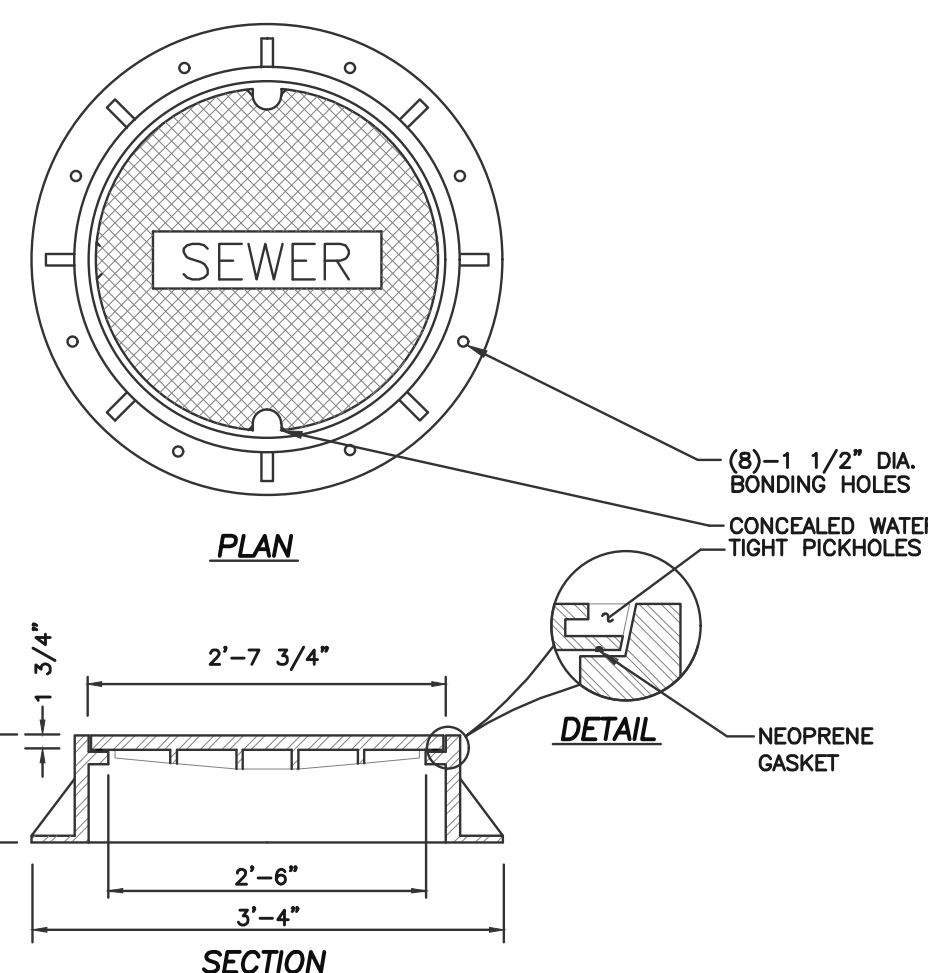
CONFIGURATION DETAIL
NOT TO SCALE



SANITARY SEWER MANHOLE
FRAME AND COVER
NOT TO SCALE

- NOTES:**
1. MANHOLE COVER TO BE SOLID AND WATER-TIGHT WITH NO VENT HOLES.
 2. THE LOWER SURFACE OF THE COVER AND THE CORRESPONDING UPPER SURFACE OF THE FRAME SHALL BE MACHINE FINISHED TO PROVIDE SMOOTH FLAT CONTACT OR FIT WITHOUT ANY TENDENCY FOR THE COVER TO ROCK OR RATTLE

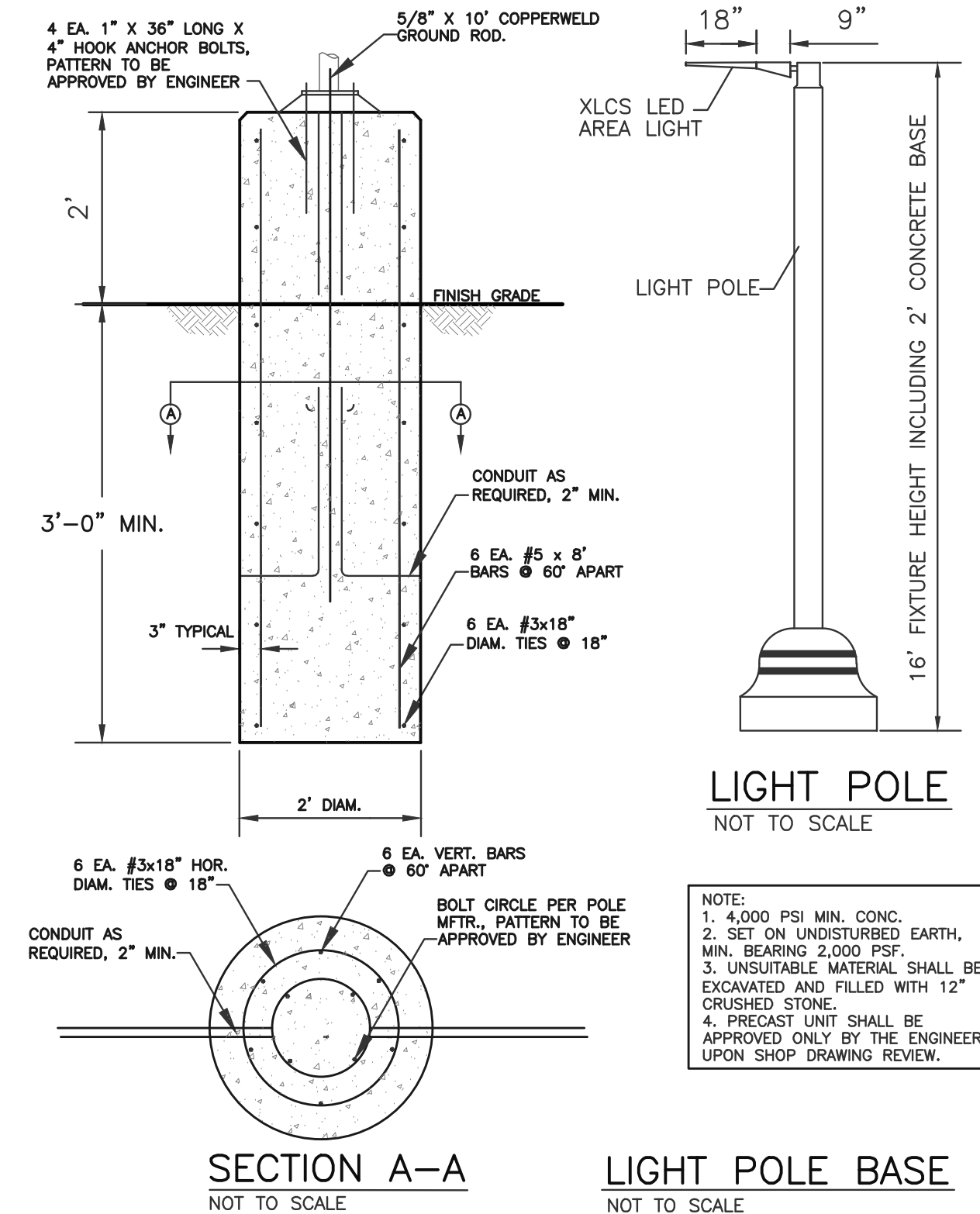
PRECAST MANHOLE - 4' DIA.
NOT TO SCALE



LIGHT POLE FIXTURE
NOT TO SCALE



WALL MOUNTED LIGHT FIXTURE
NOT TO SCALE



SECTION A-A
NOT TO SCALE

LIGHT POLE BASE
NOT TO SCALE

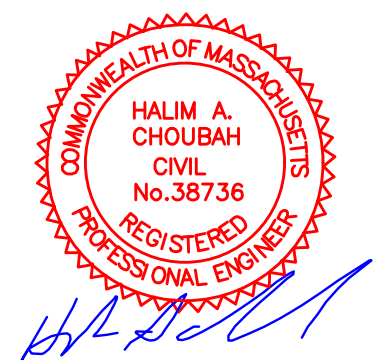
- LIGHTING NOTES:**
- ALL PROPOSED LIGHT FIXTURES SHALL HAVE A MAX TEMPERATURE OF 4,000K, DARK-SKY COMPLIANT, AND BE EQUIPPED WITH SHIELDING TO PREVENT LIGHT SPILLOVER.



112 STATE ROAD (ROUTE 6),
No. DARTMOUTH, MA 02747
TEL: (508) 858-5040 FAX: (508) 858-5041
www.choubahgroup.com

PROJECT:
PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

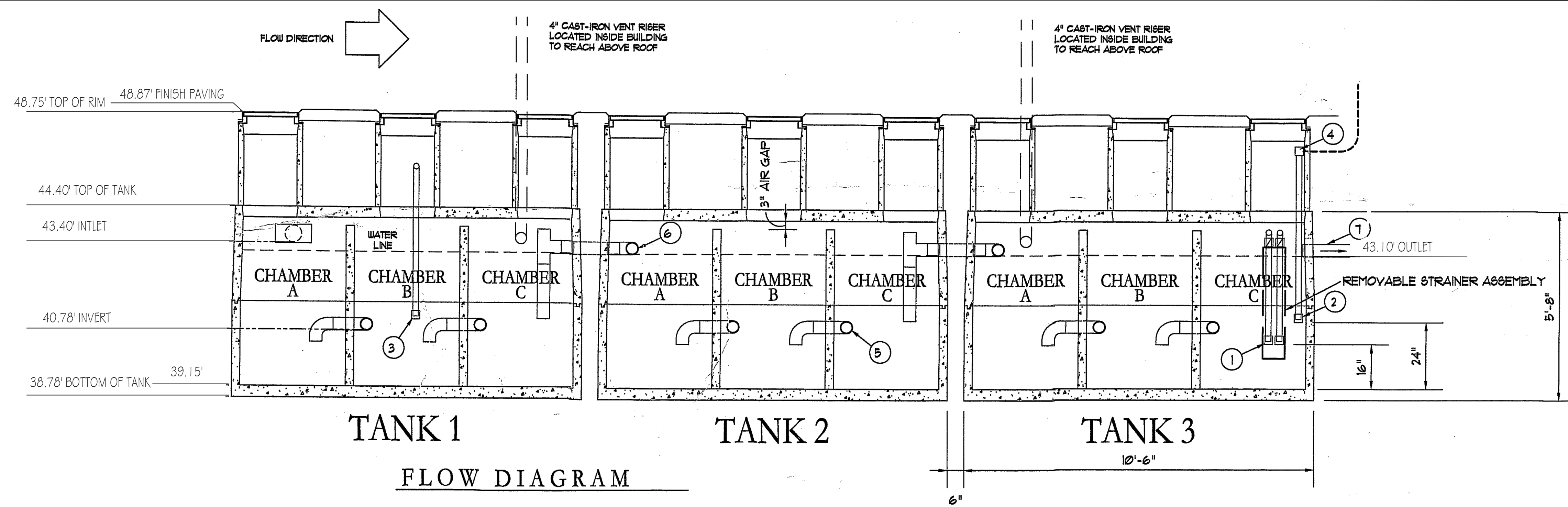
PREPARED FOR:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET
CANTON, MA 02021



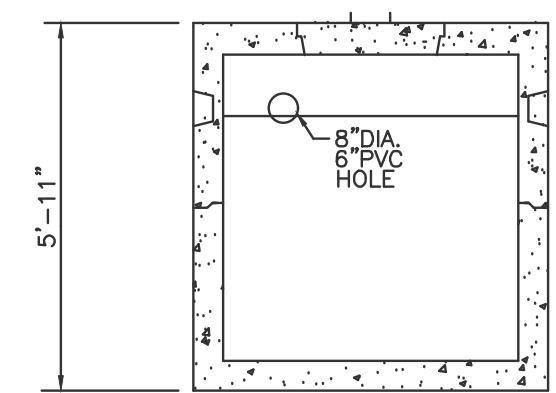
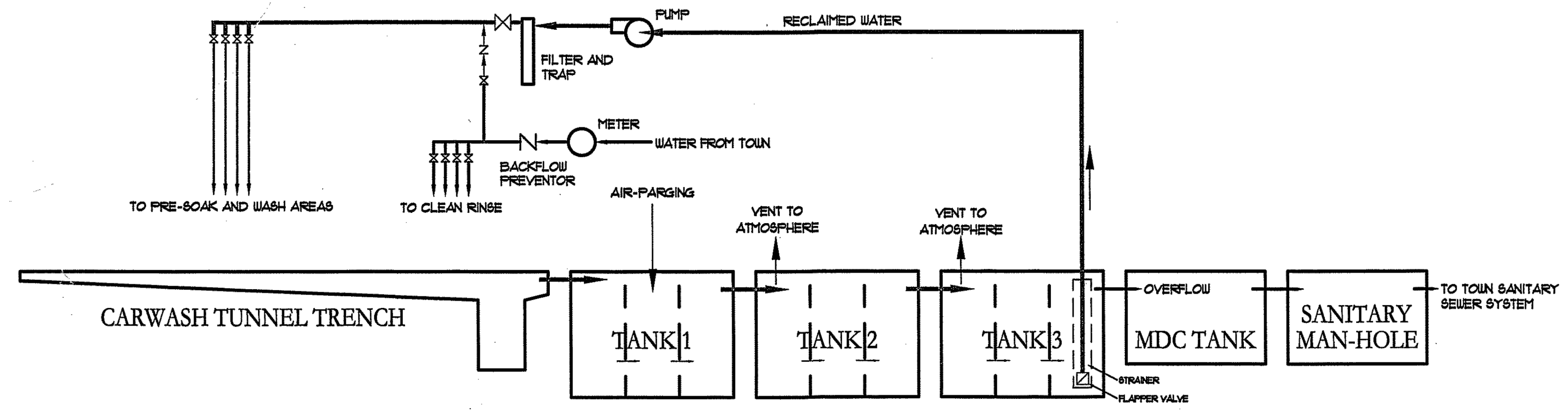
Issue Date: 04/15/2025		
Revisions		
No.	Date	Description
Project Number: 24-681		
Scale: AS SHOWN		
Designed By: CMS		
Drawn By: CMS		Checked By: HC
Sheet Title:		

SITE DETAILS #2

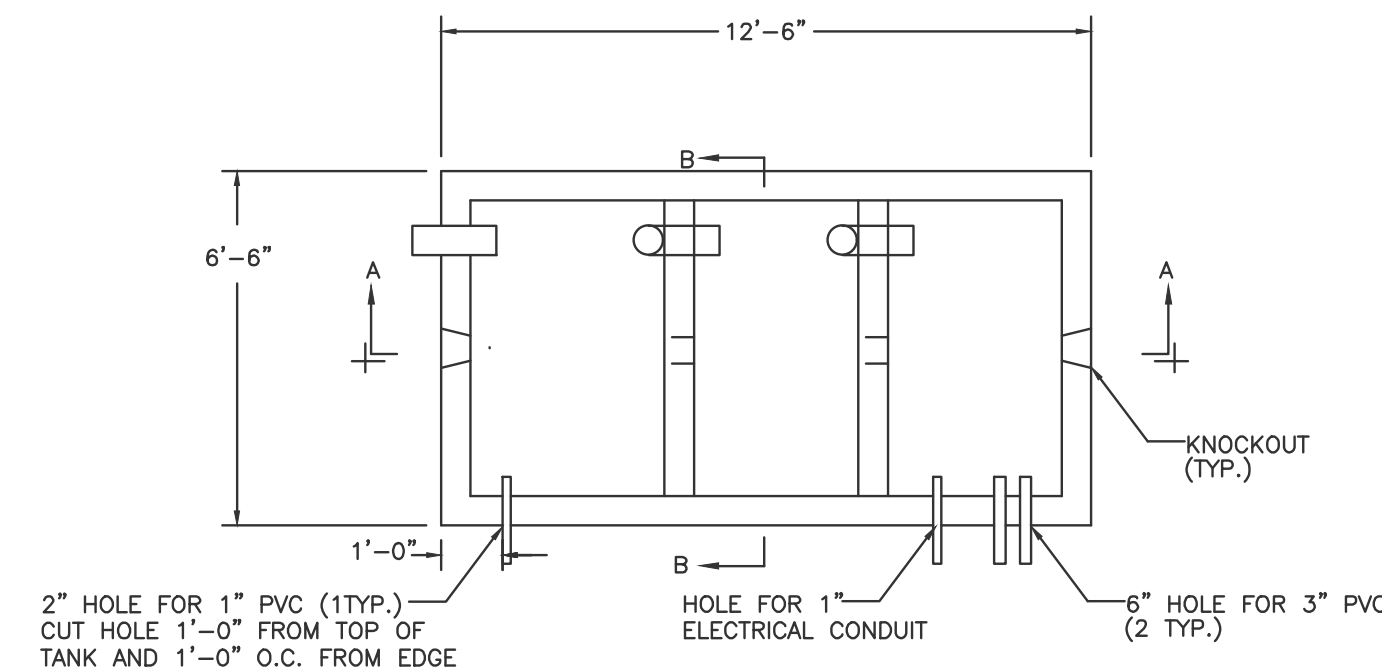
Sheet Number: 9 OF 12



TANK 1
TANK 2
TANK 3
FLOW DIAGRAM



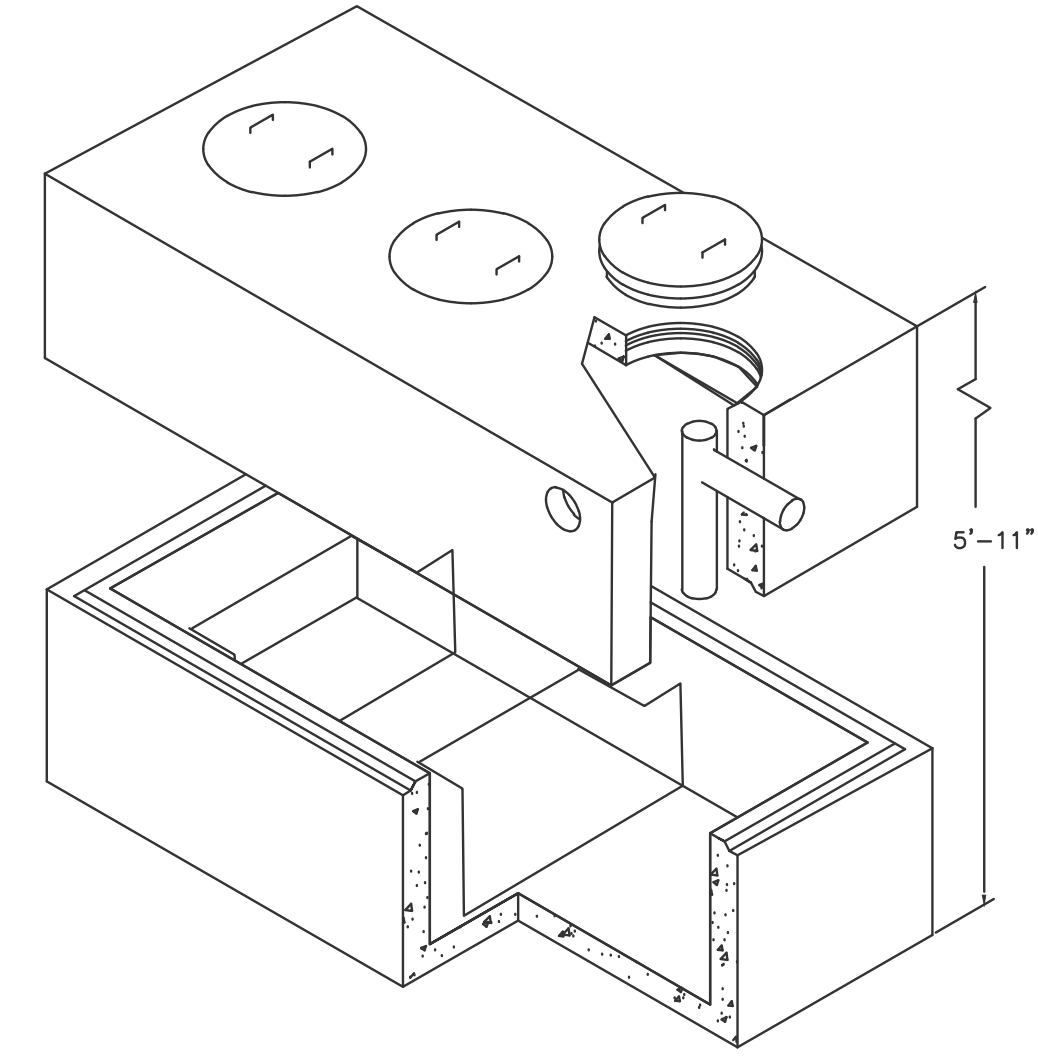
SECTION B-B



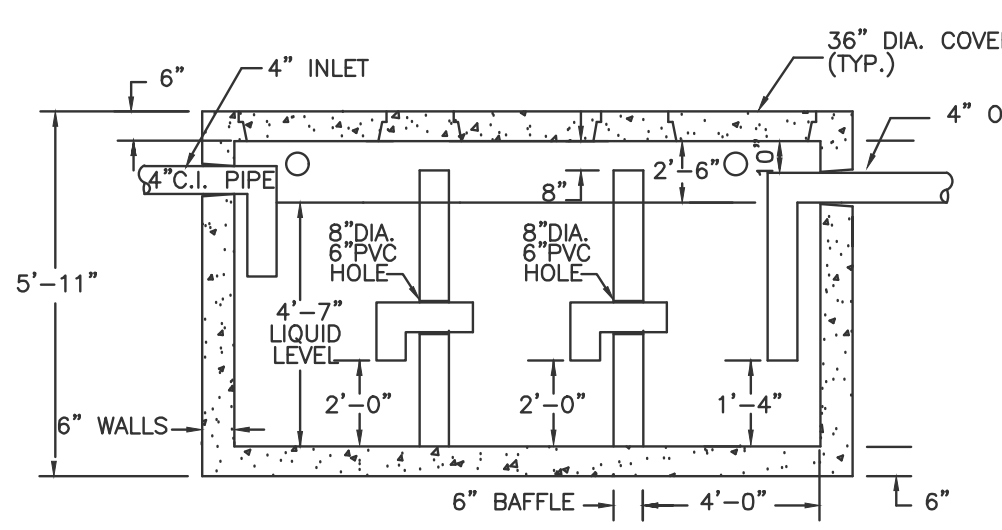
PLAN VIEW

NOTES:

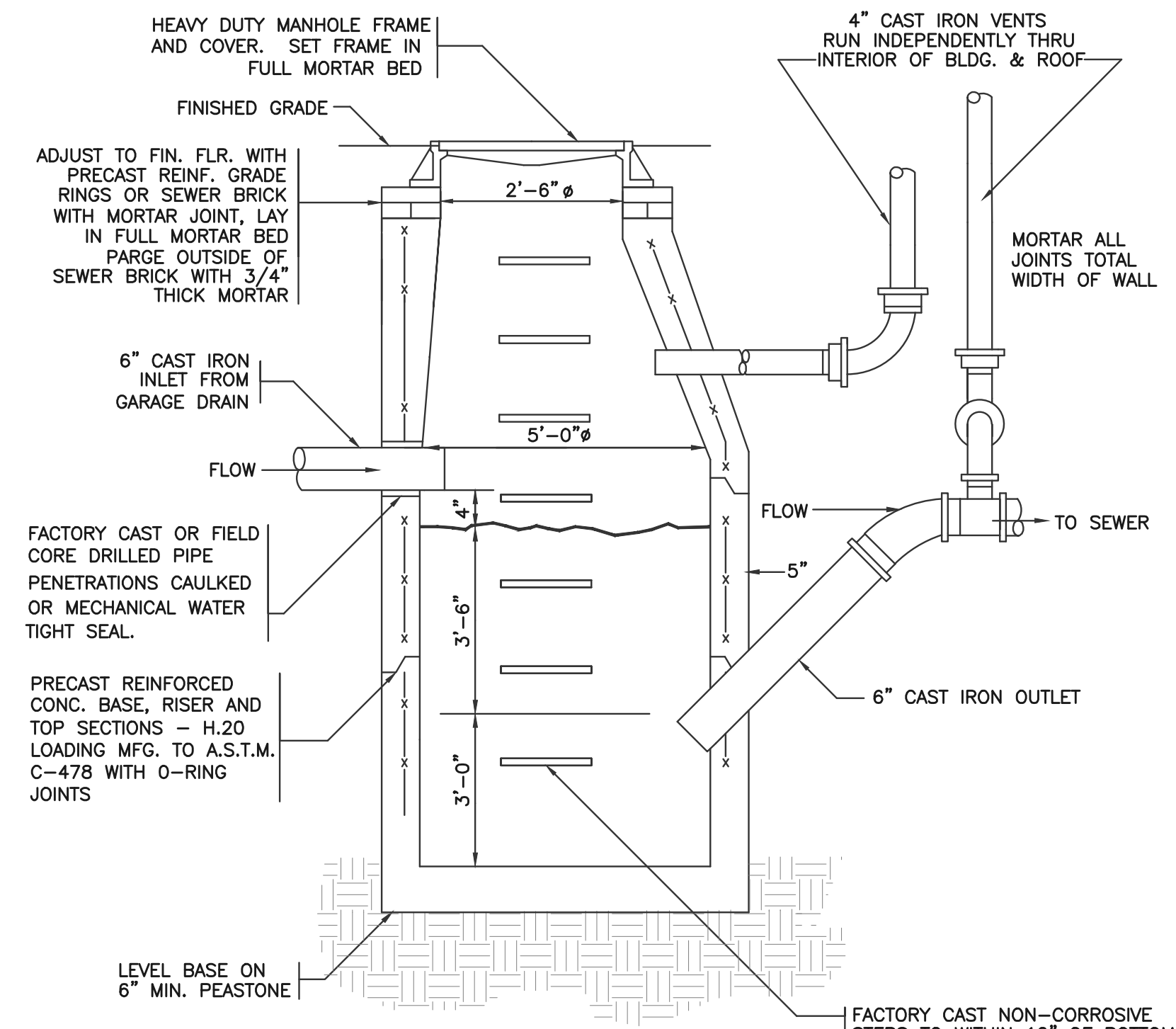
1. CONCRETE 5000 PSI MINIMUM STRENGTH @ 28 DAYS
2. STEEL REINFORCEMENT ASTM A-615, GRADE 60
3. COVER TO STEEL 1\"/>
4. DESIGN LOADING AASHTO HS-20
5. EARTH COVER 0 TO 5 FEET
6. CONSTRUCTION JOINT LAPPED



H-20 2,000 GALLON RECLAIM TANK DETAIL
NOT TO SCALE



SECTION A-A



MDC TRAP DETAIL
NOT TO SCALE

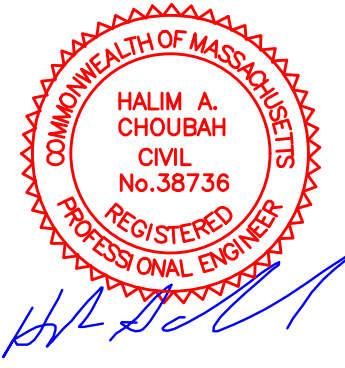
NOTES

- (3) TANK CONFIGURATION WITH A TOTAL OF (9) CHAMBERS
60-90 GPM MODERATE TO HIGH VOLUME
1. SUCTION LINES (2) 2\"/>
 2. PROVIDE AND INSTALL (1) LOW-LOW LEVEL SAFETY SWITCH AND FLOAT 8\"/>
 3. 1\"/>
 4. (1) 1\"/>
 5. USE 4\"/>
 6. USE 6\"/>
 7. (1) 6\"/>
 8. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH NOT LESS THAN 4000 PSI AFTER 28 DAYS.
 9. CONSTRUCTION SHALL CONFIRM WITH D.E.P. TITLE 5 REGULATIONS 310 CMR SECTION 15211 AND 15214.
 10. ALL REINFORCEMENT SHALL BE PER A.S.T.M. C1221-93.
 11. TANKS SHALL BE DESIGNED TO PROVIDE H-20 LOAD CAPACITY.
 12. TONGUE AND GROOVE JOINT SHALL BE SEALED WITH BUTYL RESIN.
 13. MONOLITHIC POURED TEES SHALL BE PER D.E.P. REG. SEC. 15215.

CHOUBAH ENGINEERING GROUP, P.C.
CEG
CONSULTING PROFESSIONAL ENGINEERS
112 STATE ROAD (ROUTE 6),
No. DARTMOUTH, MA 02747
TEL: (508) 858-5040 FAX: (508) 858-5041
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PROJECT:
PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

PREPARED FOR:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET
CANTON, MA 02021



Issue Date: 04/15/2025		
Revisions		
No.	Date	Description
Project Number: 24-681		
Scale: AS SHOWN		
Designed By: CMS		
Drawn By: CMS	Checked By: HC	
Sheet Title:		

GRAY WATER SYSTEM
& TANKS DETAILS

GENERAL NOTE(S)

THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF THE TITLE TO THE PROPERTY DISPLAYED HEREON. THE NAMES SHOWN AS OWNERS OF THE LOCUS AND ABUTTING PROPERTIES ARE TAKEN FROM THE CURRENT ASSESSORS TAX LIST.

NO WARRANTY/ GUARANTEE IS EXPRESSED OR IMPLIED HEREON AS TO THE LOCATIONS OF ANY EXISTING UNDERGROUND UTILITIES, (INCLUDING DRAINAGE CONDUITS, SEWER, GAS, WATER, ELECTRIC, TELEPHONE, CABLE) THAT MAY BE SHOWN HEREON. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN ARE BASED ON ABOVE GROUND OBSERVATIONS AND MARKINGS AS THEY APPEARED DURING THE SURVEYS CONDUCTED BY E. T. ENGINEERING ENTERPRISES INC. PRIOR TO THE START OF ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY DIG-SAFE AND THE ENGINEERING, WATER, SEWER, AND HIGHWAY DIVISIONS IN ORDER TO VERIFY THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PRIVATE OR PUBLIC UNDERGROUND UTILITY WHICH MAY RESULT FROM HIS/HER WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING ANY SITE WORK.

CONTRACTOR SHALL NOTIFY THE WATER AND SEWER DIVISIONS IN ORDER TO SCHEDULE ALL REQUIRED INSTALLATION INSPECTIONS. ALL WATER SERVICE AND SEWER SERVICE MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE STATE PLUMBING CODE AND ANY LOCAL SPECIFICATIONS.

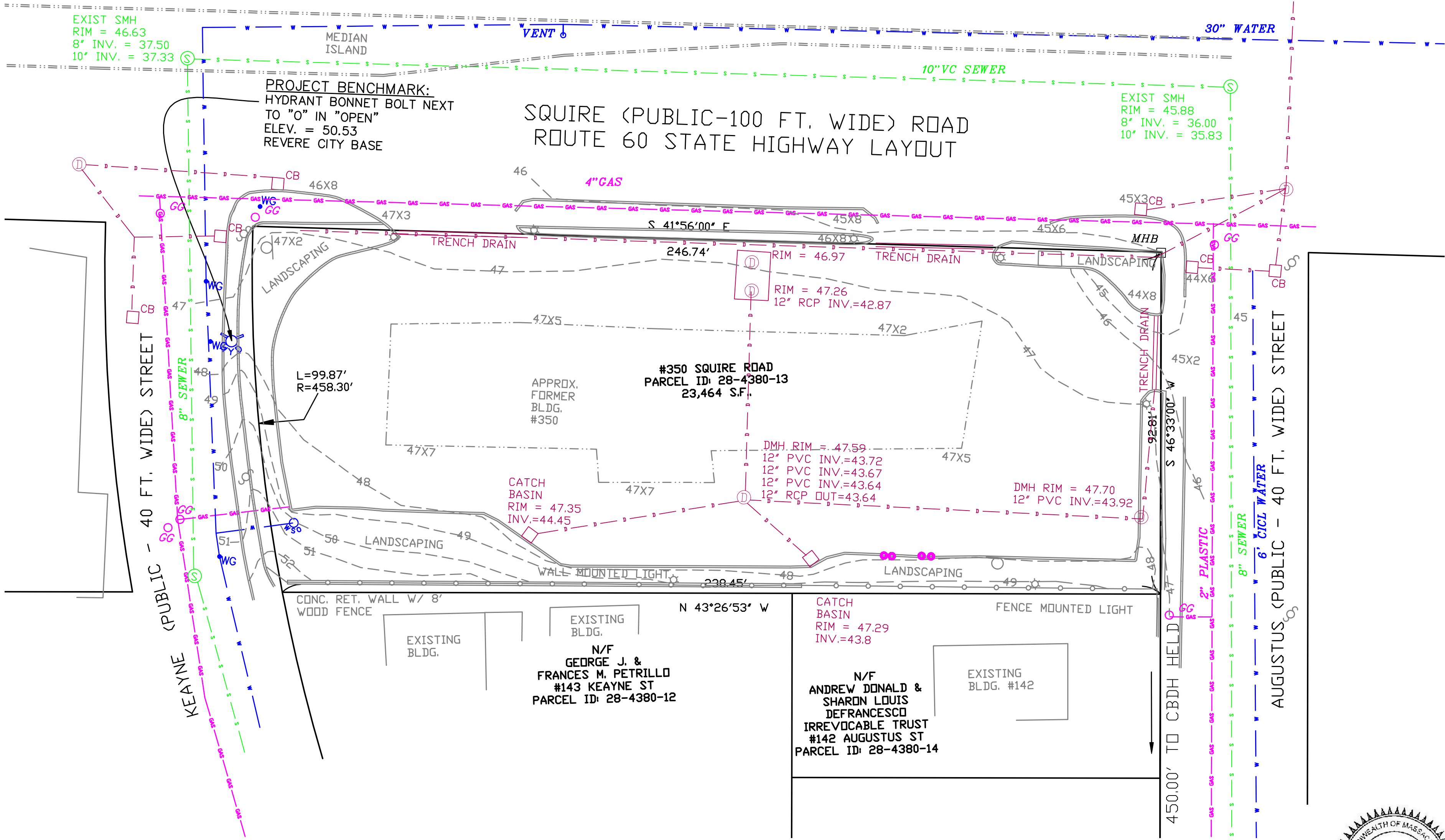
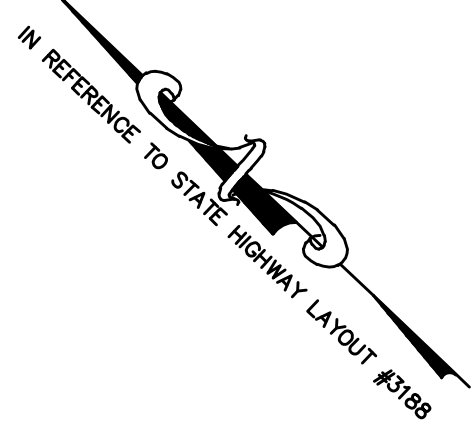
WORK AT THE SITE MAY BE SUBJECT TO THE WETLANDS PROTECTION ACT AND AN ORDER OF CONDITIONS FROM THE FRAMINGHAM CONSERVATION COMMISSION MAY BE REQUIRED.

ALL ELEVATIONS SHOWN HEREON ARE ON REVERE CITY BASE

THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE BASED ON FEMA MAP PANEL 25025C0017K EFFECTIVE 7-3-2024.

THE CERTIFICATIONS AND ENDORSEMENT OF THE PLAN BY THE ENGINEER AND/OR SURVEYOR DO NOT CONSTITUTE A CERTIFICATION AS TO CONFORMANCE TO ANY ZONING BYLAW/ ORDINANCE.

LEGEND	
	MASS HIGHWAY BOUND
	CHAIN-LINK FENCE
	WOOD STOCKADE FENCE
	PLASTIC STOCKADE FENCE
	CONTOURS
	SPOT ELEVATION
	EDGE OF PAVEMENT
	UTILITY POLE
	GAS METER
	GAS GATE
	WATER GATE
	WATER SHUT OFF
	HYDRANT
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	GAS LINE
	WATER LINE
	DRAIN LINE
	SEWER LINE
	OVERHEAD WIRE
	UNDERGROUND ELEC.
	COMMUNICATIONS LINE
	STREET SIGN
	TREE
	BITUMINOUS CONCRETE PAVEMENT
	TYPICAL
	LIGHT POLE
	ELECTRIC HANDHOLE
	COMMUNICATIONS BOX
	ELECTRICAL TRANSFORMER
	GUARD RAIL
	CAPE COD BERM
	VERTICAL GRANITE CURBING
	HIGH DENSITY POLYETHYLENE
	REINFORCED CONCRETE PIPE



OWNER OF RECORD
(PARCEL ID: 28-4380-13)
418 RE-350 SQUIRE, LLC
250 DORCHESTER AVENUE
S. BOSTON, MA 02127

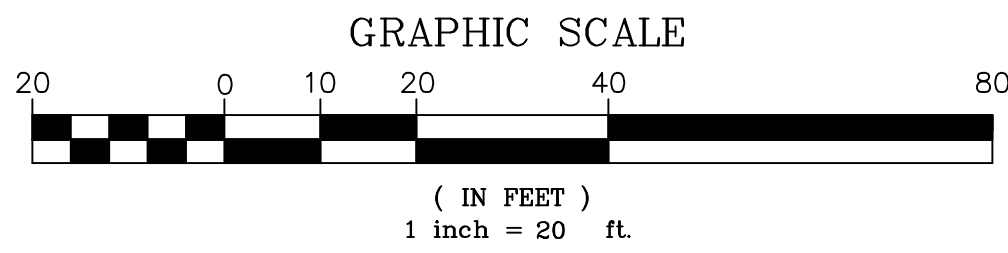
DEED REFERENCES
SUFFOLK COUNTY REGISTRY OF DEEDS

BOOK NO.	PAGE NO.
55726	179

PLAN REFERENCES
SUFFOLK COUNTY REGISTRY OF DEEDS

BOOK NO.	PAGE NO.
4642	END (999)

LC 1033

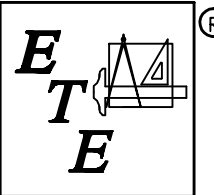
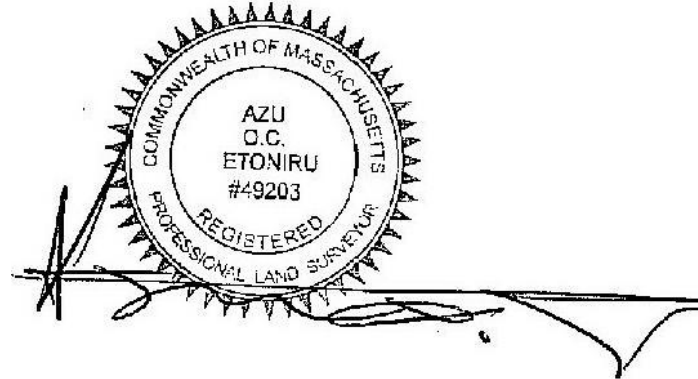


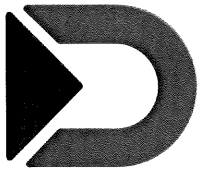
EXISTING CONDITIONS PLAN
IN
REVERE, MA
SUFFOLK COUNTY
350 SQUIRE ROAD
(PARCEL ID: 28-4380-13)

PREPARED FOR
NEW YORK CAPITAL INVESTMENT GROUP LLC.
500 TURNPIKE STREET
CANTON, MA 02021

PREPARED BY
E.T. ENGINEERING ENTERPRISES, INC.
PROFESSIONAL CIVIL AND ENVIRONMENTAL ENGINEERS
AND PROFESSIONAL LAND SURVEYORS
481 BEDFORD ST. (ROUTES 18 & 28)
BRIDGEWATER, MA 02324-3152

PHONE: 508-697-5215 FAX: 508-697-1451
DATE: NOVEMBER 20, 2024 SCALE: AS NOTED
REV: DEC. 7, 2024
PROJECT: 851-036
DRAWING: ARCH D
FILE: 851-036/DWG/EC.DWG





D'Ambrosio LLP
C O U N S E L O R S A T L A W

185 Devonshire Street, 2nd Floor
Boston, Massachusetts 02110
T: (617) 720-5657
F: (617) 723-4967
www.dambrosiollp.com

May 14, 2025

Via Hand Delivery

Ashley Melnik
Revere City Clerk
City of Revere
281 Broadway
Revere, MA 02151

FILED
2025 MAY 14 PM 3:56
OFFICE CITY CLERK
REVERE, MASS

RE: Special Permit Application for 350 Squire Road, Revere
Revere City Council Special Permit Application No. C-25-09

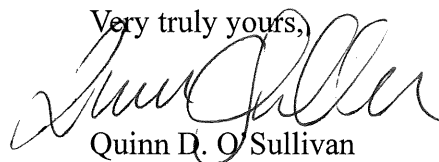
Dear Ms. Melnik:

As you know this office represents New York Capital Investment Group, LLC as to their pending City Council Special Permit application numbered C-25-09 for the proposed car wash use at 350 Squire Road, Revere, Massachusetts.

Enclosed please find a letter regarding the special permit request for inclusion in the record.

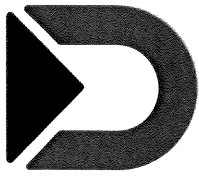
Thank you for your assistance with this matter.

Very truly yours,



Quinn D. O'Sullivan

Enclosures



May 14, 2025

Revere City Council
Attn: Marc Silvestri, President, et al
City of Revere
281 Broadway
Revere, MA 02151

**RE: Requested Special Permit for Car Wash Use at 350 Squire Road --
 Revere City Council Special Permit Application No. C-25-09**

Dear City Council President Silvestri and City Councilors:

As you know, I represent New York Capital Investment Group, LLC (the “**Applicant**”) as to zoning and permitting relative to the development of a car wash at 350 Squire Road, Revere, Massachusetts (the “**Project**” or the “**Property**”). The Property is currently a vacant, underutilized lot in a critical commercial area within the City of Revere. I am writing to reiterate and clarify the zoning relief requested by New York Capital Investment Group, LLC, in its Special Permit Application numbered C-25-09, duly submitted to the City Clerk, for the crucial revitalization of this neglected, commercial parcel.

The Applicant proposes to construct a modern, environmentally conscious car wash at the Property. The Project will better utilize the commercial parcel by constructing a single-lane automated car wash with ancillary vacuums for use by customers, as shown on the Project plans attached hereto as **Exhibit A**. The Property is located in the General Business (“**GB**”) district where car wash use is allowed by special permit from the Revere City Council. Accordingly, the Applicant has petitioned the Revere City Council for the necessary and appropriate relief to transform this empty and neglected Property into a new, minimally impactful car wash.

I. Special Permit Standard

Under MASS. GEN. LAWS Chapter 40A, § 9 “[z]oning ordinances or by-laws shall provide for specific types of uses which shall only be permitted in specified districts upon the issuance of a special permit,” which “may be issued only for uses which are in harmony with the general purpose and intent of the ordinance or by-law, and shall be subject to general or specific provisions set forth therein.” Per REVERE, MASS., REV. ORDINANCES (the “**Revere Ordinances**”), Title 17, Section 48.080, the Revere City Council may grant a special permit where it determines “that the proposed use will have beneficial effects that outweigh the detrimental effects of the proposed use on the city and the neighborhood, in view of the particular characteristics of the site and of the

Marc Silvestri, Revere City Council President
RE: Requested Special Permit for Car Wash
May 14, 2025

proposal in relation to that site.” In its determination, the Revere City Council shall consider the following:

1. Social, economic, or community needs which are served by the proposal;
2. Traffic flow and safety;
3. Adequacy of utilities and other public services;
4. Neighborhood character and social structures;
5. Impacts on the natural environment;
6. Potential fiscal impact.

See, Revere Ordinances, §17.48.080(C). These factors are readily met due to the commercial character of Squire Road, the minimal traffic impact and safe internal traffic flow, the environmentally conscious nature of the proposed car wash, and the enhanced value of the Property as a result of the Project.

“Special permit procedures have long been used to bring flexibility to the fairly rigid use classifications of Euclidean zoning schemes ... by providing for specific uses which are deemed necessary or desirable but which are not allowed as of right because of their potential for incompatibility with the characteristics of the district.” Fish v. Accidental Auto Body, Inc., 125 N.E.3d 774, 780 (Mass. App. Ct. 2019) (quoting SCIT, Inc. v. Planning Bd. of Braintree, 19 Mass. App. Ct. 101, 109 (Mass. App. Ct. 1984)). A “board may not ‘refuse to grant a special permit for reasons unrelated to standards of the by-law for the exercise of its judgement.’” Burm v. Tomassian, 19 LCR 94, 95 (Mass. Land. Ct. 2011) (quoting Slater v. Bd. of Appeals of Brookline, 350 Mass. 70, 73 (Mass. 1966)). Courts have justified the granting of a special permit where the Applicant is able to present evidence “that the proposed development meets the applicable statutory and bylaw standards.” Sheehan v. Zoning Bd. of Appeals of Plymouth, 65 Mass. App. Ct. 52, 56 (Mass. App. Ct. 2005) (citing Josephs v. Bd. of Appeals of Brookline, 362 Mass. 290, 295 (Mass. 1972)). Therefore, where the conditions of the ordinance or bylaw are met, a special permit may be granted.

As discussed below, the Project’s numerous benefits, including the revitalization of an empty parcel, environmentally conscious operations and increased tax revenue, outweigh any detrimental effects on the City and the neighborhood, such that the special permit standard is readily met. As such, the Project readily meets the special permit standard and will provide significant benefits to the City of Revere.

II. The Project Will Further the Enumerated Factors of Revere Ordinances, §17.48.080(C) and Have Beneficial Effects That Far Outweigh Any Detrimental Impacts.

The Project is deserving of the requested special permit due to its substantial benefits arising from the Project’s investment in the revitalization of this vacant parcel and construction of a new, modern car wash. The substantial benefits of the Project far exceed detrimental benefits, if any. The Project will benefit the surrounding commercial neighborhood, improve the environmental condition of the Property, and result in a significant increase in municipal tax revenue. Further, the Project is intentionally designed as to traffic flow and safety and anticipates minimal traffic impact on both Squire Road and nearby residential streets. The Project, in consideration of the

Marc Silvestri, Revere City Council President
RE: Requested Special Permit for Car Wash
May 14, 2025

factors outlined by the Revere Zoning Ordinances, and due to the below described benefits, readily meets the standard for a grant of a special permit.

a. The Project is a revitalization of a long empty parcel.

The Project will revitalize a parcel on Squire Road that has been vacant for nearly a decade. The empty parcel is overgrown with weeds and consists of old, cracked asphalt such that the parcel is a black mark on the commercially vibrant Squire Road. The Property has been the subject of litigation and failed development attempts and as a result, remains a visual eye sore. The Applicant proposes to transform this neglected parcel with the construction of a new, environmentally conscious car wash. The Project will substantially improve the empty parcel with an aesthetically-pleasing, modestly sized single-lane car wash, incorporating dynamic design features such as cupolas and a brick exterior, and will provide improved landscaping and asphalt. See, Exhibit A, Project Plans.

b. The Project has been intentionally designed with Community input to mitigate any effects on the abutting residential zoning district.

The Project has incorporated community feedback into its design to mitigate any effects on the rear residential neighbors. The Project has been subject to multiple community meetings, held on February 4, and March 4, 2025. Further, based on community feedback and collaboration with the neighbors, the Project has located the car wash building in the rear of the parcel, provided access via one curb cut on Squire Road, and provided its drive lanes adjacent to Squire Road. In further consideration of these neighbors, the Project includes a landscape buffer and extensive fencing along the rear property line. This landscape buffer incorporates both arborvitae trees that are six to eight (6-8) feet tall to create a dense vegetative buffer and a solid wood fence, which will screen noise and views of the Project. Massachusetts courts have supported the grant of a special permit where mitigation measures such as landscaping, shielding, and noise buffering are implemented to minimize neighborhood impact. See, Global Cos., LLC v. 15 LCR, Ciuffredo, 15 LCR 431, 434 (Mass. Land Ct. 2007) (finding use would not adversely affect the neighborhood due to landscaping and other aesthetic features incorporated to improve the site). As a result of this collaboration with the community, the Project has received nine (9) letters of support from neighbors, which are attached hereto as **Exhibit B**. As such, the Project is oriented to the commercial Squire Road, with a landscape buffer between it and the abutting residential uses such that detrimental impacts, if any, are mitigated. Therefore, the proposed car wash will be beneficial to the neighborhood as it transforms the neglected Property into a vibrant business, in harmony with the character of Squire Road neighborhood.

c. The Project anticipates minimal traffic impact and is designed to maximize safety for internal vehicle and pedestrian use.

The Project's impact on traffic flow and safety, an enumerated consideration in the Revere Zoning Ordinances, is anticipated to be minimal as the car wash will draw customers from existing traffic on Squire Road and therefore will not be detrimental to the surrounding area, such that a special permit should be granted. Per the "Traffic & Development Impact Statement for Proposed Car Wash Facility 350 Squire Road, Revere, MA 0251," car washes generate a majority of their

Marc Silvestri, Revere City Council President
RE: Requested Special Permit for Car Wash
May 14, 2025

business from existing traffic on the adjacent roadway. See, “Traffic & Development Impact Statement for Proposed Car Wash Facility 350 Squire Road, Revere, MA 0251” Prepared by Choubah Engineering Group, P.C., attached hereto as **Exhibit C**. As such, the increase¹ in traffic is expected to be minimal and no change to the operational characteristics of the adjacent streets, nearby intersections, and access driveway are anticipated. Massachusetts courts would support a grant of a special permit under these circumstances, as such traffic impacts have been held by Massachusetts courts as being non-detrimental to the surrounding neighborhood. See, Efekta Sch., Inc. v. Anninger, 13 LCR 106, 112 (Mass. Land Ct. 2005) (upholding grant of special permit despite “substantial” traffic generation where new traffic would not “cause congestion . . . or substantial change from the current situation”); see also, Bateman v. Bd. of Appeals, 775 N.E.2d 1276, 1281 (Mass. App. Ct. 2002) (upholding grant of zoning relief where “any increase in traffic would be minimal”); Colangelo v. Bd. of Appeals, 552 N.E.2d 541, 543 (Mass. 1990) (reversing denial of special permit where proposed building “would not adversely affect the present traffic-carrying capacity of the streets”).

Access is limited to a curb cut on Squire Road, so as to prevent vehicle access from residential streets and prevent impacts on adjacent residential neighborhoods, such that a special permit can readily be granted in consideration of traffic flow and safety. As such, traffic will only be able to access the Property from Squire Road and will not travel through residential areas to access the proposed car wash. The curb cut on Augustus Street will be gated and accessed only by emergency personnel. Furthermore, the requested special permit should be granted as the Project has been intentionally designed to promote safety and prevent impacts on traffic on neighboring residential streets. The internal traffic circulation has been designed to promote the safety of drivers and pedestrians. Further, the Project includes space for the queueing of twenty (20) vehicles (inclusive of vehicles in the car wash tunnel), providing ample space on the Property for vehicles waiting to use the car wash. As such, no traffic backs up onto Squire Road, Augustus Street, or Keayne Street are anticipated. Due to this design, the Project is anticipated to provide convenient and safe internal access and will have minimal traffic impacts.

d. The Project is environmentally conscious, represents an improvement over the current environmental condition of the Property, and minimizes impacts on the natural environment.

The special permit should be granted because the benefits of the Property will far outweigh any detrimental impact it may have because it is designed to minimize its impact on the natural environment, in accordance with the enumerated considerations of the special permit standard of the Revere Ordinances. The Project will substantially improve the environmental condition of the Property. It will reduce stormwater runoff from the Property to the Squire Road stormwater collection system by twenty to thirty percent (20-30%) compared to the current conditions. This is accomplished through improvements to the Property, the inclusion of a closed drainage system, and an on-site infiltration system to pretreat and hold the first inch of runoff before discharging into the municipal stormwater system. Further, additional benefits to the environment result from the design of the car wash which minimizes water usage through use of a water reclamation system and will use environmentally friendly and bio-degradable cleaning products. Massachusetts courts have looked favorably on the installation of stormwater controls when upholding the granting of

¹ Increase from the current traffic of the existing, vacant lot, i.e., zero trips.

Marc Silvestri, Revere City Council President
RE: Requested Special Permit for Car Wash
May 14, 2025

special permits. See, Walsh v. Town of Dennis Planning Bd., 26 LCR 89, 90 (Mass. Land Ct. 2018) (upholding special permit where stormwater controls would be installed so as to prevent harm to neighboring properties). As such, Massachusetts case law supports the grant of a special permit where stormwater conditions are improved. Therefore, the Project will significantly improve stormwater runoff at the Property and will be operated in an environmentally conscious way.

e. The Project increases value for the City of Revere and will have a beneficial fiscal impact on the City.

The Project will not only transform the currently vacant, overgrown Property into a visually appealing, vibrant business, but also provide the City of Revere with increased tax revenue and several employment opportunities, providing a positive fiscal impact, an enumerated consideration for the grant of a special permit, such that a special permit should be granted. For several years the Property has been a neglected, unused parcel in one of Revere's busiest commercial districts. The Project seeks to remedy the Property's current neglect and provide new commercial development in the City of Revere. As noted in the City of Revere's Next Stop Revere Master Plan for economic development, "[t]here has been very little new commercial development in Revere over the past ten years..." CITY OF REVERE, Next Stop Revere Master Plan, 126 (January 2020) ("**Next Stop Revere**"). The Applicant's investment in the Property will substantially improve the Property's value, and in turn, increase tax revenue for the City of Revere.

The Project would result in a substantial increase in municipal tax revenue from the Property. Specifically, tax revenue from the Property is expected to increase by approximately fourfold. The current tax revenue from the Property is approximately Seventeen Thousand Five Hundred Sixty-Eight and 07/100 Dollars (\$17,568.07) per year. If the Project were approved by the Revere City Council, tax revenue from the Property would increase to approximately Seventy-One Thousand Seven Hundred Eighteen and 07/100 Dollars (\$71,718.07). Where a project would increase municipal tax revenue, Massachusetts courts have found such projects to comply with the intent of local ordinances. See, Berkshire-Cranwell L.P. v. Zoning Bd. of Appeals, 12 LCR 153, 155 (Mass. Land Ct. 2004) (recognizing economic and tax benefits of project). As such, the increase in tax revenue is a significant benefit that renders the Project worthy of the requested zoning relief.

f. A car wash is an appropriate and desirable use in the commercial-oriented Squire Road neighborhood.

The special permit should be granted as the Project is an appropriate and desirable use for the important commercial, vehicle-oriented thoroughfare of Squire Road. The Squire Road area is commercially developed with a variety of automotive and travel-oriented uses, such that a car wash blends seamlessly with the character of the surrounding neighborhood, in furtherance of the enumerated neighborhood character and social structures factor. Squire Road contains several commercial uses that appeal to customers, commuters into Boston, and travelers to Logan Airport. Commercial uses along Squire Road include retail, restaurant, and hospitality uses. On one side of the Property is a commercial automotive use, specifically a gas station with a convenience store. As noted in the City of Revere's Next Stop Revere Master Plan, "[i]n contrast to the small business dense areas of Broadway, Shirley Ave and Revere Street, Squire Road, and American Legion Highway offer more auto-oriented shopping plazas." CITY OF REVERE, Next Stop Revere Master

Marc Silvestri, Revere City Council President
RE: Requested Special Permit for Car Wash
May 14, 2025

Plan, 125 (January 2020). Accordingly, in-line with the City of Revere's Next Stop Revere Master Plan, the Project is an automotive use intended to capture existing traffic along Squire Road, as is further discussed below. Massachusetts courts have supported the award of special permits for commercial uses in neighborhoods devoted to complementary commercial uses. See, Global Cos., LLC, 15 LCR at 432 (finding site appropriate for special permit for commercial fuel storage use where *inter alia* neighboring properties were all commercial in nature). Thus, Massachusetts law supports the grant of the requested special permit for the Project as it proposes an appropriate and desirable use in a well-established commercial corridor.

III. Car Wash Use Is In Harmony With The Intent Of The Revere Zoning Ordinances.

Under the statute, special permits "may be issued only for uses which are in harmony with the general purpose and intent of the ordinance or by-law." M.G.L. c. 40A, § 9. The Project furthers the goals and intent of the Revere Ordinances, such that the statutory special permit standard is readily met, in addition to Revere's specified standards. The Revere Ordinances were enacted, *inter alia*, "to conserve the value of land and buildings, including the conservation of natural resources and the prevention of blight and pollution of the environment, to encourage the most appropriate use of land throughout the city, and to preserve and increase amenities." Revere Ordinances, § 17.04.010. The proposed car wash, as it will reinvigorate a blighted, commercial parcel with development of a commercial amenity, furthers these purposes in multiple ways.

The Project will not only conserve the value of the parcel, but will substantially increase its value, and in turn tax revenue. As noted above, the Project alleviates the current blight on this critical commercial parcel by transforming the overgrown Property into a vibrant business and will increase tax revenue from the Property to approximately four (4) times its current amount, providing increased revenue for the City of Revere.

Finally, the commercial area of Squire Road is a uniquely appropriate location for such a use, surrounded by other commercial uses and accessible by a major roadway. The Project has been designed to mitigate impacts on adjacent residential use such that the proposed car wash use will not be detrimental. Therefore, the Project is in harmony with the purposes of the Revere Ordinances and will provide benefits to the City of Revere far outweighing any potential detrimental impacts. The proposed car wash furthers the general intent of the Revere Zoning Ordinances, considering the economic factors, neighborhood character, and environmentally conscious elements, such that a special permit can readily be granted for the use in harmony with the Revere Zoning Ordinances.

IV. Conclusion.¶

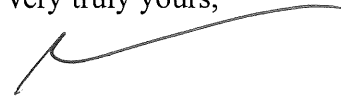
Overall, the Project will replace an empty, neglected commercial parcel with a new, modern car wash. As a whole, the Project will provide substantial benefits to the City of Revere and its immediate neighborhood and furthers the intent and purpose of the Revere Ordinances. The benefits of the Project outweigh any detrimental effects of the proposed use on the city and the neighborhood, considering the commercial character of Squire Road, the minimal traffic impacts, the environmental improvements, and the increase in tax revenue for the City of Revere. Given the above and substantial case law supporting the granting of a special permit for a favorable commercial use, there is ample ground for the City Council to issue the requested special permit.

Marc Silvestri, Revere City Council President
RE: Requested Special Permit for Car Wash
May 14, 2025

Accordingly, New York Capital Investment Group, LLC, respectfully requests the City Council grant the requested special permit.

Thank you for your consideration in this matter. Please do not hesitate to contact me with any questions or concerns.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Gerry D'Ambrosio", with a long, sweeping horizontal stroke extending to the right.

Gerry D'Ambrosio

Enclosures.

CC: Ashley Melnik, City Clerk, City of Revere
Revere City Council

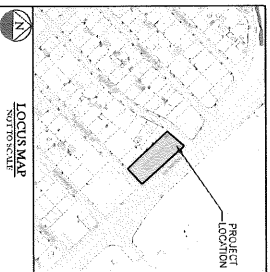
EXHIBIT – A

1. ALL LANDSCAPING SHOWN ON PLANS SHALL CONFORM TO THE CITY OF REVERE ZONING REGULATIONS.
2. ALL SITE LIGHTING SHOWN ON PLANS SHALL BE DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF REVERE ZONING REGULATIONS.

1. ALL LANDSCAPING SHOULDS ON PLANS SHALL CONFORM TO THE CITY OF REVERE ZONING REGULATIONS.
2. ALL SITE LIGHTING SHOWN ON PLANS SHALL BE DIRECTED ONLY SIDE AND CONFROM TO THE APPLICABLE CITY OF REVERE ZONING REGULATIONS.
3. SITE IMPROVEMENTS DEPICTED ON THESE PLANS INCLUDING THE PROPOSED BUILDING, PARKING, WALKWAY COVER CATCH AND REDUCED FLOOD DAMAGE AND NEIGHBOURHOOD COMMISSION OR DISBURSES IF APPLICABLE WITH REGARD TO DIMENSIONS, GRADE AND NUMBER OF SPACES.
4. THE LOCATION OF EXISTING INTERGROUND UTILITIES (ELECTRIC, GAS, TELEPHONE, WATER AND SEWER) SHOWN ON THESE PLANS IS APPROXIMATE AND WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION WHICH MAY NOT BE EXACTLY 24 HOUR INFORMATION TO DISC SURE (-1-888-244-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
5. THE LOCATION OF EXISTING UTILITIES, TOPOGRAPHY AND PROPERTY LINE INFORMATION ARE TAKEN FROM A PLAIN UNDATED, EXISTING CONDITION PHOTOGRAPH IN REVERSE, 44 BERNARD ST. (ROUTES 1B & 2B) BROOKLINE, MA 02234-2162 PREPARED FOR MR. & MRS. ROBERT DORR, DATED DECEMBER 07, 2024. SCALE 1" = 20 FEET.
6. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF MASSACHUSETTS AND THE CITY OF REVERE PRIOR TO COMMENCING ANY WORK.
7. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL OBTAIN THE REQUIRED 72 HOUR NOTIFICATION TO DIG SURE (-1-888-244-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE INFORMATION IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE CONSTRUCTION DRAWINGS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCY BETWEEN THE PROPOSED WORK SHOWN ON THESE PLANS AND THE REQUIREMENTS OF LOCAL AND STATE CODES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.
10. ALL SIGNS AND PAYMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SHALL CONFORM TO THE APPLICABLE ZONING ORDINANCES OF THE CITY OF REVERE. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS SECURED PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, UTILITIES AND EQUIPMENT NECESSARY FOR THE FINISHING, PERFORMANCE TESTING, START-UP AND COMPLETION OF THIS WORK.
12. THE CONTRACTOR SHALL MAINTAIN EXCAVATION IN DRY CONDITIONS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUBDUCE OR SURPLUS MATERIALS, PROPERTY, OF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.
14. ALL EXISTING UTILITIES WATER, GAS, DRAINAGE, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD. ANY DEVIATION FROM THE CONTENT OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS ENGINEER MUST MAKE IT FULL AND VOID.
15. IN CASE OF A CONFLICT BETWEEN THE PROPOSED WORK SHOWN ON THIS PLAN AND THE APPLICABLE LOCAL AND STATE CODES, THE APPLICABLE CODES SHALL CONTROL.
16. THE CONTRACTOR SHALL SHORT, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING UTILITIES AND STREET'S NEXT TO THE PROPOSED WORK.
17. ALL CONSTRUCTION MATERIAL, COMPONENTS, AND METHODS EMPLOYED ON THIS PROJECT MUST CONFORM TO THE CITY OF REVERE OR THE MASS DOT FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT.
18. DESIGN LOADING FOR ALL PRE-CAST UNITS TO BE ASPH-T-H2O UNLESS OTHERWISE NOTED.
19. RESTORE ALL DISTURBED AREAS BEYOND PROJECT LIMITS AND 6" LOML AND SEED ALL AREAS NOT PAVED.
20. CONDUIT/UTILITY INSTALLATION WITH APPROPRIATE VENDORS.
21. ALL OUTSIDE MECHANICAL APPLIANCE/TRENCHES TO BE PLACED ON CONCRETE UTILITY PADS AND SCREENED WITH FINISH TO MATCH BUILDING.
22. ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
23. 6" LOML AND SEED ALL DISTURBED AREAS NOT PAVED.
24. DRAINAGE, WALKWAYS, PATIO, DRAINAGE SYSTEM, LANDSCAPING, LIGHTING, STOP/WARNING INFILTRATION SYSTEM AND COMMON AREAS SHALL BE OWNED, INSPECTED, MAINTAINED AND REPAIRED BY THE APPLICANT AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY TO MAINTAIN.

1. DEMOLITION, EROSION & SEDIMENT CONTROL PLAN
2. EROSION CONTROL DETAILS & NOTES
3. SITE LAYOUT PLAN
4. GRADING & DRAINAGE PLAN
5. UTILITY PLAN
6. LANDSCAPE PLAN
7. SITE DETAILS #1
8. SITE DETAILS #2
9. SITE DETAILS #3
10. GRAVITY WATER SYSTEM & TANKS DETAILS
11. CAR WASH FLOOR LAYOUT & ELEVATIONS
- 12.

1 OF 1
EXISTING CONDITIONS
(E.T. ENGINEERING INC.)

[illegible]

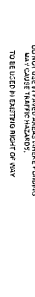
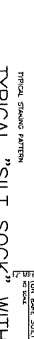
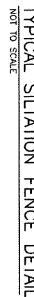
Prepared For:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON, MA 02021

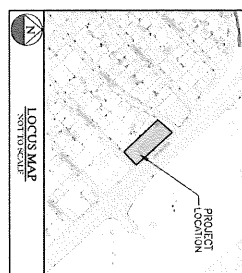


SPECIAL PERMIT SET

112 STATE ROAD, NORTH DARTMOUTH, MA 02747
TEL: (508) 858-5040 FAX: (508) 858-5041 www.chowhedgegroup.com
APRIL 15, 2025
PROJECT No. 24681

Sheet Number: 2 OF 12

[illegible][illegible][illegible][illegible]



SYMBOL	DESCRIPTION
	EAST CONTOUR
	PROP. CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	EASEMENT LINE
	PROPERTY LINE
	STOCK BALES
	EDGE OF TREES/WOODED AREA
	PROP. SEWER LINE
	SEWER LINE
	PROP. WATER LINE
	WATER LINE
	PROP. ELECTRIC LINE
	ELECTRIC LINE
	GAS LINE
	PROP. GAS LINE
	PROP. TELEPHONE LINE
	TELEPHONE LINE
	PROP. DRAINAGE LINE
	DRAINAGE LINE
	PROP. OVERHEAD WIRE
	OVERHEAD WIRE
	PROP. CATCH BASIN
	CATCH BASIN
	PROP. ELECTRIC MANHOLE
	ELECTRIC MANHOLE
	PROP. SEWER MANHOLE
	SEWER MANHOLE
	PROP. ELECTRIC VALVE
	ELECTRIC VALVE
	PROP. LIGHT POLE
	LIGHT POLE
	PROP. EDGE OF PAVEMENT
	EDGE OF PAVEMENT
	PROP. VERTICAL GRANITE CURB
	VERTICAL GRANITE CURB
	PROP. VERTICAL CONC. CURB
	VERTICAL CONC. CURB
	PROP. PYLON SIGN
	PYLON SIGN
	EASEMENT DATE
	EASEMENT DATE
	NUMBER OF PARKING SPACES
	FINISH FLOOR ELEVATION
	TOP OF FOUNDATION ELEVATION
	TOP OF WALL
	BOTTOM OF WALL

CECE
CHUBB ENGINEERING GROUP INC.
CONDUCTING PROFESSIONAL CHOICES

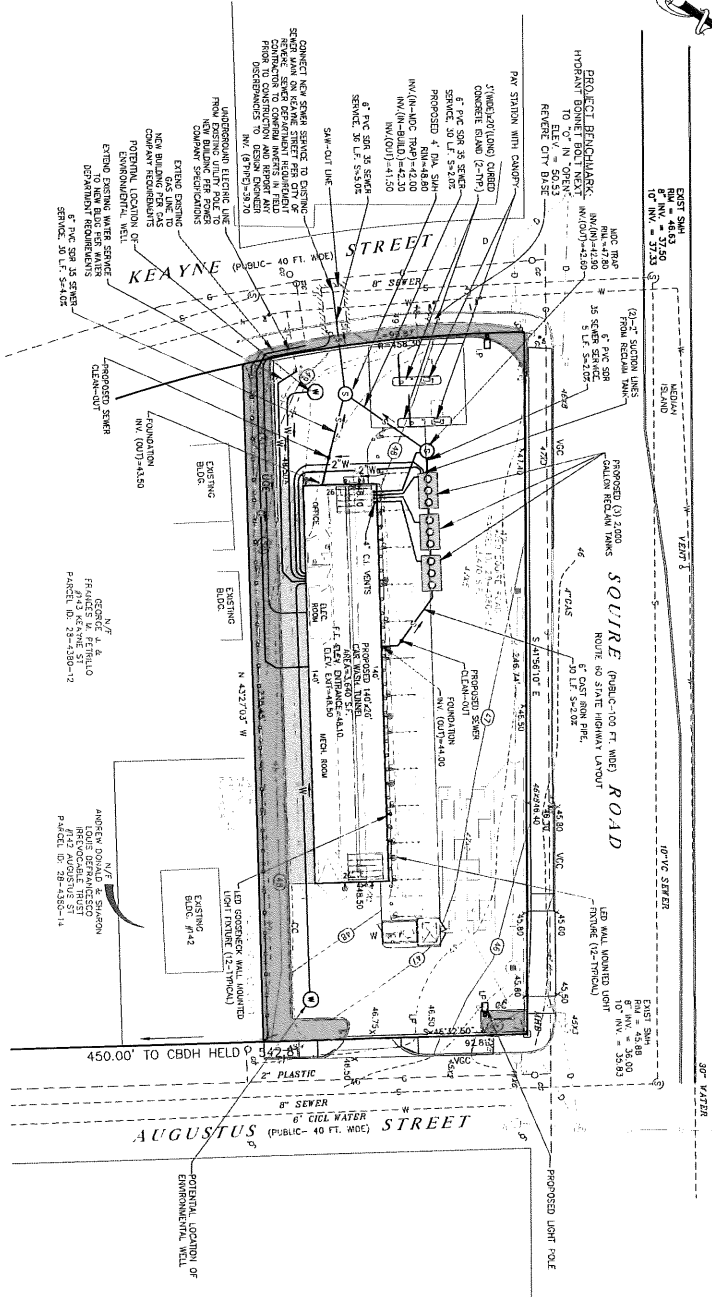
112 STATE ROAD, 400 FLOOR
N. DARTMOUTH ST.
TEL: 508/554-0040 FAX: 508/554-0041
www.cecegroup.com

PROJECT:
PROPOSED CAR WASH
FACILITY AT
350 SQUINE ROAD,
REVERE, MA

PREPARED FOR:
NEW YORK CAPITAL
INVESTMENT GROUP, L.P.
560 TURNPIKE STREET,
CANTON MA

Sheet 111C:

SITE LAYOUT PLAN

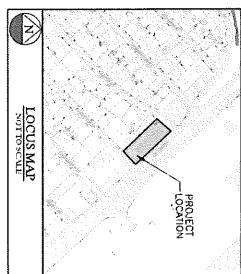


THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

1. **UNITED STATES TO LOCATE ALL DOMESTIC UTILITY SERVICES ON LOT PRIOR TO CONSTRUCTION.**
2. **RECONSTRUCTION OF EXISTING STREETS, SIDEWALKS AND OTHER UTILITIES TO NEW BUILDING FOOTPRINT SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF CONSTRUCTION.**
3. **CONTRACTOR TO RESOLVE ANY EXISTING UTILITIES IN CONFLICT WITH NEW BUILDING LOCATION IN COMPLIANCE WITH APPLICABLE REQUIREMENTS BY LOCAL JURISDICTIONS.**
4. **THIS DOCUMENT ASSUMES THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY AND LOCATION OF ALL EXISTING UTILITIES.**
5. **ALL EXISTING UTILITIES SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF 42004, 42005, 42006, 42007, 42008, 42009, 42010, 42011, 42012, 42013, 42014, 42015, 42016, 42017, 42018, 42019, 42020, 42021, 42022, 42023, 42024, 42025, 42026, 42027, 42028, 42029, 42030, 42031, 42032, 42033, 42034, 42035, 42036, 42037, 42038, 42039, 42040, 42041, 42042, 42043, 42044, 42045, 42046, 42047, 42048, 42049, 42050, 42051, 42052, 42053, 42054, 42055, 42056, 42057, 42058, 42059, 42060, 42061, 42062, 42063, 42064, 42065, 42066, 42067, 42068, 42069, 42070, 42071, 42072, 42073, 42074, 42075, 42076, 42077, 42078, 42079, 42080, 42081, 42082, 42083, 42084, 42085, 42086, 42087, 42088, 42089, 42090, 42091, 42092, 42093, 42094, 42095, 42096, 42097, 42098, 42099, 42100, 42101, 42102, 42103, 42104, 42105, 42106, 42107, 42108, 42109, 42110, 42111, 42112, 42113, 42114, 42115, 42116, 42117, 42118, 42119, 42120, 42121, 42122, 42123, 42124, 42125, 42126, 42127, 42128, 42129, 42130, 42131, 42132, 42133, 42134, 42135, 42136, 42137, 42138, 42139, 42140, 42141, 42142, 42143, 42144, 42145, 42146, 42147, 42148, 42149, 42150, 42151, 42152, 42153, 42154, 42155, 42156, 42157, 42158, 42159, 42160, 42161, 42162, 42163, 42164, 42165, 42166, 42167, 42168, 42169, 42170, 42171, 42172, 42173, 42174, 42175, 42176, 42177, 42178, 42179, 42180, 42181, 42182, 42183, 42184, 42185, 42186, 42187, 42188, 42189, 42190, 42191, 42192, 42193, 42194, 42195, 42196, 42197, 42198, 42199, 42200, 42201, 42202, 42203, 42204, 42205, 42206, 42207, 42208, 42209, 42210, 42211, 42212, 42213, 42214, 42215, 42216, 42217, 42218, 42219, 42220, 42221, 42222, 42223, 42224, 42225, 42226, 42227, 42228, 42229, 42230, 42231, 42232, 42233, 42234, 42235, 42236, 42237, 42238, 42239, 42240, 42241, 42242, 42243, 42244, 42245, 42246, 42247, 42248, 42249, 42250, 42251, 42252, 42253, 42254, 42255, 42256, 42257, 42258, 42259, 42260, 42261, 42262, 42263, 42264, 42265, 42266, 42267, 42268, 42269, 42270, 42271, 42272, 42273, 42274, 42275, 42276, 42277, 42278, 42279, 42280, 42281, 42282, 42283, 42284, 42285, 42286, 42287, 42288, 42289, 42290, 42291, 42292, 42293, 42294, 42295, 42296, 42297, 42298, 42299, 42300, 42301, 42302, 42303, 42304, 42305, 42306, 42307, 42308, 42309, 42310, 42311, 42312, 42313, 42314, 42315, 42316, 42317, 42318, 42319, 42320, 42321, 42322, 42323, 42324, 42325, 42326, 42327, 42328, 42329, 42330, 42331, 42332, 42333, 42334, 42335, 42336, 42337, 42338, 42339, 42340, 42341, 42342, 42343, 42344, 42345, 42346, 42347, 42348, 42349, 42350, 42351, 42352, 42353, 42354, 42355, 42356, 42357, 42358, 42359, 42360, 42361, 42362, 42363, 42364, 42365, 42366, 42367, 42368, 42369, 42370, 42371, 42372, 42373, 42374, 42375, 42376, 42377, 42378, 42379, 42380, 42381, 42382, 42383, 42384, 42385, 42386, 42387, 42388, 42389, 42390, 42391, 42392, 42393, 42394, 42395, 42396, 42397, 42398, 42399, 42400, 42401, 42402, 42403, 42404, 42405, 42406, 42407, 42408, 42409, 42410, 42411, 42412, 42413, 42414, 42415, 42416, 42417, 42418, 42419, 42420, 42421, 42422, 42423, 42424, 42425, 42426, 42427, 42428, 42429, 42430, 42431, 42432, 42433, 42434, 42435, 42436, 42437, 42438, 42439, 42440, 42441, 42442, 42443, 42444, 42445, 42446, 42447, 42448, 42449, 42450, 42451, 42452, 42453, 42454, 42455, 42456, 42457, 42458, 42459, 42460, 42461, 42462, 42463, 42464, 42465, 42466, 42467, 42468, 42469, 42470, 42471, 42472, 42473, 42474, 42475, 42476, 42477, 42478, 42479, 42480, 42481, 42482, 42483, 42484, 42485, 42486, 42487, 42488, 42489, 42490, 42491, 42492, 42493, 42494, 42495, 42496, 42497, 42498, 42499, 42500, 42501, 42502, 42503, 42504, 42505, 42506, 42507, 42508, 42509, 42510, 42511, 42512, 42513, 42514, 42515, 42516, 42517, 42518, 42519, 42520, 42521, 42522, 42523, 42524, 42525, 42526, 42527, 42528, 42529, 42530, 42531, 42532, 42533, 42534, 42535, 42536, 42537, 42538, 42539, 42540, 42541, 42542, 42543, 42544, 42545, 42546, 42547, 42548, 42549, 42550, 42551, 42552, 42553, 42554, 42555, 42556, 42557, 42558, 4255**

● SNH PROP. SEWER MAINTENANCE

- [illegible]



CONSULTING ENGINEERING GROUP, P.C.
CEC
CONSULTING AND PROFESSIONAL ENGINEERS

125 WEST 190TH AVENUE
SUITE 200
GAITHERSBURG, MARYLAND 20878
TEL: 301-927-6100 • FAX: 301-927-6140
www.cec-engineering.com

PROJECT:

PROPOSED C&W WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

PREPARED FOR:

NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TOWN CENTER DRIVE
CANTON MA

M. Hinchey

DATE:

01/20/2011

Rev.	Description	Date	Location	Description

Project Number: 24951

Scale: N 5/8" = 1'-0"

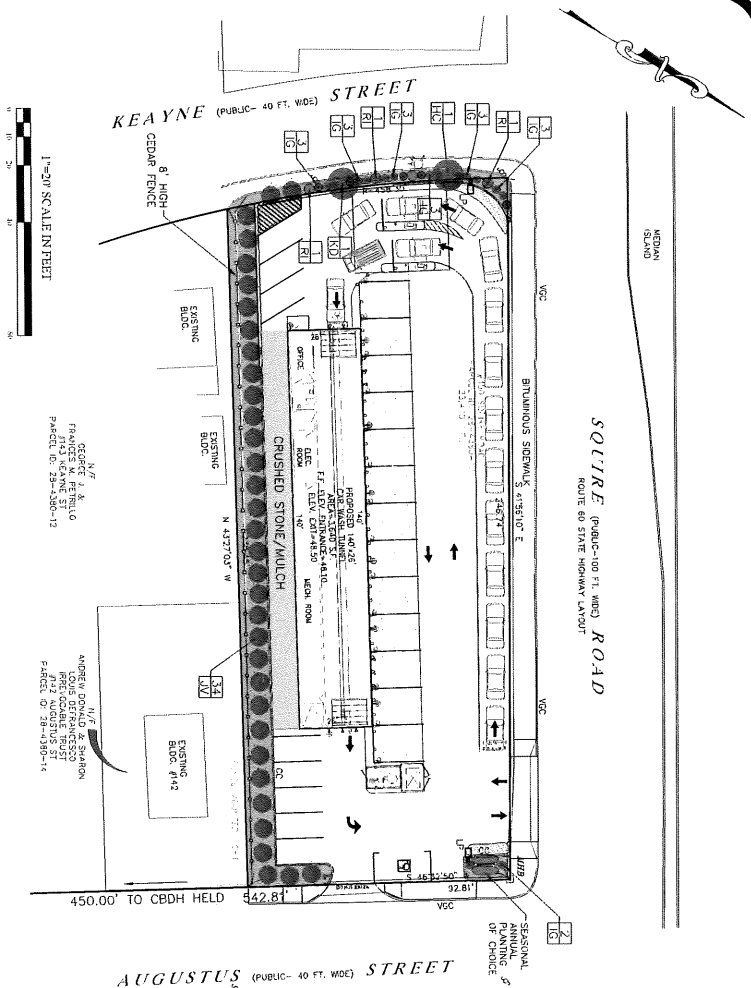
Designed By: CHS

Checked By: HC

Drawn By: CHS

Sheet Title:

UTILITY PLAN

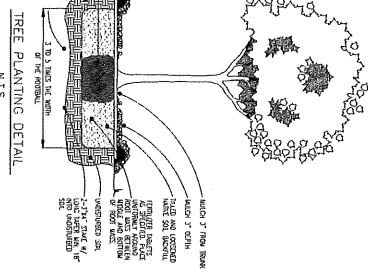
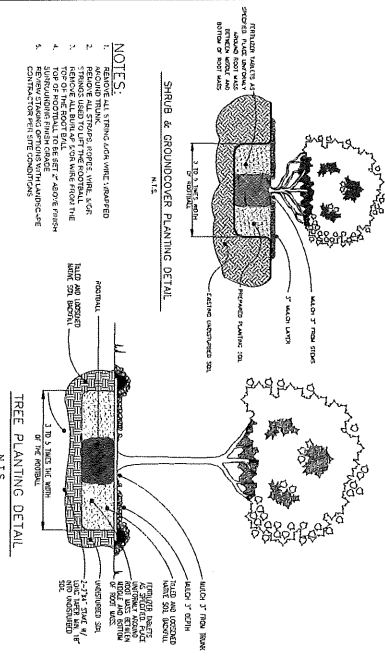


PLANTING NOTES

- [illegible]

LANDSCAPE SCHEDULE									
TYPE	LOT	SIZE	COMMON NAME	BOTANICAL NAME	PLANTING HT	CULTURE HT	MATURE SPREAD	REMARKS	
EVERGREEN TREES									
JV	34	1" CL	RED CEDAR	<i>JUNIPERUS NANSIPAENSIS</i>	6'-8'	15'-25'	6'-20'		
DECIDUOUS TREES									
HC	1	1" CL	AMERICAN BIRCH	<i>BETULA PAPERIFERA</i>	10'-12'	15'-25'	15'-25'		
KO	1	1" CL	COMMON REDBAY	<i>WAX JUNGLE</i>	10'-12'	15'-25'	15'-25'		
SHRUBS									
RI	20	24"	MAHOGANY	<i>ELDER</i>	24"	35"	10'-24"		
RI	4	24"	SHARP HEDGEROSE	<i>HYDRANGEA</i>	35"	36"	34'-36"		
1. All landscaping shown on plans shall conform to the City of Riverdale planting regulations. 2. All plantings shall be approved by the City of Riverdale Planning Staff. 3. Location of permanent plantings to be approved by the City of Riverdale Planning Staff.									

RENDERING AT REAR OF BUILDING
(8' HIGH CEDAR FENCE @ KEAYNE STREET)
NOT TO SCALE



CECE CONSULTING ENGINEERING GROUP, P.C.
CONSULTING PROFESSIONAL ENGINEERS
11, E. 17TH AVE. (R/T) 7A
N. D. BARBER DR. (R/T) 5A
TEL: (408) 496-4400 FAX: (408) 496-4401
www.cecegroup.com

PROJECT:

PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

PREPARED BY:

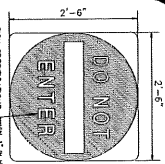
NEW YORK CAPITAL
INVESTMENT GROUP, L.L.C.
360 TURNBULE STREET,
CANTON MA

NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON MA

CHODAR ENGINEERING GROUP, S.A.
CONSULTING PROFESSIONAL ENGINEERS

Issue Date: 04/15/2025	
Revision:	
No.	Description
Project Number: 24661	
Scale: AS SHOWN	
Designed By: CMS	
Drawn By: CMS	Checked By: HC

LANDSCAPE PLAN



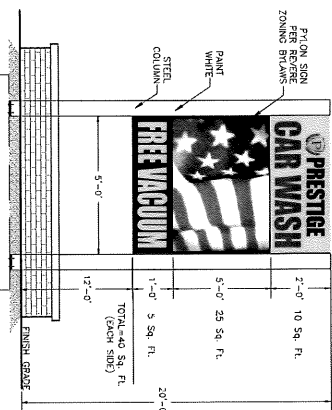
SIGN SPECIFICATIONS
 - 36" x 18" minimum
 - WHITE LETTERS ON
 RED BACKGROUND
 DIMENSIONS: 30" x 30"
 COLOR: WHITE PLACARD AND V. RED BACKGROUND
 SIGN SHALL BE COMPROMISED & POSTED
 IN FRONT OF DANGEROUS TO PUBLIC
DO NOT ENTER SIGN
 NOT TO SCALE



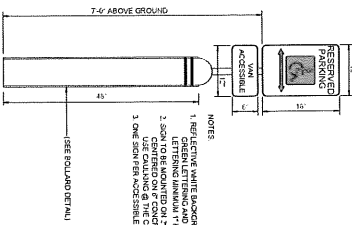
PROPOSED STOP SIGN
NOT TO SCALE



"EMPLOYEE PARKING" SIGN
NOT TO SCALE

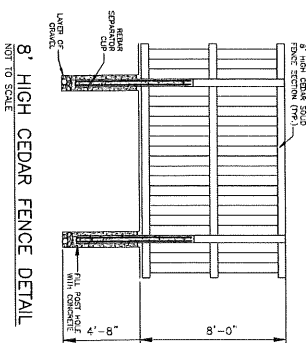


I.D. SIGN DETAIL (TWO SIDED)
NOT TO SCALE

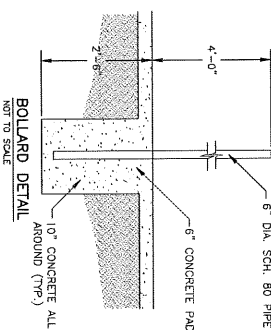


1. REFLECTIVE WHITE BACKGROUND GREEN LETTERING AND SYMBOL. LETTERING MINIMUM 1" HEIGHT
2. SIGN TO BE MOUNTED ON 2" METAL POST CENTERED ON A CONCRETE BOLLARD USE CAULING AT THE CONNECTION POINT
3. ONE SIGN PER ACCESSIBLE SPACE

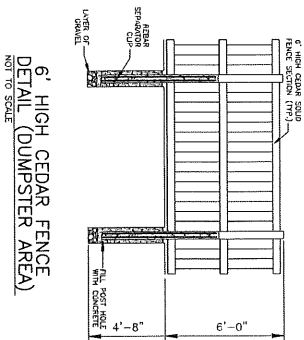
HANDICAP SIGN ON BOLLARD DETAIL
NOT TO SCALE



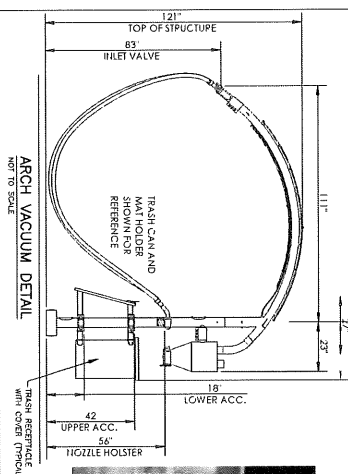
8' HIGH CEDAR FENCE DETAIL
NOT TO SCALE



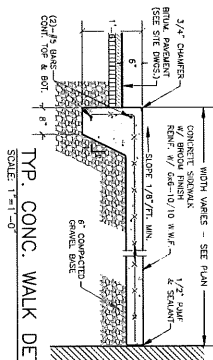
BOLLARD DETAIL
NOT TO SCALE



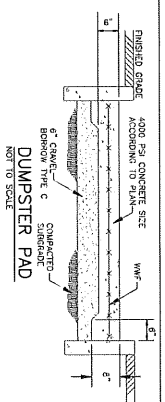
6' HIGH CEDAR FENCE
DETAIL (DUMPSTER AREA)
NOT TO SCALE



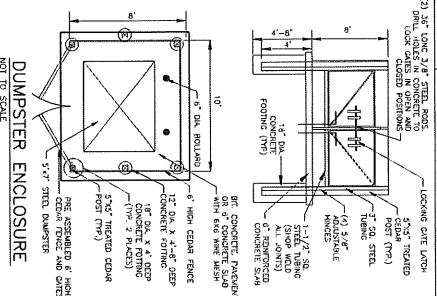
ARCH VACUUM DETAIL
NOT TO SCALE



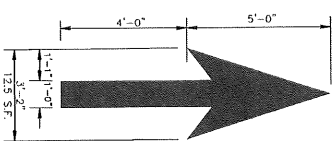
TYPE, CONC. WALK DETAIL



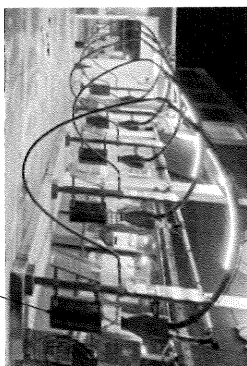
DUMPSTER PAD
NOT TO SCALE



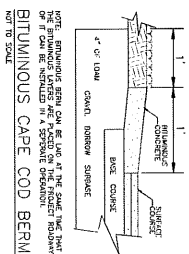
DOWN
NOT TO SCALE



UNUSUAL PAVEMENT MARKING ARROWS



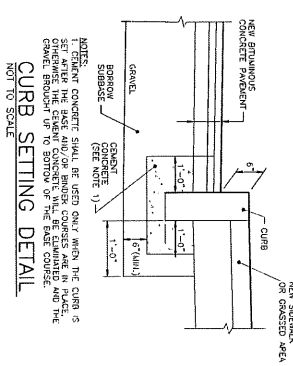
WITH COVER (TYPICAL)



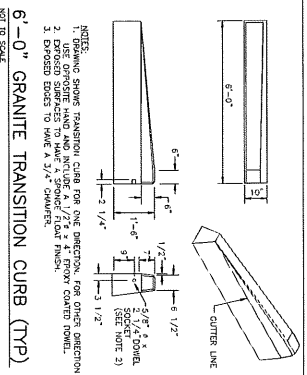
NOTE: BITUMINOUS BERM CAN BE Laid AT THE SAME TIME THAT THE BITUMINOUS LAYERS ARE PLACED ON THE PROJECT ROADWAY. IF IT CAN BE INSTALLED IN A SEPARATE OPERATION.

BITUMINOUS CAPE COD BERM

NOT TO SCALE



NOTES:
(SEE NOTE 1)
1. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB SET AFTER THE LAST AND/OR BRIDGER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND TRAVEL BROUGHT UP TO BOTTOM OF THE FAST COURSE.
CURB SETTING DETAIL
NOT TO SCALE



NOTES:
1. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2"x 4" FLEX COATED DOWEL.
2. DETROIT STANDARD TO HAVE A SMOOTH FLOW CURB FINISH.
3. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

6'-0" GRANITE TRANSITION CURB (TYP)

NOT TO SCALE

Chodub Engineering Group, P.C.
Consulting Professional Engineers

TEL: (508) 855-5010 FAX: (508) 858-5011
www.chestnuthillgroup.com

PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

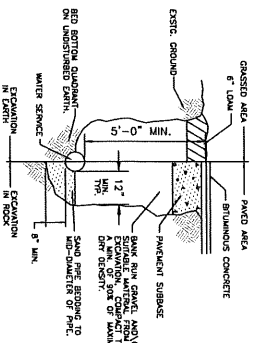
PREPARED FOR:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET
CANTON, MA 02021



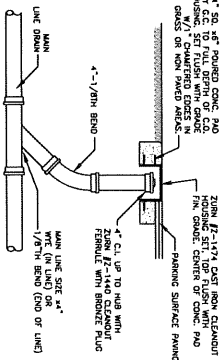
Issue Date: 04/12/2025	
Reviews	
No.	Description
Project Number: 21431	
Scale AS SHOWN	
Designed By: CMS	
Drawn By: CMS	Checked By: HC
Sheet Title	

SITE DETAILS #

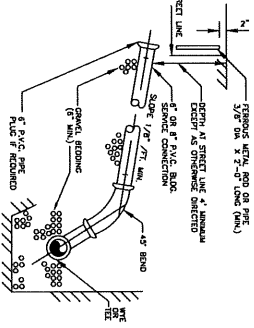
Sheet Number: 8 OF 12



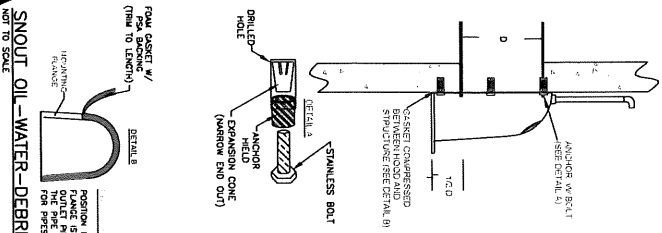
WATER SERVICE TRENCH DETAIL
SCALE 1/2"=1'-0"



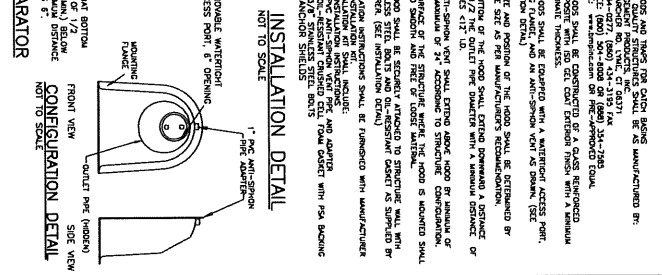
GROUND CLEANOUT DETAIL
NOT TO SCALE



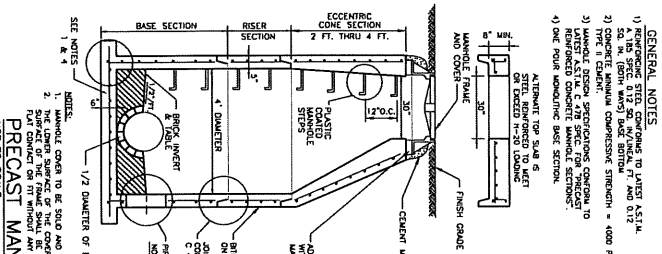
SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE



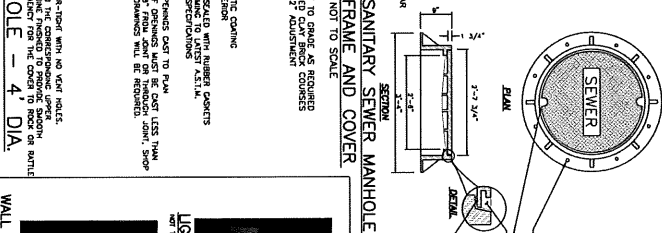
SNOUT OIL-WATER-DEBRIS SEPARATOR
NOT TO SCALE



INSTALLATION DETAIL
NOT TO SCALE



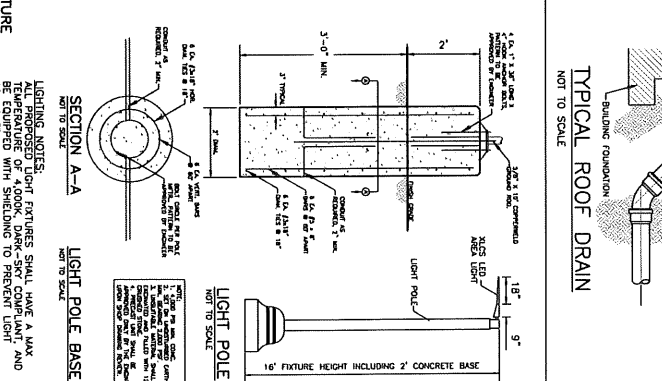
PRECAST MANHOLE - 4' DIA.
NOT TO SCALE



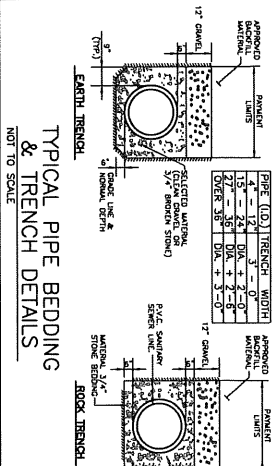
SANITARY SEWER MANHOLE FRAME AND COVER
NOT TO SCALE



LIGHT POLE FIXTURE
NOT TO SCALE



TYPICAL ROOF DRAIN
NOT TO SCALE



TYPICAL PIPE BEDDING & TRENCH DETAILS
NOT TO SCALE

Line	Date	Scale	Notes
1	10/1/2015	1/2"=1'-0"	Initial Design
2	10/1/2015	1/2"=1'-0"	Revised Design
3	10/1/2015	1/2"=1'-0"	Final Design
4	10/1/2015	1/2"=1'-0"	Construction
5	10/1/2015	1/2"=1'-0"	As Shown
6	10/1/2015	1/2"=1'-0"	Check by H.C.
7	10/1/2015	1/2"=1'-0"	Sheet File

SITE DETAIL #2
NOT TO SCALE

PROPOSED CAR WASH

 350 SQUIRE ROAD,

 REVERE, MA

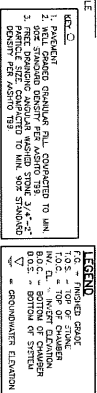
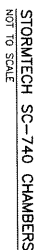
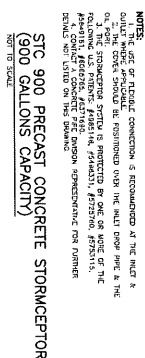
 PROJECT:

 NEW YORK CAPITAL

 INVESTMENT GROUP, LLC

 350 SQUIRE STREET

 CANTON, MA 02021

Sheet Number: 10 OF 12

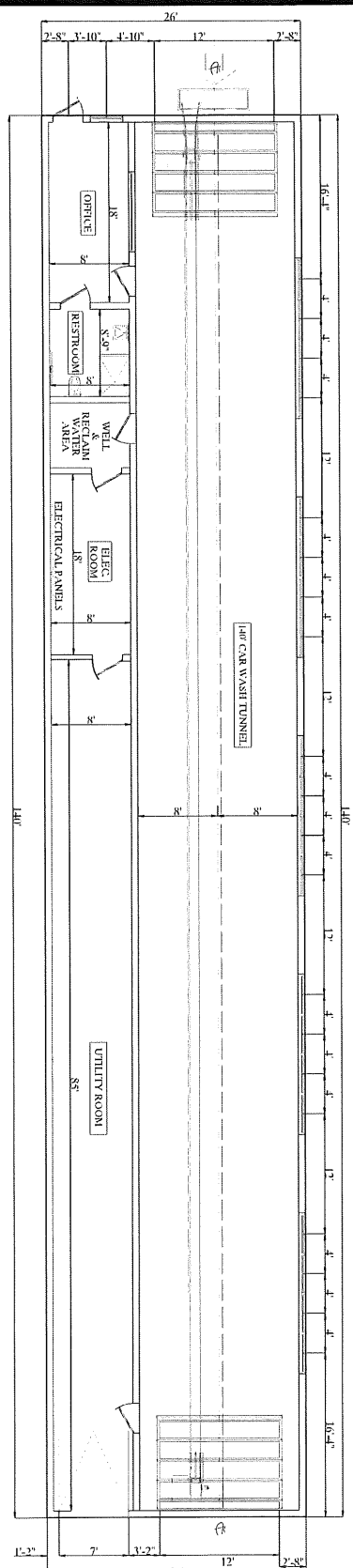
COOBSAN ENGINEERING GROUP, P. C.
CONSULTING PROFESSIONAL ENGINEERS

112 STATE ROAD, ROUTE 91,
N. DARTMOUTH, MA 02747

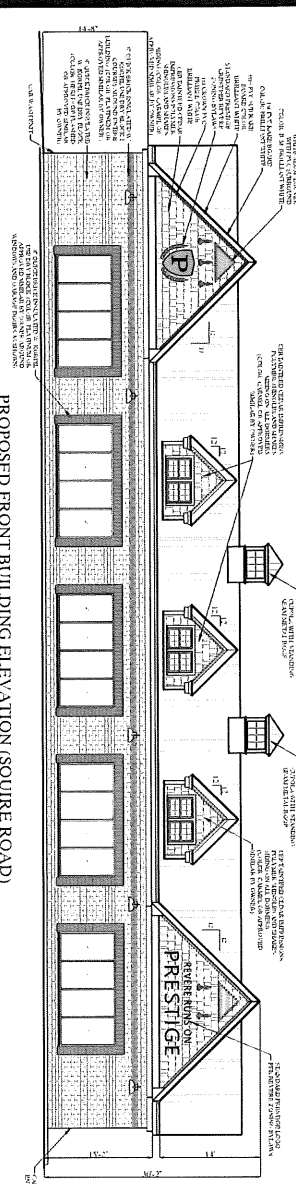
TEL: 508/535-9240 FAX: 508/535-5141
www.cdoobsgroup.com

NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET
CANTON, MA 02021

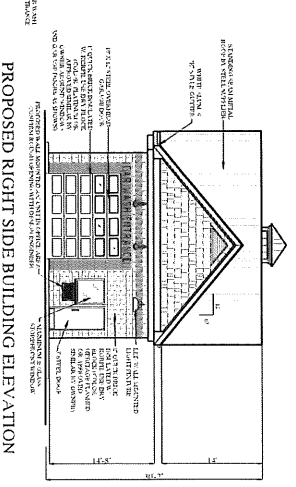




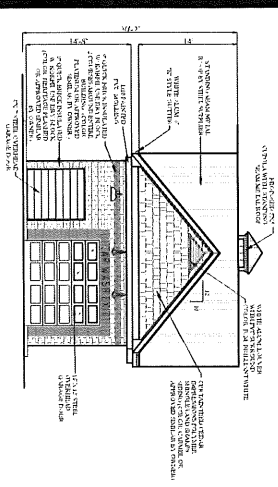
PROPOSED FLOOR LAYOUT
SCALE: 1/8" = 1'-0"



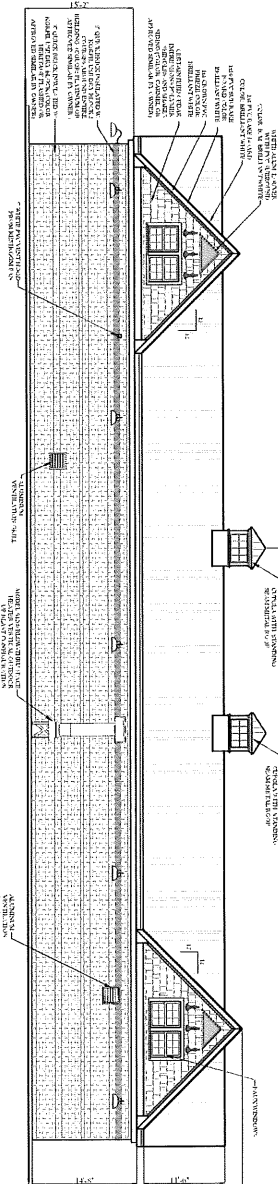
PROPOSED FRONT BUILDING ELEVATION (SQUIRE ROAD)
SCALE: 1/8" = 1'-0"



PROPOSED RIGHT SIDE BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED LEFT SIDE BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

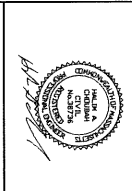


PROPOSED REAR BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

CHADLER ENGINEERING DESIGN, P.C.
CONTRACTING PROFESSIONAL CORPORATION
111 STATE ROAD NORTH
N. DORSETT, MA 01927
TEL: 508-686-0444 FAX: 508-686-0444
www.chadlereng.com

Project:
PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

Prepared For:
NEW YORK CAPITAL
INVESTMENT MANAGEMENT
530 STATE STREET,
CAMBRIDGE, MA 02142

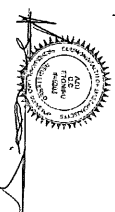
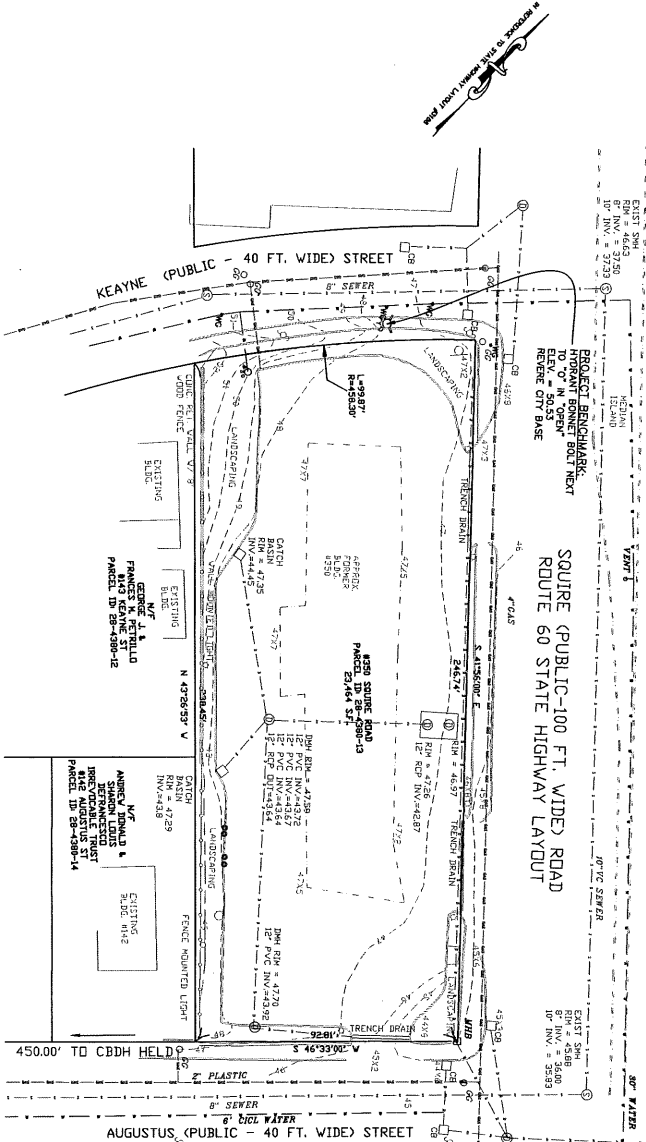
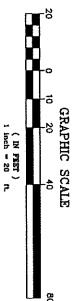


Issue Date: 04/15/2015	
No.	Description
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3	Revisions
4	Revisions
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100	Revisions

LEGEND	
MASS HIGHWAY BOUND	—
CHAIN-LINK FENCE	—
WOOD STOCKADE FENCE	—
SPOT ELEVATION	—
EDGE OF PAVEMENT	—
UTILITY POLE	—
CONCRETE	—
WATER SHUT OFF	—
SEWER MANHOLE	—
SEWER	—
WATER LINE	—
OVERHEAD WIRE	—
CONCRETE	—
STREET SIGN	—
TREE	—
BRIDGINGS	—
CONCRETE	—
TYPE	—
LIGHT POLE	—
ELECTRIC MANHOLE	—
CONCRETE	—
ELECTRICAL TRANSFORMER	—
GRAND PAV.	—
C&G CO. REM.	—
CONCRETE	—
REINFORCED CONCRETE	—
REINFORCED CONCRETE	—

OWNER OF RECORD
(LARGE) 28-4380-13
481 BEDFORD ST.
250 DORCHESTER AVENUE
S. BOSTON, MA 02127

DEED REFERENCES
SUFFOLK COUNTY REGISTRY OF DEEDS
BOOK NO. 179
PAGE NO. 55726
PLAN REFERENCES
SUFFOLK COUNTY REGISTRY OF DEEDS
BOOK NO. 4442
PAGE NO. 520 (399)
LC 1033



EXISTING CONDITIONS PLAN
IN
BROOKLYN, MA
SUFFOLK COUNTY
(PARCEL ID: 28-4380-13)
350 SQUIRE ROAD
CANTON, MA 02021

PREPARED FOR
NEW YORK CAPITAL INVESTMENT GROUP LLC
500 TURNPIKE STREET
CANTON, MA 02021

PREPARED BY
E.T. ENGINEERING, INC.
PROFESSIONAL CIVIL AND ENVIRONMENTAL ENGINEERS
AND PROFESSIONAL LAND SURVEYORS
481 BEDFORD ST. (ROUTES 19 & 28)
BOSTON, MA 02115
PHONE: 608-697-2215 FAX: 608-697-1451
DATE: NOVEMBER 20, 2024
PROJECT: 667-0
REV: DEC. 7, 2024
SCALE: AS NOTED
FILE: 661-036/DWG/ECING



GENERAL NOTES

THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A GUARANTEE OF THE TITLE OR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE INFORMATION IS PROVIDED FOR THE USE OF THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CLIENT IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON.

EXHIBIT – B

5 | 1 _____, 2025

Dear Revere City Council:

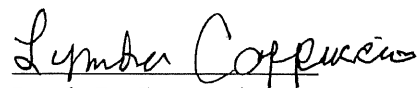
My name is Lynda R. Cappuccio, and I am a resident at 137 Keayne Street in Revere. I currently live next door to the site of the proposed car wash at 350 Squire Road, Revere.

I recently had the opportunity to meet and speak with the Applicants for the proposed car wash. I was happy to hear that along with the construction of the car wash, the Applicants also plan to redo the landscaping in the area and add a newly constructed fence to the property. I was very pleased to hear about the new fence that will be constructed at the border of our properties. The Applicants also told me that access to the car wash would come through Squire Road, not Keayne Street or Augustus Street. With cars entering the car wash through Squire Road, I am pleased that the amount of traffic on my street will not be increasing.

I am happy to voice my support for the Applicants project. With no impact to the traffic rate on my street, and new landscaping and fencing clearly separating our properties, I am satisfied that the use and enjoyment of my property will not be affected. With this information, I am in support of the Applicants project to construct a car wash at 350 Squire Road, Revere MA.

Thank you for your attention to this matter and please contact me should you have any questions.

Very Truly Yours,



Lynda R. Cappuccio
137 Keayne Street
Revere, MA 02151

May 13, 2025

Dear Revere City Council:

My name is Linda Griffiths, and I live at the property 138 Keayne Street in Revere, MA.

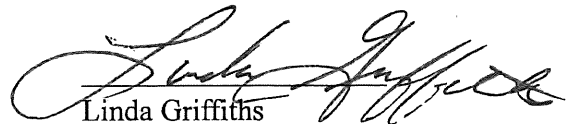
My property neighbors the Applicant's proposed site to build a new car wash at 350 Squire Road. I recently had the opportunity to meet with the Applicants and ask some questions about how the new car wash would fit into our neighborhood and how it would impact my property.

The Applicants were able to alleviate my concerns as they shared the details of their plans to construct the car wash. They told me that they would be constructing a new fence along the border of their property. This will be good for our neighborhood as the fence will clearly separate the car wash from the residential homes. Further, the Applicants confirmed that they would be redoing the landscaping on the property, helping to keep the neighborhood look nice. Finally, the Applicants confirmed that any traffic entering the car wash would come through Squire Road as opposed to Keayne Street or Augustus Street. This satisfied me as I now know that I do not have to worry about an increase in traffic on my street from people heading to the car wash.

As a result of learning this information, I am writing this letter in support of the Applicant's project to construct a new car wash at 350 Squire Road. After having the opportunity to speak with the Applicants and learn about the details of their plan, I am confident that the car wash will not have any negative effects on the use or enjoyment of property.

Thank you for your attention to this matter. If you would like to ask me any questions, please reach out and I am happy to answer.

Very Truly Yours,



Linda Griffiths
138 Keayne Street
Revere, MA 02151

May 1, 2025

Dear Revere City Council:

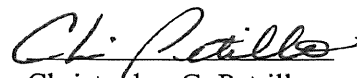
My name is Christopher G. Petrillo, and I am the current resident and owner of 143 Keayne Street in Revere. My property neighbors the Applicant's proposed construction site of 350 Squire Road, Revere MA.

I have recently met with the Applicants for the proposed construction. After speaking with them, I was comforted to hear that they would be investing in new landscaping and the construction of a new fence along the boundary line of our properties. Further, I was encouraged to hear that the plans for the development of the car wash would close off access from Squire Road to Keayne Street and Augustus Street which will limit traffic flow through my residential street. As a result of this, the implementation of a car wash at 350 Squire Road will not provide any new detrimental effects to my neighborhood. With the implementation of new landscaping, new fencing, and no change in the rate of traffic on my street, this project will not detract from the community's enjoyment and/or use of their property.

Please know that I fully support the construction and required relief necessary. The car wash will be great for the community. Overall, it is in the best interest of the community to allow their request for construction.

I much appreciate your attention to this matter. Please do not hesitate to contact me with any questions that you may have.

Very Truly Yours,



Christopher G. Petrillo
143 Keayne Street
Revere, MA 02151

may 12, 2025

Dear Revere City Council:

My name is Candace LePage and I am a resident of 117 Keayne Street in Revere MA. My property is located on the neighboring street from the Applicant's proposed construction site of 350 Squire Road, Revere MA.

I am writing this letter in support of the Applicant's proposed construction project moving forward. After speaking with the Applicants, I am supporting their project for the following reasons:

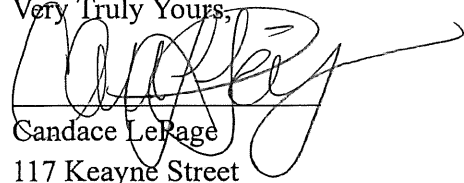
First, the Applicants explained that they would be updated the landscaping of the empty lot. I was happy to hear that the empty lot will now be in use, and as part of the car wash, the Applicants would be redoing the landscaping around the property. Having well-kept landscaping and an active business will be beneficial to the look and the charm of the neighborhood as opposed to the empty lot. A well-maintained property with new landscaping will improve the appeal of the neighborhood and serve as a welcome improvement over the empty lot.

Second, I was pleased to hear about the Applicants plans to direct traffic to and from the car wash through Squire Road, not Keayne Street. Hearing that the rate of traffic on my street will not be affected by the addition of this car wash gives me confidence that the use and enjoyment of my property will not be affected.

Overall, I believe that the new car wash will help to improve the look of the neighborhood without affecting the use or enjoyment of our properties. For these reasons, I am supporting the Applicant's plans to construct a new car wash at 350 Squire Road, Revere MA.

Thank you for your time and attention and should you have any questions, please feel free to contact me.

Very Truly Yours,


Candace LePage
117 Keayne Street
Revere, MA 02151

5/12, 2025

Dear Revere City Council:

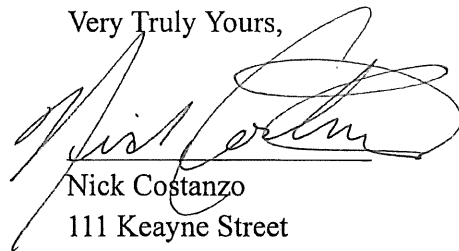
My name is Nick Costanzo, and I am a resident at 111 Keayne Street in Revere, Massachusetts. My property is located down the street from 350 Squire Road, the site of the proposed car wash from the Applicants.

I recently was able to confirm with the Applicants of the project that the new car wash will not negatively impact my property. The Applicants assured me that the traffic entering the car wash would come through Squire Road, not Keayne Street or Augustus Street. I was relieved to hear that there would not be an increase in cars driving down Keayne Street to get to the new car wash. I was additionally pleased to hear that the Applicants would be constructing a new fence and cleaning up the landscaping to clearly separate the properties and make sure that the neighborhood remains well kept.

With this information now confirmed, I am in full support of the Applicants proposed construction of the new car wash at 350 Squire Road. I am confident that the implementation of the new car wash will not impact the use or enjoyment of my property and will be beneficial to the community.

If you have any questions or concerns you would like to ask me, please reach out.

Very Truly Yours,



Nick Costanzo
111 Keayne Street
Revere, MA 02151

May 1, 2025

Dear Revere City Council:

My name is James M. Sherman, and I am the current resident and owner of 137 Keayne Street in Revere. My property neighbors the Applicant's proposed construction site of 350 Squire Road, Revere MA.

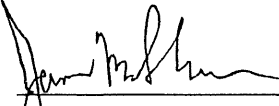
Upon speaking to the Applicants of the car wash, I wanted to confirm that the level of noise that would be generated would not exceed the level of noise that currently exists at the property. To confirm this, I visited the Prestige Car Wash location at 51 Canal Street, Salem MA. The level of noise generated from the Canal Street car wash was surprising as it was quieter than anticipated. If the same level of noise from the Canal Street location were to be at the Squire Road location, then the car wash would not increase the level of noise that is already present at 350 Squire Road.

After speaking with the Applicants, I was additionally satisfied to hear that they would be investing in new landscaping around the property and the construction of a new fence along the boundary of the property. Further, I was encouraged to hear that the plans for the development of the car wash would close off access from Squire Road to Keayne Street and Augustus Street which will limit traffic flow through my residential street.

The construction of the car wash will not have any detrimental effects to the enjoyment of my property. Additionally, the car wash will be great for the community. Overall, it is in the best interest of the community to allow their request for construction. For these reasons, I am writing to support the Applicants proposed project at 350 Squire Road.

I much appreciate your attention to this matter. Please do not hesitate to contact me with any questions that you may have.

Very Truly Yours,


James M. Sherman
137 Keayne Street
Revere, MA 02151

May 9, 2025

Dear Revere City Council:

I am writing this letter in support of the Applicants proposed car wash at 350 Squire Road, Revere, Massachusetts.

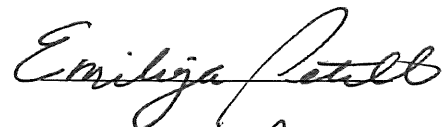
I have spoken with the Applicants of the project and was pleased to hear about the following details in the plans for construction.

First, the Applicants confirmed that they would be constructing a new fence along the boundary line of the property to clearly separate the car wash from the residential homes. Second, the Applicants explained that they would be cleaning up the landscaping of the site to go with the new car wash. Finally, the Applicants broke down how cars entering the car wash will be enter through Squire Road instead of Keayne Street or Augustus Street.

After hearing the details of the Applicants plan, I can now confirm that I am in support of the construction of a new car wash at 350 Squire Road. Overall, I fully believe that this car wash will be a benefit to the community without providing any detrimental effects to the use or enjoyment of our properties.

Thank you for your time and attention to this project. If you would like to ask me any questions, please contact me.

Very Truly Yours,


Emilija Petrillo

May 12, 2025

Dear Revere City Council:

My name is David LePage and I am the current resident of 117 Keayne Street, Revere MA. My property is located one street over from the proposed construction site of 350 Squire Road, Revere MA.

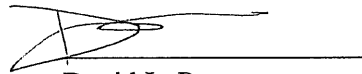
I recently had the opportunity to meet with the Applicant's for the new car wash and am now writing this letter to provide my support for the project to move forward.

The Applicants explained the details of their project and I was pleased to hear about the positive impact it will have on my neighborhood. First, the Applicants explained that they will be installing all new landscaping throughout the empty lot on Squire Road. This will vastly improve the appearance of the neighborhood by transforming the empty lot into a well-kept property. Additionally, the Applicants explained to me that the entrance to the car wash would not come through my street, but rather from Squire Road. With each customer for the car wash driving through Squire Road as opposed to through my neighborhood, the rate of traffic will remain unaffected. This will help to preserve the quiet neighborhood characteristics that we enjoy as property owners on Keayne Street.

With updated landscaping throughout the empty lot, and the traffic flowing through Squire Road as opposed to Keayne Street, I am happy to voice my support for the Applicant's project. I believe these changes will be beneficial to the neighborhood while also allowing the characteristics of the neighborhood that we all enjoy, to stay the same.

If you would like to ask me any questions, please contact me. Thank you for your time and attention to this matter.

Very Truly Yours,



David LePage
117 Keayne Street
Revere, MA 02151

May 1, 2025

Dear Revere City Council:

My name is Frances M. Petrillo, and I have resided at the property 143 Keayne Street, Revere MA since 1974. Neighboring my property is 350 Squire Road, the site of the Applicants proposed car wash.

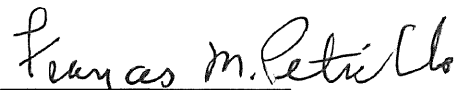
I have recently had the opportunity to discuss the new construction of a car wash with the Applicants. I was pleased to hear that along with the construction of the car wash, the Applicants would be adding new landscaping and a newly constructed fence along the boundary of the property.

Additionally, I was pleased to hear that the construction of the new car wash would not add more traffic to my residential street, as access to the car wash would come from Squire Road as opposed to through Keayne Street.

After confirming this information with the Applicants, I'm content in allowing this project to move forward as the implementation of a car wash at 350 Squire Road will not provide any new detrimental effects to my neighborhood. With the proper landscaping, new fence, and confirmation that the rate of traffic on my street will not change, I am pleased that this project will not impact the use or enjoyment of my property.

I write this letter to fully support the application for a car wash to be constructed at 350 Squire Road. Thank you for your attention to this matter and please let me know if you have any questions.

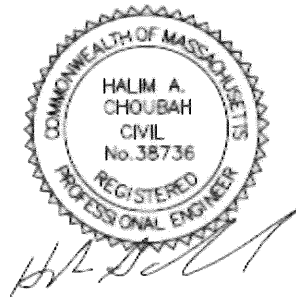
Very Truly Yours,



Frances M. Petrillo
143 Keayne Street
Revere, MA 02151

EXHIBIT – C

TRAFFIC & DEVELOPMENT
IMPACT STATEMENT
FOR
PROPOSED CAR WASH
FACILITY
350 SQUIRE ROAD
REVERE, MA 02151



PREPARED BY:



CHOUBAH ENGINEERING GROUP, P.C.
CONSULTING PROFESSIONAL ENGINEERS
112 STATE ROAD (RTE.6)
N. DARMOUTH, MA 02747

CEG # 24-681
May 12, 2025

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PROJECT DESCRIPTION

The subject property is located at 350 Squire Road in Revere, Massachusetts in the General Commercial Zoning District, and measures approximately 23,464 square feet.

It is bound to the north by Squire Road (Route 60), to the east by Augustus Street, to the west by Keayne Street and to the south by residential properties.

The site was the former mobile Gasoline filling station, the existing building, canopy and fueling system were demolished in recent years. Most of the property is currently covered by impervious surfaces except for some small landscape areas along the corners. Access to the site is via two curb openings from Squire Road and one from Augustus Street (refer to Existing Conditions Plan).

No traffic backups to Squire Road, Keayne Street, and Augustus Street from the car wash tunnel are anticipated. The Applicant is proposing to construct a 3,640 square-foot (140'x26') car wash building with associated parking, access, utilities, and landscape. The proposed building will house an automatic car wash tunnel, 140 feet long and its associated equipment. Site plans submitted show the proposed car wash building with 13 vacuum spaces, and 9 parking spaces for employees and for the public including one handicap space all in compliance with local zoning requirements. Car Wash drive-through lanes have a stacking capacity for 20 cars (including car wash tunnel).

The proposed building would meet all required setbacks in the General Commercial Zoning District and does not require any dimensional zoning relief. The new building design including new stormwater, utilities, lighting, and landscape improvements to the site would enhance surrounding businesses and commercially developed neighborhood.

An erosion barrier consisting of staked silt sock with a siltation fence will be placed around the entire proposed limits of construction as shown on the site plan prior to construction. In addition, a tracking gravel pad will be installed prior to construction at existing entrances for dust control. The contractor will be responsible for maintaining the erosion barrier and gravel pad during the entire construction period. Erosion control devices will be removed after construction is completed and all disturbed areas are restored to pre-existing conditions.

Construction project cost and improvements are estimated to be around 3.0 million dollars. When completed, the project is anticipated to generate additional taxes to the City of Revere, **approximately 4 times the current tax revenue of the property.** In addition the project would employ approximately 4 people in full-time and part time positions.

The project is subject to a Site Plan Review and a Special Permits approval from the Revere City Council. In addition, the Applicant would apply for and obtain all applicable Building permits associated with the project in compliance with local, state, and federal requirements. Construction is anticipated to start in late 2025 and will be completed within 8-12 months from the starting date.

TRAFFIC IMPACT

CAR WASH TRIP GENERATION

Based on data from the 25 car washes operated by the Applicant, the projected daily peak for this site is 350 cars per day (700 trips/day @50% distribution 350 enter and 350 exit).

To be on the safe side we have compared this site to the busiest locations operated by the Applicant with a peak of 500 cars per day with peak hours breakdown below:

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Hour					
Enter	0	10	10	5	5
<u>Exit</u>	<u>0</u>	<u>10</u>	<u>10</u>	<u>5</u>	<u>5</u>
Total	0	20	20	10	10
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Hour					
Enter	0	26	26	13	13
<u>Exit</u>	<u>0</u>	<u>26</u>	<u>26</u>	<u>13</u>	<u>13</u>
Total	0	52	52	26	26
Saturday Peak					
Hour					
Enter	0	30	30	15	15
<u>Exit</u>	<u>0</u>	<u>30</u>	<u>30</u>	<u>15</u>	<u>15</u>
Total	0	60	60	30	30

* To estimate the traffic volume expected to be generated by the proposed car wash, trip generation data published by the Institute of Transportation Engineers and traffic data from the 25 car washes owned and operated by the Applicant were used. Not all vehicle trips generated by the project, however, represent new trips. **Studies have shown that car washes generate a majority of their business from the traffic already present on the adjacent roadway.** This traffic is referred to as pass-by trips. Based on data published in the ITE *Trip Generation Manual*, 60 percent of the total traffic generated by a car wash facility will be drawn from the existing traffic passing by the site in the form of pass-by traffic. Therefore, while the total traffic generated by the project will be realized at the site driveways, the impact of this traffic on the adjacent streets is substantially less (to be on the conservative side, we only applied a 50% pass-by rate and not 60% to the calculations).

TRAFFIC INCREASES

Based on this distribution pattern, weekday morning peak hour is anticipated to increase by approximately 5 vehicles, weekday evening peak hour by 13 vehicles and the Saturday peak hour by approximately 15 vehicles at the site driveway as a result of the proposed car wash. **This increase is not expected to change the operational characteristics of the adjacent streets, near nearby intersections, and access driveway.**

Please keep in mind this increase based on the analysis that the property is currently vacant and does not generate any traffic. If the current use (vacant lot) is substituted with another use in the General Commercial Zoning District such as fast casual restaurant, or a coffee/bagel shop without a drive through then the traffic generated by such use would be more than the traffic generated from the proposed car wash use (see Appendix A).

SITE ACCESS AND ON-SITE CIRCULATION

No traffic backups to Squire Road, Keayne Street, and Augustus Street from the car wash tunnel are anticipated. Site plans submitted show the proposed car wash building with 13 vacuum parking spaces, 9 employee and general public parking spaces including one handicap parking space all in compliance with local zoning requirements. The proposed car wash drive-through lanes have a stacking capacity for 20 cars (including car wash tunnel).

Internal traffic and pedestrian circulation were designed to maximize safety. Access/egress to site is via one full access driveway from Squire Road, and one emergency driveway (to be gated and only used by authorized personnel such as first responders, fire, and police) on Augustus Street. Proper signage, sidewalks, crosswalks, and pavement markings are provided for safe traffic circulation within the site. There will be no regular access to Augustus and Keayne Streets from the car wash parcel.

IMPACT ON ADJACENT PROPERTIES

The site was previously developed as a gasoline filling station and is located in a heavily developed commercial business district and surrounded by established commercial businesses. The proposed car wash building, utility and stormwater improvements, and landscape improvements and design are in harmony with the surrounding neighborhood.

SOUND LEVELS IMPACTS & MITIGATION MEASURES

In order to mitigate the noise levels from the car wash tunnel and vacuums to a normal conversation level at the property lines, the following mitigations are proposed:

Car wash Tunnel

Provide a landscape buffer along the entire southerly property line adjacent to the car wash tunnel including an 8'-10' high solid wood fence (as up to 10 feet is allowed in the district) with arborvitae trees 6' -8' feet high at time of planting, placed 6 to 8 feet on center in order to create a dense vegetated buffer.

Install a silencer unit at the car wash tunnel exit for sound mitigation.

Vacuums

Enclose Vacuums motor and separator units with an 8 foot-high solid wood fence or PVC with 2" rigid foam insulation layers attached to the inside of the fence (refer to details) in order to muffle sound from the units.

HVAC & Mechanical Units

All proposed HVAC units will be hidden inside the building (in attic space) to minimize exposure and sound levels.

IMPACT ON UTILITIES

The site was previously developed as a gasoline filling station and is located in a developed commercial business district and surrounded by established commercial businesses. The site has electric and gas services and is tied to the Revere Municipal Sewer and water systems. The proposed site redevelopment and modifications will have no impact on existing infrastructure.

The car wash would be equipped with a water reclaim system which treats, cleans, and re-uses the water in order to protect the environment/groundwater, minimize water usage and maximize water preservation.

STORMWATER/ENVIRONMENTAL IMPACT

Presently all runoff generated from site is collected by a closed drainage system and discharges by a direct connection to the municipal stormwater system on Squire Road.

Proposed runoff from the site to the Squire Road stormwater collection system will be reduced by 20% to 30% over the existing conditions.

With the proposed development and site improvements runoff from the site will be reduced by replacing paved surfaces along the perimeter of the site with green landscape and by collecting all runoff via a closed drainage system and directing it to an on-site infiltration system to pretreat and hold the first 1" of runoff before discharging to the municipal stormwater system on Squire Road.

With the proposed pre-treatment structures, runoff water quality from site would be improved over the existing conditions where runoff collected by the closed drainage system is pre-treated to achieve 91.5% TSS (Total Suspended Solids) removal rates in compliance with the City of Revere Stormwater Management Ordinances and the Massachusetts Department of Environmental Protection Guidelines.

In addition the Applicant is proposing to construct a new state of the art car wash tunnel using environmentally friendly and bio-degradable cleaning products and equipped with a water reclaim system which treats, cleans, and re-uses the water in order to protect the environment/groundwater, minimize water usage and maximize water preservation.

Parking lot maintenance in the form of sweeping shall be conducted once per month, during the months of April through November. Sweeping provides important non-point source pollution control. When practical and as weather permits, accumulated sediments should be swept and removed on an as needed basis during the month of January through March.

Catch Basins/Drainage Manholes

All Structures will be inspected four times per year. Structures will be cleaned twice a year or whenever the depth of deposits is greater than or equal to one half the depth from the bottom of the invert of the lowest pipe in the structure and at the end of the foliage and snow removal seasons. All Structures will be cleaned using a vacuum truck to remove trapped sediment from the deep sumps. Material removed during cleaning will be disposed of in accordance with all federal, state, and local regulations.

BMP Structure Maintenance (stormceptor)

Stormceptor structures should be maintained annually or when the sediments volume in the unit reaches 15% of the total storage capacity per manufacturer's specifications.

An updated Inspection and Maintenance Log listing individual BMP's, including the sweeping program, the inspection and maintenance requirements and the dates performed should be kept on site.

Underground Infiltration Systems Maintenance

Infiltration systems will be aggressively maintained on a regular schedule. Units will be inspected every six months. For the first year of installation infiltration units shall be checked and inspected after every major storm event (2 year return frequency). Inlet pipes will be checked to determine if they are clogged and accumulated sediment, trash, debris, leaves, and vegetation will be removed. If infiltration system fails to fully dewater within 72 hours of a storm event, then the responsible party (facility Owner/Operator) shall retain a qualified professional engineer to assess the cause of failure of the system and develop recommendations for corrective action. Corrective action must be implemented immediately to restore system function.

EARTH EXCAVATION & CONSTRUCTION IMPACT

Prior to construction, an erosion barrier consisting of staked silt sock with a siltation fence will be placed around the entire proposed limits of disturbances as shown on the site. In addition, a tracking gravel pad will be installed prior to construction at existing entrances for dust control. The contractor will be responsible for maintaining the erosion barrier and gravel pad during the entire construction period. Erosion control devices will be removed after construction is completed and all disturbed areas are restored to pre-existing conditions.

Any stockpiled soil on site will be placed on poly and securely covered with poly and sock bales around stockpiles in properly designated areas until proper disposal can occur.

Once Approved and prior to construction, the Applicant will hire a rodent control contractor to set up proper traps and baits on site (with continuous monitoring) for rodent control per all applicable local and state Health Regulations.

Appendix “A”

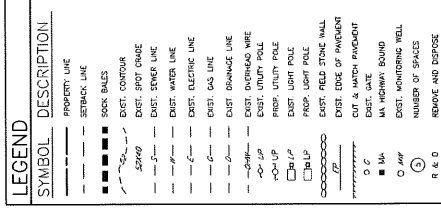
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ITE Trip Generation Data for Weekday PM Peak

Automated Car Wash	52 trips/hour	(26 cars)
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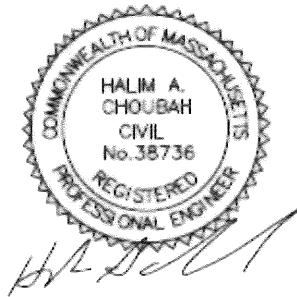
Appendix “B”

Existing Conditions Plan & Proposed Site Layout Plan





TRAFFIC & DEVELOPMENT
IMPACT STATEMENT
FOR
PROPOSED CAR WASH
FACILITY
350 SQUIRE ROAD
REVERE, MA 02151



PREPARED BY:



CHOUBAH ENGINEERING GROUP, P.C.
CONSULTING PROFESSIONAL ENGINEERS
112 STATE ROAD (RTE. 6)
N. DARMOUTH, MA 02747

CEG # 24-681
May 12, 2025

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Appendix “A”

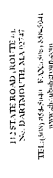
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Appendix “B”

Existing Conditions Plan & Proposed Site Layout Plan



PROJECT:
PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

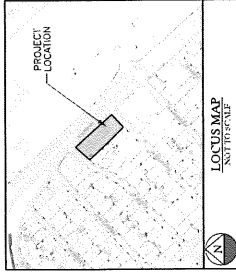
PREPARED FOR:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON MA



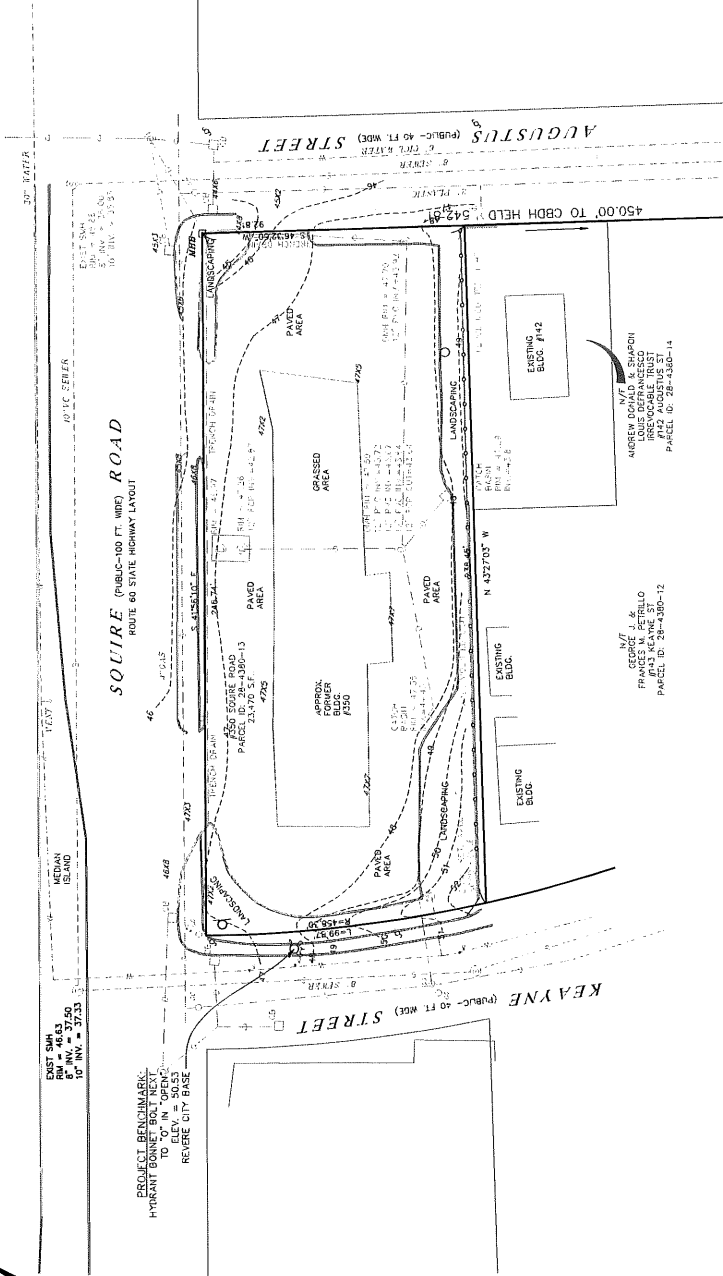
Issue Date: 04/15/2025	
Revisions:	
No.	Description
Project Number: 24081	
Scale: AS SHOWN	
Designed By: CM5	
Drawn By: CM5	Checked By: HC
Sheet Title:	

EXISTING CONDITIONS PLAN

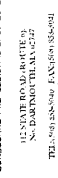
Sheet Number: 1 of 2



SITE DATA:
ADDRESS: 350 SQUIRE ROAD,
REVERE, MA 02151
ZONING DISTRICT:
(GB)—GENERAL BUSINESS
AREA:
25,470 Sq.Ft.
EXISTING USE:
FORMALLY MOBILE GAS
STATION



LEGEND	SYMBOL	DESCRIPTION
_____	PROPERTY LINE	
_____	BACKYARD LINE	
_____	POCK BAILS	
_____	POCK CONTAINER	
_____	POCK SPOT GRADE	
_____	POCK SINKER LINE	
_____	POCK WATER LINE	
_____	POCK ELECTRIC LINE	
_____	POCK GAS LINE	
_____	POCK DRAINAGE LINE	
_____	POCK OVERHEAD WIRE	
_____	POCK UTILITY POLE	
_____	POCK LIGHT POLE	
_____	POCK LIGHT POLE	
_____	POCK FIELD STONE WALL	
_____	POCK EDGE OF PAVEMENT	
_____	POCK CUT & PATCH PAVEMENT	
_____	POCK GATE	
_____	POCK HIGHWAY ROAD	
_____	POCK MONITORING WELL	
_____	POCK NUMBER OF SPACES	
_____	POCK REMOVE AND DISPOSE	



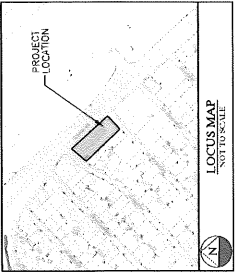
PROJECT:
PROPOSED CAR WASH
FACILITY AT
350 SQUIRE ROAD,
REVERE, MA

PREPARED FOR:
NEW YORK CAPITAL
INVESTMENT GROUP, LLC
500 TURNPIKE STREET,
CANTON, MA

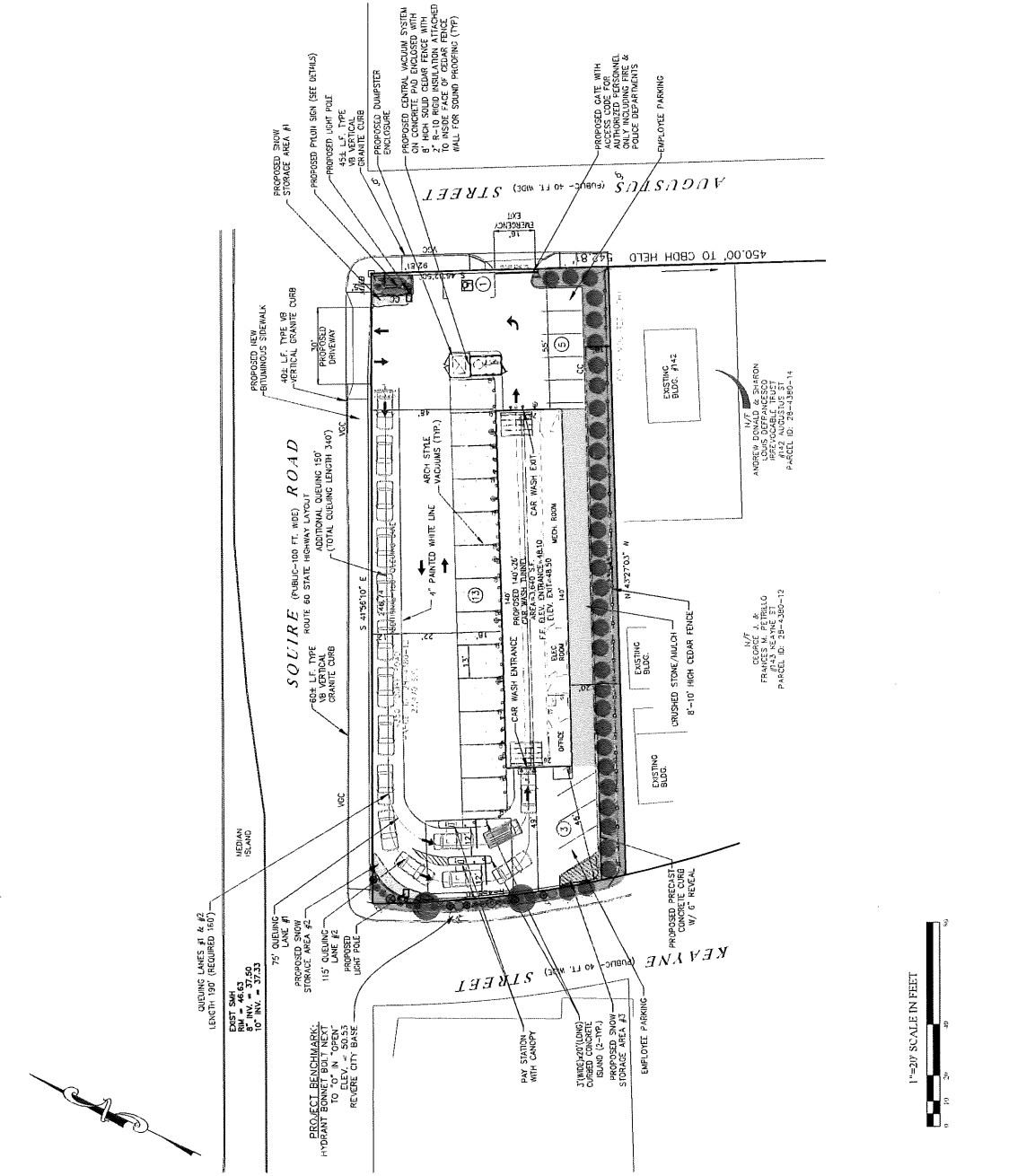
[illegible]

SITE LAYOUT PLAN

Sheet Number: 2 OF 2



LEGEND

[illegible]

Public Hearing

Notice is hereby given that the Revere City Council will conduct a public hearing on Monday evening, May 19, 2025 at 6:00 p.m. in the City Councillor Joseph A. DelGrosso City Council Chamber of Revere City Hall, 281 Broadway, Revere, Massachusetts relative to the following proposed amendment to the Revised Ordinances of the City of Revere:

AN ORDINANCE REMOVING OUTDATED LANGUAGE FROM THE REVISED ORDINANCES OF THE CITY OF REVERE

Be it ordained by the City of Revere, MA as follows:

- SECTION 1.** Section 2.06.110 Clothing Allowance of Title 2 of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.
- SECTION 2.** Chapter 2.30 City Physician of Title 2 of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.
- SECTION 3.** Chapter 2.36 Fence Viewers of Title 2 of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.
- SECTION 4.** Chapter 2.42 Cemetery Department of Title 2 of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.
- SECTION 5.** Chapter 2.45 Civil Defense Department of Title 2 of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.
- SECTION 6.** This ordinance shall take effect upon its passage.

A copy of the aforementioned proposed ordinance is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM-12:00PM. If unable to attend the public hearing, proponent/opponent testimony will be accepted in writing to amelnik@revere.org on or before May 13, 2025.

Attest:
Ashley E. Melnik
City Clerk

Revere Journal
Bill to: amelnik@revere.org
April 30, 2025

Public Hearing

Notice is hereby given that the Revere City Council will conduct a public hearing on Monday evening, May 19, 2025 at 6:00 p.m. in the City Councillor Joseph A. DelGrosso City Council Chamber of Revere City Hall, 281 Broadway, Revere, Massachusetts relative to the following proposed amendment to the Revised Ordinances of the City of Revere:

AN ORDINANCE FURTHER AMENDING TITLE 5 OF THE REVISED ORDINANCES OF THE CITY OF REVERE RELATIVE TO FOOD TRUCKS

Be it ordained by the City of Revere as follows:

SECTION 1. Section 2.12.130 Financial Impact Statements of the Revised Ordinances of the City of Revere is hereby amended by deleting the word “five” and inserting in place thereof the word “ten”.

SECTION 2. This ordinance shall take effect upon its passage.

A copy of the aforementioned proposed ordinance is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM-12:00PM. If unable to attend the public hearing, proponent/opponent testimony will be accepted in writing to amelnik@revere.org on or before May 13, 2025.

Attest:
Ashley E. Melnik
City Clerk

Revere Journal
Bill to: amelnik@revere.org
April 30, 2025

CZ-25-04

**City of Revere, MA
Public Hearing Notice**

Notice is hereby given, in accordance with the provisions of Section 5 of Chapter 40A of the Massachusetts General Laws and Title 17, Chapter 17.56, Sections 17.56.010 – 17.56.030 of the Revised Ordinances of the City of Revere, that (a) the Revere City Council will conduct a public hearing on Monday, May 19, 2025 at 6:00PM in the City Councillor Joseph A. DelGrosso City Council Chamber of Revere City Hall, 281 Broadway, Revere, Massachusetts 02151, and (b) the Revere Planning Board will conduct a public hearing on Tuesday, May 20, 2025 at 5:30PM in the City Councillor Joseph A. DelGrosso City Council Chamber of Revere City Hall, 281 Broadway, Revere, Massachusetts 02151, relative to the following proposed amendment to the Revised Ordinances of the City of Revere:

A ZONING ORDINANCE FURTHER AMENDING TITLE 17 OF THE REVISED ORDINANCES OF THE CITY OF REVERE ESTABLISHING A DEFINITION AND USE FOR FOOD TRUCKS

Be it ordained by the City of Revere as follows:

SECTION 1. Section 17.16.040 of Title 17 of the Revised Ordinances of the City of Revere is hereby amended by inserting the following new entries to the Table of Uses beneath the existing use “Restaurant, outdoor dining”:

ZONING DISTRICT																		
USE	RA	RA1	RB	RB1	RC	RC1	RC2	RC3	PDD1	PDD2	NB	GB	GB1	CB	HB	TED	LI	IP
Food truck	No	No	No	No	No	No	Yes ²⁷	No	Yes ²⁸	No	No	No	No	No	Yes ²⁸	Yes ²⁸	No	No

²⁷ Food trucks may only be allowed in the RC2 district pursuant to the authority and jurisdiction of the Massachusetts Department of Conservation and Recreation.

²⁸ Food trucks may be allowed subject to both License Commission approval and continued conformance to parking requirements and traffic by-laws. See Chapter 5.10.

SECTION 2. Section 17.08.305 of Title 17 of the Revised Ordinances of the City of Revere is hereby created by inserting the following new definition:

§ 17.08.305 Food trucks.

“Food truck” means any mobile food vehicle or operation, whether motorized or propelled by human power, or temporary food station, which cooks, prepares, stores, packages, serves, sells, or otherwise provides any food or beverages for human consumption either on or off premises to the general public, for a fee or free of charge. This includes but is not limited to food carts, pushcarts, and food stands. Mobilized ice cream trucks that provide already prepared or prepacked frozen dairy or frozen water-based food products under M.G.L. c. 270 § 25 and 520 CMR 15.0 shall not be included in this definition.

SECTION 3. This ordinance shall take effect upon its passage.

A copy of the aforementioned proposed zoning ordinance is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM-12:00PM. If unable to attend the public hearing, proponent/opponent testimony will be accepted in writing to amelnik@revere.org on or before May 13, 2025.

Attest:
Ashley E. Melnik
City Clerk

Revere Journal
Bill to: amelnik@revere.org
April 30, 2025
May 7, 2025

Public Hearing

Notice is hereby given that the Revere City Council will conduct a public hearing on Monday evening, May 19, 2025 at 6:00 p.m. in the City Councillor Joseph A. DelGrosso City Council Chamber of Revere City Hall, 281 Broadway, Revere, Massachusetts relative to the following proposed amendment to the Revised Ordinances of the City of Revere:

AN ORDINANCE FURTHER AMENDING TITLE 5 OF THE REVISED ORDINANCES OF THE CITY OF REVERE RELATIVE TO FOOD TRUCKS

Be it ordained by the City of Revere as follows:

- SECTION 1.** Section 5.10.040(K) of Title 5 of the Revised Ordinances of the City of Revere is hereby amended by deleting the words “Section 5.10.050 of this chapter,” and inserting in place thereof the words “Section 17.16.040.”
- SECTION 2.** Section 5.10.040(O) of Title 5 of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.
- SECTION 3.** Section 5.10.050 of Title 5 of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.
- SECTION 4.** Section 5.10.060 of Title 5 of the Revised Ordinances of the City of Revere is hereby amended by inserting the words “a travel aisle, driveway, or” before the words “the public right-of-way.”
- SECTION 5.** This ordinance shall take effect upon its passage.

A copy of the aforementioned proposed ordinance is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM-12:00PM. If unable to attend the public hearing, proponent/opponent testimony will be accepted in writing to amelnik@revere.org on or before May 13, 2025.

Attest:
Ashley E. Melnik
City Clerk

Revere Journal
Bill to: amelnik@revere.org
April 30, 2025



City of Revere


Office of the City Solicitor

281 Broadway
Revere, MA 02151 | Tel: (781)-286-8166

Paul Capizzi, *City Solicitor* | Daniel Doherty, *Asst. City Solicitor*
Sheryl Pelletier, *Paralegal* | Claire Inzerillo, *Policy Writer & Analyst*

Mayor Patrick M. Keefe Jr.

TO: Honorable City Council

FR: Claire Inzerillo, Policy Writer and Analyst 

CC: Dr. Dianne Kelly, Superintendent of Revere Public Schools
Richard Viscay, CFO
David Callahan, Chief of Police

RE: **Adoption of M.G.L. c. 40 § 71 and applicable provisions.**

DA: May 14, 2025

Esteemed Councilors:

At the request of the Mayor, I write to recommend the City Council accept the provisions of Massachusetts General Laws c. 40 § 71 and c. 90 § 14C. These provisions, enumerated in Chapter 399 of the Acts of 2024, signed by Governor Healey earlier this year, authorize a municipality to use a school bus violation detection monitoring system to enforce traffic violations pursuant to Sections 14C of Chapter 90 of the General Laws and impose monetary liability on vehicles that illegally pass a school bus.

If it is the will of this Council to adopt these provisions, the administration looks forward to additional discussion surrounding what this program would look like in Revere. Any agreement with a private vendor or manufacturer to provide this service would be subject to approval by the Revere School Committee.

For your convenience, please see attached for the applicable General Laws. Thank you for your consideration.

Attachment: MGL Adoption - Letter to Council (25-152 : Adoption of MGL c 40 s 71)

Massachusetts General Laws Annotated

Part I. Administration of the Government (Ch. 1-182)

Title VII. Cities, Towns and Districts (Ch. 39-49a)

Chapter 40. Powers and Duties of Cities and Towns (Refs & Annos)

M.G.L.A. 40 § 71

§ 71. School bus violation detection monitoring systems; installation and operation

Currentness

<[Text of section added by 2024, 399, [Sec. 1](#) effective January 10, 2025.]>

(a) As used in this section, the following words shall, unless the context clearly requires otherwise, have the following meanings:

“District”, as defined in [section 2 of chapter 70](#).

“School bus violation detection monitoring system” or “system”, as defined in [section 14C of chapter 90](#).

“Violation”, as defined in [section 14C of chapter 90](#).

(b) A city or town that accepts this section may install and operate a school bus violation detection monitoring system on a school bus to enforce violations pursuant to [sections 14 and 14C of chapter 90](#). Any such system shall be used solely to monitor and detect violations of motor vehicle operators who overtake or fail to stop for a school bus in violation of said section 14 of said chapter 90.

(c)(1) A city or town that accepts this section may enter into an agreement with a private vendor or manufacturer to provide a school bus violation detection monitoring system, including the installation, operation and maintenance of such systems, on each bus within its fleet whether the school bus is owned or leased.

(2) Any money paid to the manufacturer or vendor of a school bus violation detection monitoring system, including, but not limited to, equipment, shall be based upon the value of the system and equipment installed and the recurring services provided in support of the school bus violation detection monitoring system, including the processing of evidence files, cost of the technology provided and maintenance of such technology, and shall not be based upon the revenue generated by the use of the system.

(3) An agreement to provide a school bus violation detection monitoring system under this section shall only become effective after consent by the applicable district, through a vote of a majority of its governing school committee.

Credits

Added by [St.2024, c. 399, § 1, eff. Jan. 10, 2025](#).

M.G.L.A. 40 § 71, MA ST 40 § 71

Current through the 2024 2nd Annual Session. Some sections may be more current, see credits for details.with the emergency legislation Chapter 34 of the 2025 First Regular and First Special Sessions of the 132nd Legislature of Maine. The First Regular Session convened December 4, 2024 and adjourned sine die March 21, 2025. The general effective date for nonemergency laws passed in the First Regular Session of the 131st Legislature is June 20, 2025. The First Special Session convened March 25, 2025.

End of Document

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Attachment: MGL c 40 s 71 (25-152 : Adoption of MGL c 40 s 71)

Massachusetts General Laws Annotated

Part I. Administration of the Government (Ch. 1-182)

Title XIV. Public Ways and Works (Ch. 81-92b)

Chapter 90. Motor Vehicles and Aircraft (Refs & Annos)

M.G.L.A. 90 § 14C

§ 14C. School bus violation detection monitoring systems; taking of
photographic and video images; production of evidence files; reporting

Currentness

<[Text of section added by 2024, 399, [Sec. 2](#) effective January 10, 2025.]>

(a) As used in this section and [sections 14D](#) and [14E](#), the following words shall, unless the context clearly requires otherwise, have the following meanings:

“District”, as defined in [section 2 of chapter 70](#).

“School bus violation detection monitoring system” or “system”, a camera system that monitors and detects a motor vehicle overtaking or passing a school bus when the bus is stopped and displaying front and rear alternating flashing red signal lights, as provided in [section 7B](#), when the bus has been stopped to allow pupils to alight from or board the bus. A school bus violation detection monitoring system shall meet the requirements described in subsection (c).

“Stop arm traffic control sign”, a stop sign mounted on a mechanical arm installed on a school bus that is deployed when a school bus is stopped to allow pupils to alight from or board the bus and to notify motorists when they are required to stop and when they may proceed.

“Violation”, the failure of an operator of a motor vehicle to comply with [section 14](#) and any other laws, codes, regulations, by-laws, ordinances, rules or requirements governing traffic control for school buses stopped to allow pupils to alight from or board the bus.

(b)(1) A city or town that accepts [section 71 of chapter 40](#) may install and operate a school bus violation detection monitoring system on a school bus to enforce violations by an operator of a motor vehicle who overtakes or fails to stop their vehicle for a school bus when required to do so pursuant to [section 14](#).

(2) A school bus with a school bus violation detection monitoring system shall post signage indicating that such system is in use on such bus. The signage shall remain on each such school bus at all times while a school bus violation detection monitoring system is in operation.

(c)(1) All systems installed on a school bus shall produce an evidence file that includes: (i) a live visual video image viewable remotely; (ii) a recorded video image of the license plate of a vehicle committing a violation of the stop arm traffic control sign; and (iii) the capacity to record the date, time and location of the vehicle committing a violation of the stop arm traffic

control sign; provided, however, that all recordings in an evidence file under this section shall be destroyed in accordance with paragraph (2) of subsection (d) as applicable.

(2) A system's recorded video images and still photographic images shall record the rear of the motor vehicle with at least: (i) 1 photographic image and 1 recorded video image clearly recording the motor vehicle immediately before the violation of the stop arm traffic control sign; (ii) 1 photographic image and 1 recorded video image recording the motor vehicle passing the stopped school bus with the stop arm traffic control sign in violation of the stop arm traffic control sign; and (iii) 1 photographic image and 1 recorded video image that clearly identify the license plate of the motor vehicle; provided, however, that all recordings in an evidence file under this section shall be destroyed in accordance with paragraph (2) of subsection (d) as applicable.

(3) To the extent practicable, any school bus violation detection monitoring system shall use necessary technology to ensure that photographs or recorded video images produced by the school bus violation detection monitoring system shall not include a frontal view photograph or video image of the motor vehicle that is in violation of the stop arm traffic control sign or images that identify the operator, passengers or contents of the vehicle; provided, however, that no notice of liability issued under this section shall be dismissed solely because a photograph or recorded video image allow for the identification of the operator, passengers or contents of a vehicle if a reasonable effort has been made to comply with this subsection.

(d)(1) Other than for purposes of enforcement of a violation of this section or [section 14](#) or for purposes of an owner of a vehicle defending a violation of this section, recorded video images and photographs taken or created under this section shall only be made available under an order by a court of competent jurisdiction.

(2) All recorded video and photographic images and other information obtained through the use of a school bus violation detection monitoring system, as authorized in this section, that do not identify a violation shall be destroyed by a city, town, school department, district or vendor within 30 days of the date the image was recorded, unless otherwise ordered by a court of competent jurisdiction. All recorded video and photographic images and other information that identify a violation shall be destroyed within 1 year of the final disposition of proceedings related to the enforcement or defense of a violation, unless otherwise ordered by a court of competent jurisdiction. Annually, within 30 days of the close of the fiscal year, each city, town, school department, district and vendor under agreement utilizing at least 1 school bus violation detection monitoring systems shall file a notice attested under penalties of perjury with the state secretary that records have been destroyed in accordance with this paragraph. All recorded video and photographic images and other information, however stored or retained, obtained through systems authorized in this section shall be the property of the municipality under agreement with a vendor or manufacturer under [section 71 of chapter 40](#) and shall not be used by a vendor or manufacturer for any other purpose. Upon the expiration of any agreement authorized under this section, all such video and photographic images and other information shall be delivered within 30 days to the municipality who is a party to the agreement unless otherwise ordered by a court of competent jurisdiction.

(3) The administrator of the school bus violation detection monitoring system within any city, town or district accepting this section shall submit an annual report to the Massachusetts Department of Transportation regarding the use and operation of each system. The report shall contain: (i) data on the number of citations issued under this section, organized by intersection, and of those citations shall detail: (A) the number of alleged violators who paid the applicable fine without a request for a hearing; (B) the number of violators found responsible after a hearing; and (C) the number of violations dismissed after a hearing; and (ii) the cost to maintain each system and the amount of revenue obtained from each system.

Credits

Added by [St.2024, c. 399, § 2, eff. Jan. 10, 2025](#).

M.G.L.A. 90 § 14C, MA ST 90 § 14C

Current through the 2024 2nd Annual Session. Some sections may be more current, see credits for details.with the emergency legislation Chapter 34 of the 2025 First Regular and First Special Sessions of the 132nd Legislature of Maine. The First Regular Session convened December 4, 2024 and adjourned sine die March 21, 2025. The general effective date for nonemergency laws passed in the First Regular Session of the 131st Legislature is June 20, 2025. The First Special Session convened March 25, 2025.

End of Document

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Attachment: MGL c 90 s 14C (25-152 : Adoption of MGL c 40 s 71)

AN ORDINANCE FURTHER AMENDING APPENDIX C. SALARIES OF THE REVISED ORDINANCES OF THE CITY OF REVERE.

Be it ordained by the City of Revere as follows:

SECTION 1. Section C.010(B) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by capitalizing the word “service” in the definition name “Years of service.”

SECTION 2. Section C.010(D)(1) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by adding “See Section (B)” after the word “Revere.”

SECTION 3. Section C.010(E) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by deleting the first table in its entirety and inserting in place thereof the following new table:

Non-Elected Full Time Employees Not Represented by Collective Bargaining Agreements (Exempts)				3%	3%	3%	1%
Exempt Employees	Parity	7/1/2024		7/1/2025	7/1/2026	7/1/2027	6/30/2028
CHIEF OF STAFF	A	\$ 135,698	\$ 1,000	\$ 140,798	\$ 145,022	\$ 149,373	n/a
EXECUTIVE SECRETARY	B	\$ 80,424		\$ 82,836	\$ 85,321	\$ 87,881	\$ 88,760
COMMUNICATIONS ASSOCIATE	B	\$ 64,339		\$ 66,269	\$ 68,257	\$ 70,305	\$ 71,008
MAYOR'S AIDE	B	\$ 59,999		\$ 61,799	\$ 63,653	\$ 65,563	\$ 66,218
HUMAN RESOURCES DIRECTOR	A	\$ 101,541	\$ 1,000	\$ 105,618	\$ 108,786	\$ 112,050	n/a
SENIOR GENERALIST	B	\$ 81,747		\$ 84,199	\$ 86,725	\$ 89,327	\$ 90,220
HEALTH BENEFITS ADMIN	B	\$ 66,194		\$ 68,180	\$ 70,226	\$ 72,332	\$ 73,056
CITY AUDITOR/ BUDGET DIRECTOR	A	\$ 158,654	\$ 1,000	\$ 164,444	\$ 169,377	\$ 174,459	n/a
ASST BUDGET DIRECTOR	B	\$ 92,530		\$ 95,306	\$ 98,165	\$ 101,110	\$ 102,121
GRANT ADMIN/ INTERNAL AUDITOR	B	\$ 102,056		\$ 105,117	\$ 108,271	\$ 111,519	\$ 112,634
COLLECTOR/ TREASURER	A	\$ 109,186	\$ 1,000	\$ 118,531	\$ 122,087	\$ 125,750	n/a
CITY SOLICITOR	A	\$ 125,290	\$ 1,000	\$ 135,931	\$ 140,009	\$ 144,209	n/a
ASSISTANT SOLICITOR	B	\$ 117,659		\$ 121,188	\$ 124,824	\$ 128,569	\$ 129,854
ASSISTANT CLERK/ PARALEGAL	B	\$ 66,597		\$ 68,595	\$ 70,653	\$ 72,772	\$ 73,500
POLICY WRITER/ ANALYST	B	\$ 74,826		\$ 77,071	\$ 79,383	\$ 81,765	\$ 82,582
CHIEF OF PLANNING AND DEVELOPMENT	A	\$ 135,989	\$ 1,000	\$ 141,099	\$ 145,332	\$ 149,692	n/a
CITY ENGINEER	A	\$ 129,716	\$ 1,000	\$ 134,637	\$ 138,676	\$ 142,836	n/a
POLICE CHIEF	*	n/a	n/a	n/a	n/a	n/a	n/a
FIRE CHIEF	*	n/a	n/a	n/a	n/a	n/a	n/a
DPW SUPERINTENDENT	A	\$ 143,256	\$ 1,000	\$ 148,584	\$ 153,042	\$ 157,633	n/a
ASST SUPERINTENDENT DPW GEN	A	\$ 119,338	\$ 1,000	\$ 123,949	\$ 127,667	\$ 131,497	n/a
ASST SUPERINTENDENT W/S/DRAIN	A	\$ 119,338	\$ 1,000	\$ 123,949	\$ 127,667	\$ 131,497	n/a
CHIEF OF HEALTH & HUMAN SERVICES	A	\$ 128,263	\$ 1,000	\$ 133,141	\$ 137,135	\$ 141,249	n/a
DIR OF WORKFORCE DEVELOPMENT	A	\$ 130,753	\$ 1,000	\$ 135,706	\$ 139,777	\$ 143,970	n/a
	*	per contract					

SECTION 4.

Section C.010(E) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by deleting the second table in its entirety and inserting in place thereof the following new table:

Non-Elected Full Time Employees Not Represented by Collective Bargaining Agreements (Exempts) 15 YR STEP				3%	3%	3%	1%
Exempt Employees	Parity	7/1/2024		7/1/2025	7/1/2026	7/1/2027	6/30/2028
CHIEF OF STAFF	A	\$ 142,483	\$ 1,000	\$ 147,787	\$ 152,221	\$ 156,788	n/a
EXECUTIVE SECRETARY	B	\$ 84,445		\$ 86,978	\$ 89,588	\$ 92,275	\$ 93,198
COMMUNICATIONS ASSOCIATE	B	\$ 67,556		\$ 69,583	\$ 71,670	\$ 73,820	\$ 74,558
MAYOR'S AIDE	B	\$ 62,999		\$ 64,889	\$ 66,836	\$ 68,841	\$ 69,529
HUMAN RESOURCES DIRECTOR	A	\$ 106,619	\$ 1,000	\$ 110,848	\$ 114,173	\$ 117,598	n/a
SENIOR GENERALIST	B	\$ 85,834		\$ 88,409	\$ 91,061	\$ 93,793	\$ 94,731
HEALTH BENEFITS ADMIN	B	\$ 69,504		\$ 71,589	\$ 73,737	\$ 75,949	\$ 76,708
CITY AUDITOR/ BUDGET DIRECTOR	A	\$ 166,587	\$ 1,000	\$ 172,615	\$ 177,793	\$ 183,127	n/a
ASST BUDGET DIRECTOR	B	\$ 97,157		\$ 100,072	\$ 103,074	\$ 106,166	\$ 107,228
GRANT ADMIN/ INTERNAL AUDITOR	B	\$ 107,159		\$ 110,374	\$ 113,685	\$ 117,096	\$ 118,266
COLLECTOR/ TREASURER	A	\$ 119,833	\$ 1,000	\$ 124,458	\$ 128,192	\$ 132,037	n/a
CITY SOLICITOR	A	\$ 137,591	\$ 1,000	\$ 142,749	\$ 147,031	\$ 151,442	n/a
ASSISTANT SOLICITOR	B	\$ 123,541		\$ 127,247	\$ 131,065	\$ 134,997	\$ 136,347
ASSISTANT CLERK/ PARALEGAL	B	\$ 69,927		\$ 72,025	\$ 74,185	\$ 76,411	\$ 77,175
POLICY WRITER/ ANALYST	B	\$ 78,567		\$ 80,924	\$ 83,352	\$ 85,852	\$ 86,711
CHIEF OF PLANNING AND DEVELOPMENT	A	\$ 142,789	\$ 1,000	\$ 148,103	\$ 152,546	\$ 157,122	n/a
CITY ENGINEER	A	\$ 136,201	\$ 1,000	\$ 141,317	\$ 145,557	\$ 149,923	n/a
POLICE CHIEF	*	n/a	n/a	n/a	n/a	n/a	n/a
FIRE CHIEF	*	n/a	n/a	n/a	n/a	n/a	n/a
DPW SUPERINTENDENT	A	\$ 150,419	\$ 1,000	\$ 155,962	\$ 160,641	\$ 165,460	n/a
ASST SUPERINTENDENT DPW GEN	A	\$ 125,305	\$ 1,000	\$ 130,094	\$ 133,997	\$ 138,017	n/a
ASST SUPERINTENDENT W/S/DRAIN	A	\$ 125,305	\$ 1,000	\$ 130,094	\$ 133,997	\$ 138,017	n/a
CHIEF OF HEALTH & HUMAN SERVICES	A	\$ 134,676	\$ 1,000	\$ 139,746	\$ 143,939	\$ 148,257	n/a
DIR OF WORKFORCE DEVELOPMENT	A	\$ 137,291	\$ 1,000	\$ 142,440	\$ 146,713	\$ 151,114	n/a
	*	per contract					

SECTION 5. Section C.010(E) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by inserting a third, new table as follows:

Non-Elected Full Time Employees Not Represented by Collective Bargaining Agreements (Exempts) - 20 YR STEP				3%	3%	3%	1%
Exempt Employees	Parity	7/1/2024		7/1/2025	7/1/2026	7/1/2027	6/30/2028
CHIEF OF STAFF	A			\$ 152,221	\$ 156,788	\$ 161,491	n/a
HUMAN RESOURCES DIRECTOR	A			\$ 114,173	\$ 117,598	\$ 121,126	n/a
CITY AUDITOR/ BUDGET DIRECTOR	A			\$ 177,793	\$ 183,127	\$ 188,621	n/a
COLLECTOR/ TREASURER	A			\$ 128,192	\$ 132,037	\$ 135,999	n/a
CITY SOLICITOR	A			\$ 147,031	\$ 151,442	\$ 155,985	n/a
CHIEF OF PLANNING AND DEVELOPMENT	A			\$ 152,546	\$ 157,122	\$ 161,836	n/a
CITY ENGINEER	A			\$ 145,557	\$ 149,923	\$ 154,421	n/a
POLICE CHIEF	*	n/a	n/a	n/a	n/a	n/a	n/a
FIRE CHIEF	*	n/a	n/a	n/a	n/a	n/a	n/a
DPW SUPERINTENDENT	A			\$ 160,641	\$ 165,460	\$ 170,424	n/a
ASST SUPERINTENDENT DPW GEN	A			\$ 133,997	\$ 138,017	\$ 142,157	n/a
ASST SUPERINTENDENT W/S/DRAIN	A			\$ 133,997	\$ 138,017	\$ 142,158	n/a
CHIEF OF HEALTH & HUMAN SERVICES	A			\$ 143,939	\$ 148,257	\$ 152,705	n/a
DIR OF WORKFORCE DEVELOPMENT	A			\$ 146,713	\$ 151,114	\$ 155,648	n/a
	*	per contract					

SECTION 6. Section C.010(F)(1) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by deleting this table in its entirety and inserting in place thereof the following new table:

Position	7/1/2024	7/1/2025 – 3%	7/1/2026 – 3%	7/1/2027 – 3%
Mayor	\$167,500	\$172,525	\$177,701	\$183,032
City Councilor	\$25,000	\$25,750	\$26,523	\$27,318
City Councilor Pres.	\$28,000	\$28,840	\$29,705	\$30,596

SECTION 7. Section C.010(F)(2) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by deleting this table in its entirety and inserting in place thereof the following new table:

Position	Parity	7/1/2024	7/1/2025 – 3%	7/1/2026 – 3%	7/1/2027 – 3%
City Clerk	A	\$104,262	\$108,420*	\$111,673	\$115,023
City Clerk, 15 YR STEP	A	\$109,475	\$113,790*	\$117,203	\$120,720
City Clerk, 20 YR STEP	A	-	\$117,203*	\$120,720	\$124,341
Asst. City Clerk	B	\$77,250	\$79,568	\$81,955	\$85,258**
Asst. City Clerk, 15 YR STEP	B	\$81,113	\$83,547	\$86,053	\$89,521**

*Includes \$1,000.00 Unit A additional compensation.

**Includes Unit B additional 1% on 6/30/2028.

SECTION 8. Section C.010(H) of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by deleting this subsection in its entirety and inserting in place inserting the following new section (H) and corresponding table:

H. Boards and Commissions – Legislative.

Position	7/1/2024	7/1/2025
Clerk of Council	\$8,211	\$8,500
Clerk of Committee	\$8,211	\$8,500
Asst. Clerk of Council	-	\$6,375
Asst. Clerk of Committee	-	\$6,375

SECTION 9. Section C.010 of Appendix C of the Revised Ordinances of the City of Revere is hereby amended by inserting new section (I) as follows:

I. Increases in Perpetuity. All salary percentage increases that are negotiated between the City of Revere and the Laborer's Union (Local 22) Unit A Department Head Unit via collective bargaining agreement shall be applied to the exempt employees listed in Subsection (F)(1) of this Section. Said negotiated increases shall include only longevity and/or COLA (cost of living adjustment) increases.